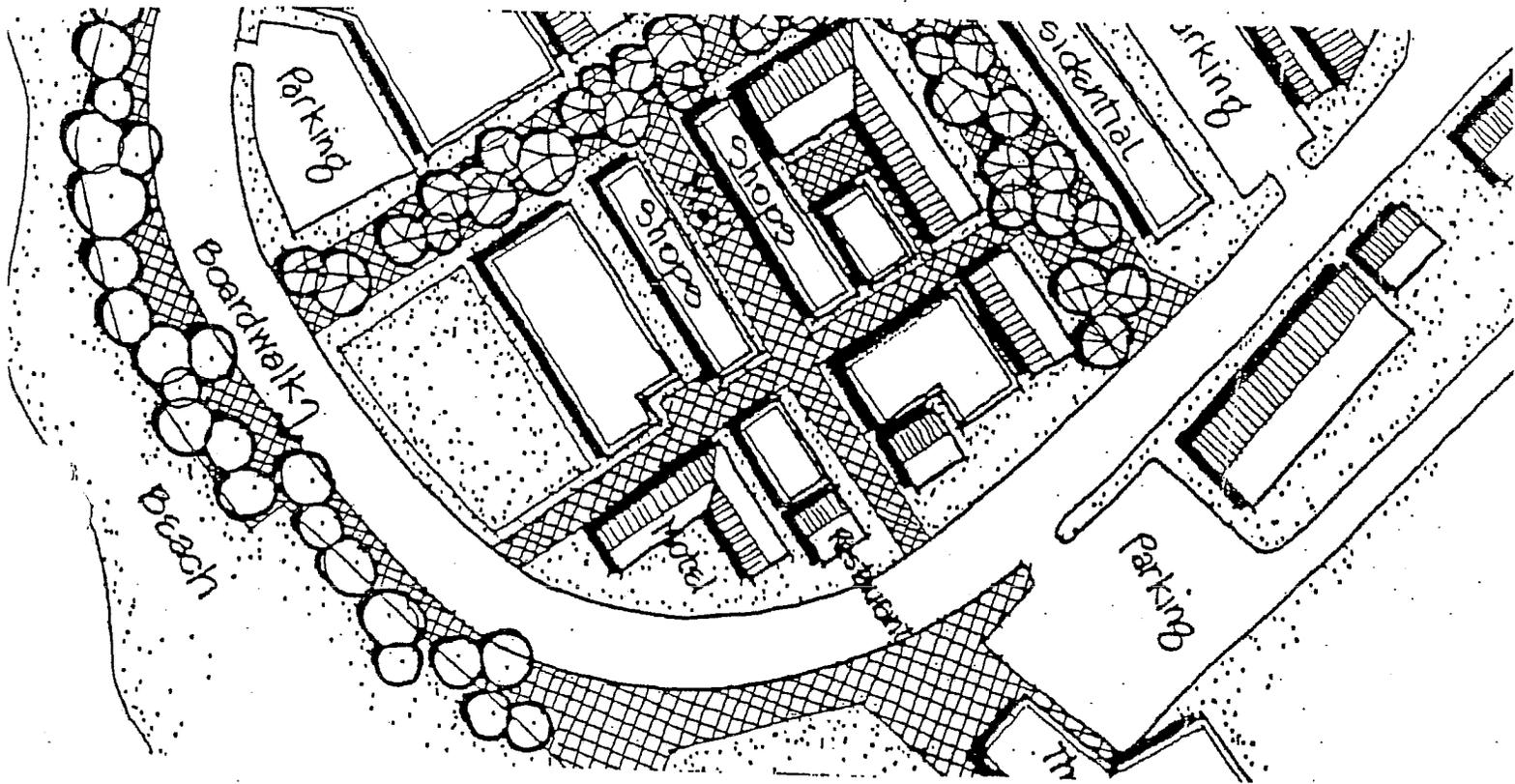


CENTRAL VILLAGE DISTRICT



Design Guidelines & Development Processing

CAPITOLA VILLAGE

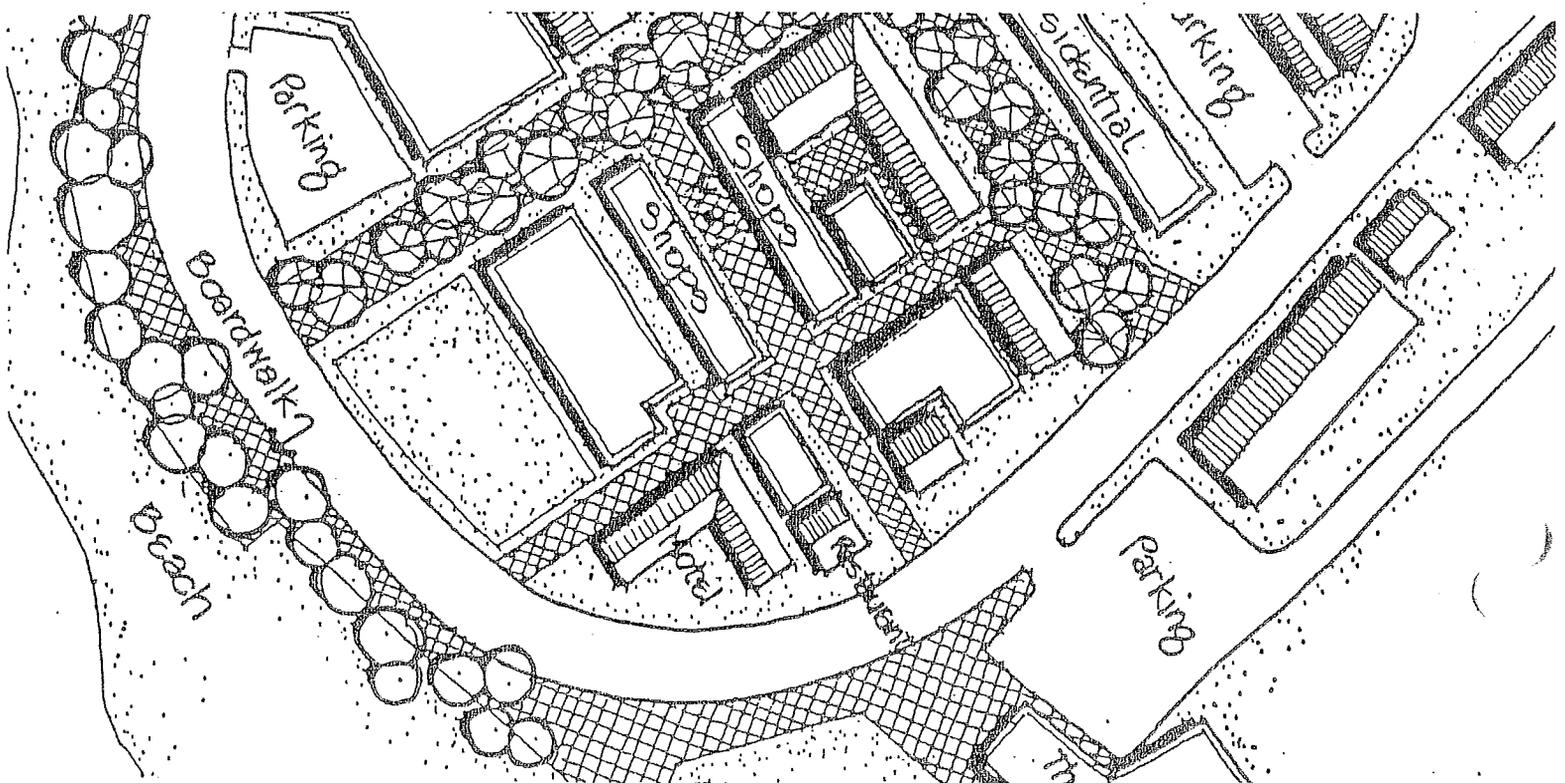
Development Design Guidelines

Central Village Zoning District

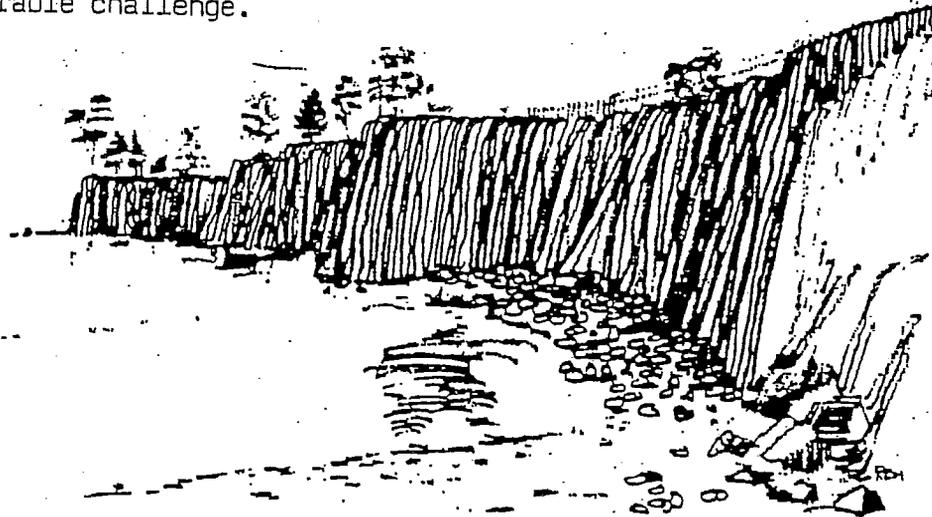
INTRODUCTION

Capitola Village is a special community. One of the oldest seaside resorts in California, the Village has retained its charming, small, intimate and human scale. The visual and aesthetic appeal of the Village lies in the combination of its distinctive natural setting and the scale, variety, and interest of its buildings and landmarks. The Village functions as a resort area during the summer and community for Capitola during the winter. Upper floors of commercial buildings are often in residential use. This mixture of commercial and residential uses in the small compact Village is an important element of the character of the Village.

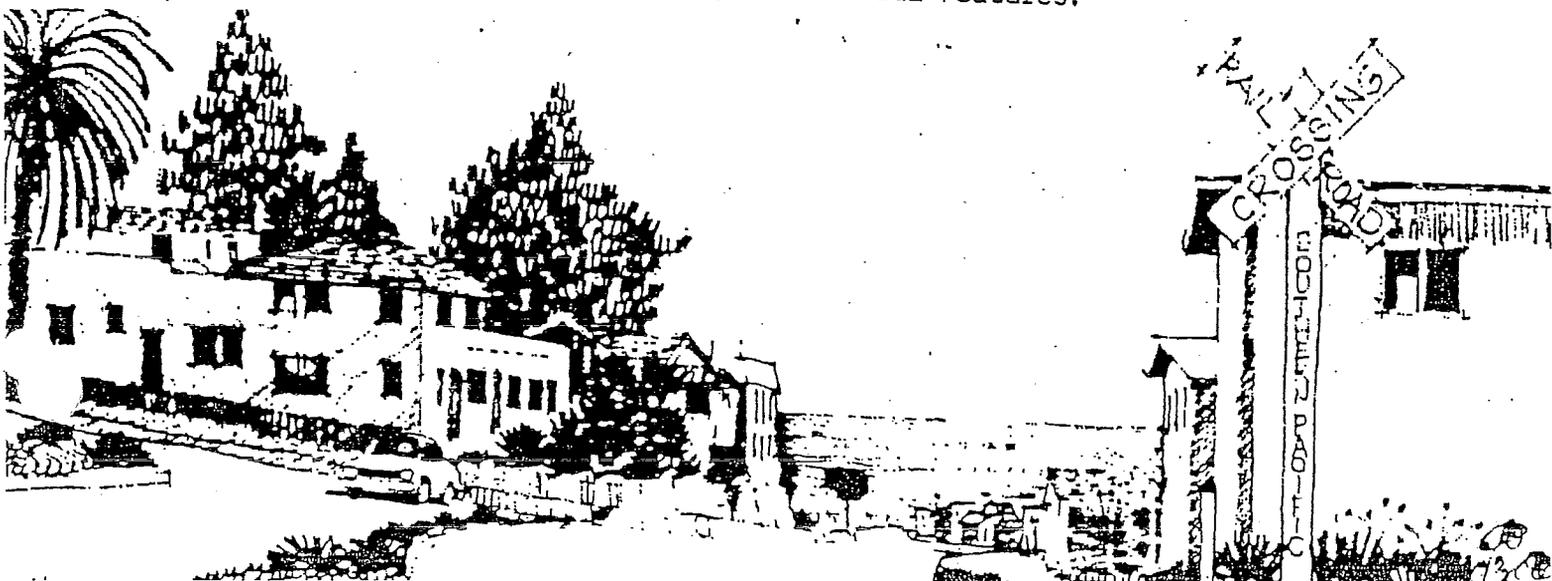
It is easy to take the charm of the Village for granted, but the impact of each new increment must be evaluated regarding its effect on the overall character of the Village. For example, the natural setting of the Village, the bluffs, beach, and river that are community landmarks and integral elements of its appearance. This resource will be lost if it is visually obscured or encroached upon by new development. Cultural landmarks such as unique or historical structures or public open spaces will, if not protected, be changed in time with a resulting loss to the aesthetic character of the Village.



While the community is largely built-out, its appearance remains in transition as business evolves and changes with the economy of the village. These fluctuations often are accompanied by modifications to commercial structures, and sometimes result in major renovations. Over time, the impact of these modifications can be significant to the appearance of the Village and illustrate the need for design controls. In addition, some new construction can be expected on remaining vacant parcels and catastrophies such as floods, fires, or earth quakes could result in major new structures. Finally, there are existing structures in the Village that detract from the overall appearance. Opportunities to remove, replace, or remodel these structures will enhance the aesthetic enjoyment of the community. In short, responding to these issues and guiding changes to the physical design of the Village in a way that maintains and enhances its visual and aesthetic qualities is a considerable challenge.



The City, in recognition of this need, has established and actively applies, a design review process through the Architectural and Site Review Committee, an advisory body to the Planning Commission made up of professionals in the design field. The committee reviews all proposals in the Village and other parts of the City, and works with applicants to improve proposed design and site plans. The guidelines that follow, have been developed cooperatively by the City of Capitola and the California Coastal Commission in order to supplement and support the existing design review process and to provide more specific guidance to design objectives in the Village. They are intended to apply equally to private and public construction of all kinds and also address the protection and enhancement of recognized community landmarks and natural features.



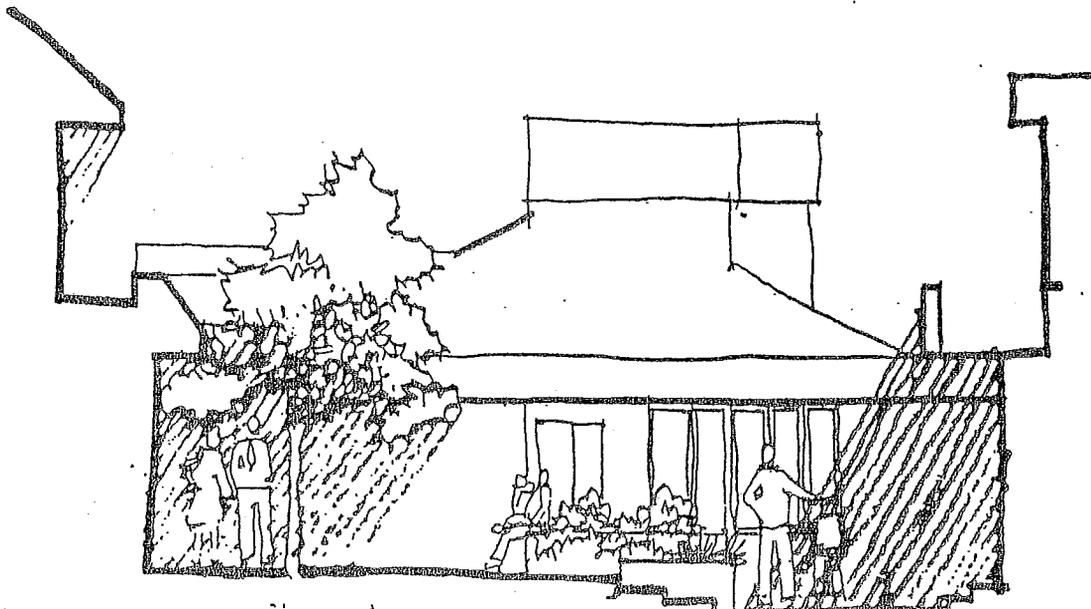
GUIDELINES

The following guidelines have been prepared by the CITY OF CAPITOLA to evaluate proposed projects in the Village area. The purpose of these guidelines is to promote excellence of development and maintain the unique character of Capitola Village (Section 17.63 of the Zoning Ordinance). The Committee will use this as a check list in reviewing public and private projects. Applicants should use the guidelines in designing and reviewing their own proposals. Certain design factors may have to be balanced with others in order to reach an optimal design. The Committee recommends the use of a design professional from the beginning of the process. The Committee seeks to be of assistance and will take a cooperative approach with all applicants; likewise, applicants are encouraged to proceed in this manner.

SITE PLANNING

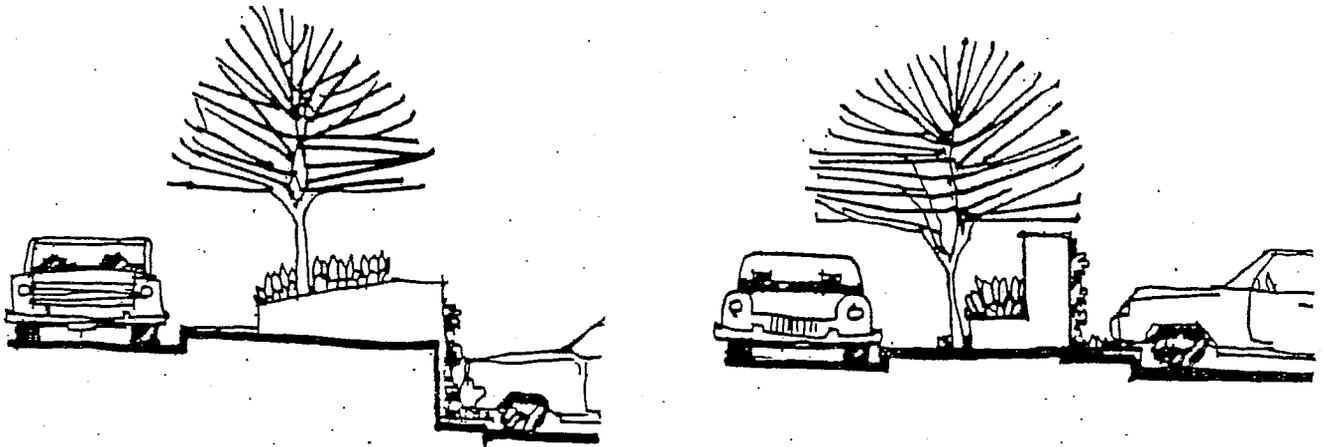
A. General Guidelines

1. Illustrate a design compatibility with the existing and planned character of the surrounding area and adjacent building. (Street-scape is important).
2. Create a development which is pleasant in character, human in scale, and facilitates easy circulation. Pedestrian orientation is important in the Village area.
3. Recognize views, climate, and nature of outside activities in the design of exterior spaces. Proportions are important aspects of design.
4. Insure in each step of a phased project that the design is complete in its functional, traffic, visual, drainage, and landscaping aspects wherever possible. Modifications of buildings require all materials, windows, etc., to be consistent.
5. Public and private historic landmarks, i.e. Venetian Court, Palm Tree, Stockton Avenue Bridge, shall be preserved.

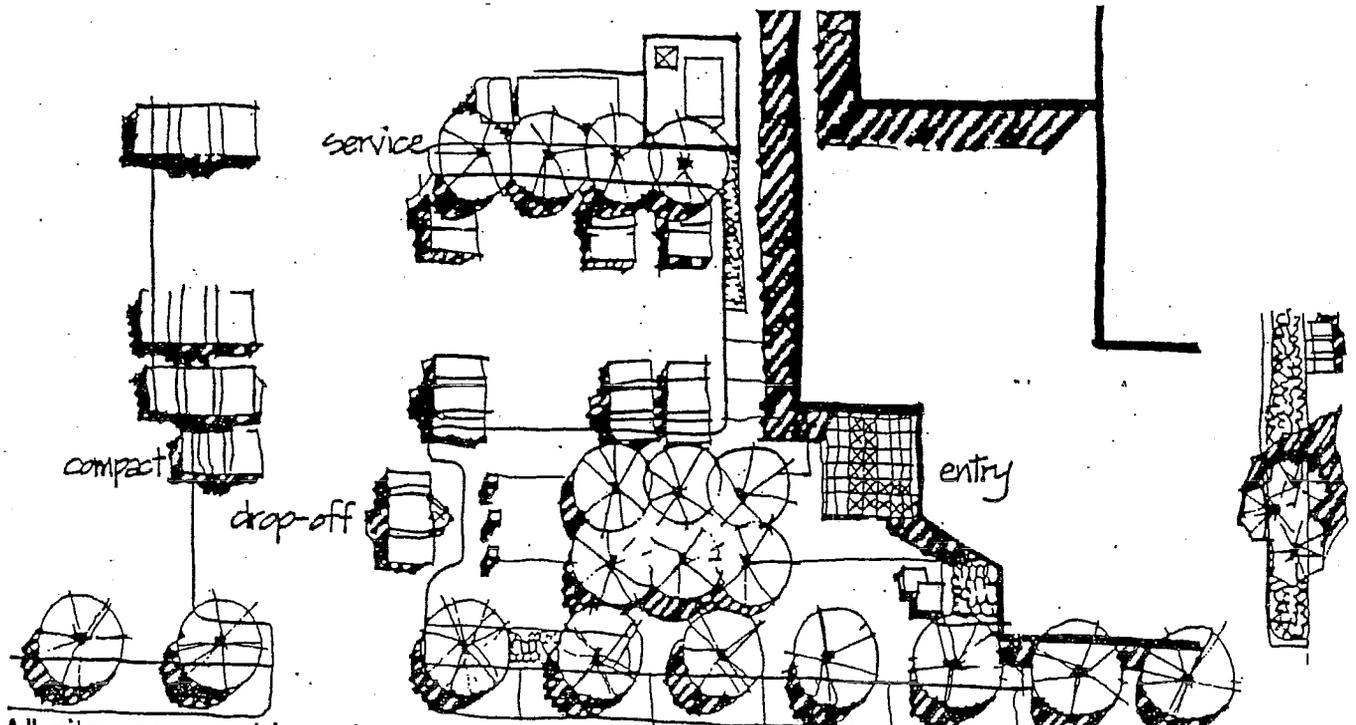


B. Buffering

1. Screen exterior trash and storage areas, service yards, loading docks, and electrical utility boxes, etc., from view of all nearby streets and adjacent structures in a manner that is compatible with building site design. Screen all roof equipment from public view.
2. Minimize the visual impact and presence of vehicles by generally siting parking areas to the rear or side of property rather than along the street frontages, utilizing underground parking and screening parking areas from views, both interior and exterior, to the site.
3. Minimize noise created by the proposed project (traffic use, etc.) that may negatively impact the surrounding area or residential uses.



Changes in grade, screens, and berms screen view of cars



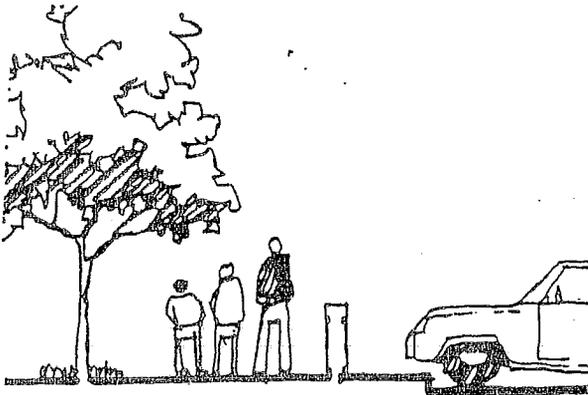
All site uses working without conflict and presenting a good image to the street

C. Grading

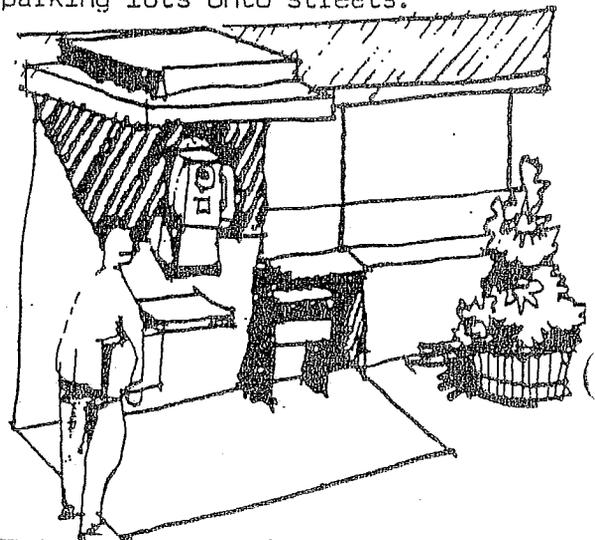
1. Insure that all on-site drainage patterns will occur on or through areas designed to serve this function. Avoid surface drainage over walkways.
2. Design drainage to be compatible with FLOOD CONTROL DISTRICT facilities.

D. Circulation

1. Create traffic patterns which minimize impacts on surrounding streets and property and accommodate emergency and delivery vehicles. Bicycle parking shall be provided.
2. Insure that the proposed project accommodates individuals with physical disabilities, via the provision of handicap parking stalls and ramps which meet state requirements.
3. Vehicles should not back out of parking lots onto streets.



Bollards can be used to delineate the separation of auto and pedestrian



Telephones and newspaper racks should be integrated with the architecture

E. Exterior Fixtures

1. Exterior fixtures and other details (light fixtures, benches, railings, etc.) should be consistent with the overall design of the Village area and should be coordinated with the Public Works Director.
2. The use of surfaces for walkways, entrances, and patios should be a design feature of the building using other than plain concrete. Asphalt is not allowed for these uses.

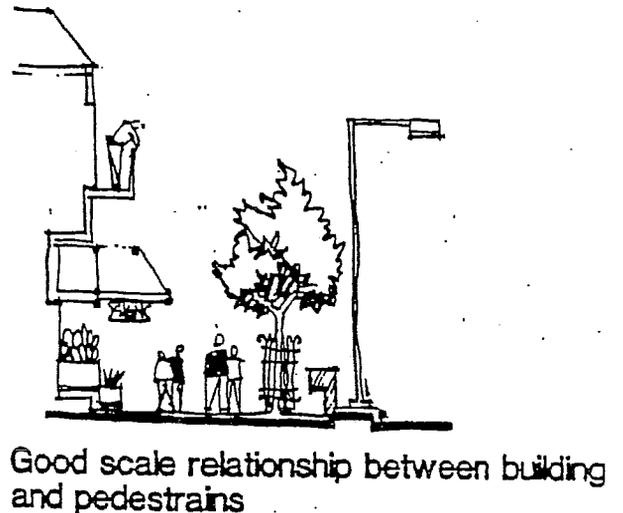
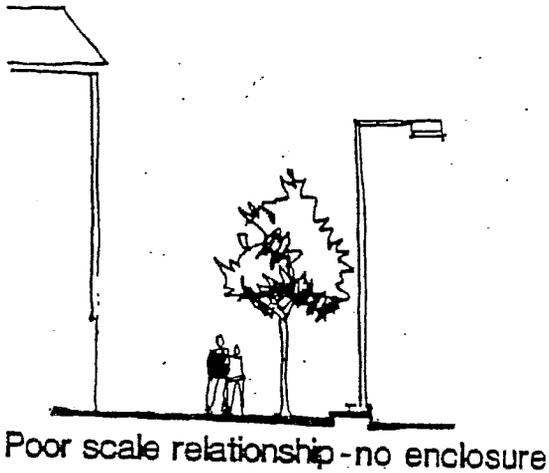


Site furnishings add life to the street

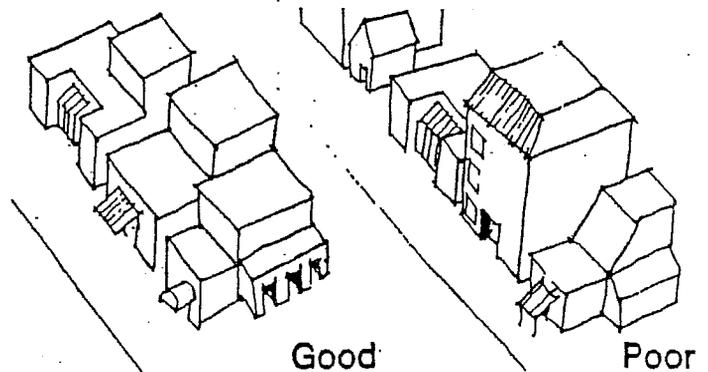
BUILDING DESIGN

A. General

1. Create a design for small scale finely detailed pedestrian-oriented uses.
2. Coordinate exterior building design on all elevations with regard to color, materials, architectural form and detailing to achieve design harmony and continuity.
3. Promote building security and public safety. Buildings adjacent to public areas should create design elements which provide a pedestrian feeling, i.e. insets, cutouts, bay windows.



Examples of scale relationships between buildings

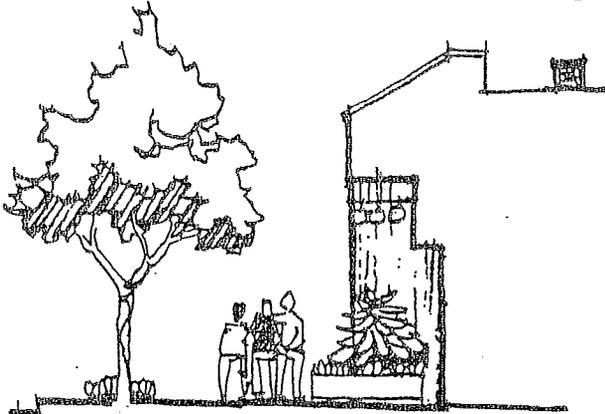


B. Building - Site Plan Relationships

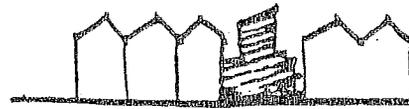
1. Site buildings so as to avoid crowding and to allow for a functional use of the space between buildings. It may be desirable to exceed the ordinance setbacks for part of the building to create a pedestrian area.
2. Site buildings so as to consider shadows, changing climatic conditions, noise impacts, safety and privacy on adjacent outdoor spaces.
3. Building front widths should not exceed height of the building unless addressed in other design characteristics.

C. Roof Design

1. Coordinate roof shape, color and texture with the treatment of the perimeter walls, if required.
2. Minimize roof penetration by grouping all plumbing vents and ducts together.
3. Solar collectors must be screened or incorporated into design features of the building.



Screening must be provided for all mechanical and electrical equipment, including roof units, as an integral part of building design to minimize impact on adjacent property users as well as on site development.



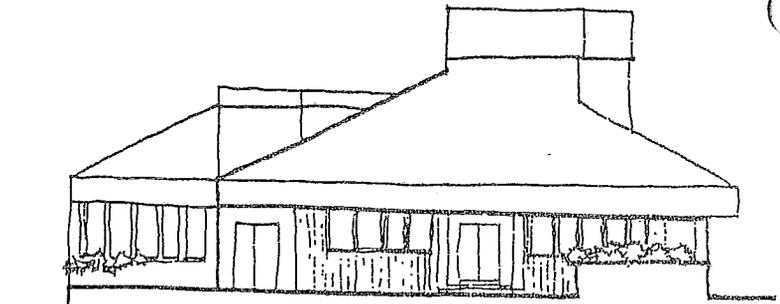
Compatible profiles with subtle variations in vernacular



Incompatible rooflines



Awnings shade building



The roofline should be designed in conjunction with the sculptural form of the building

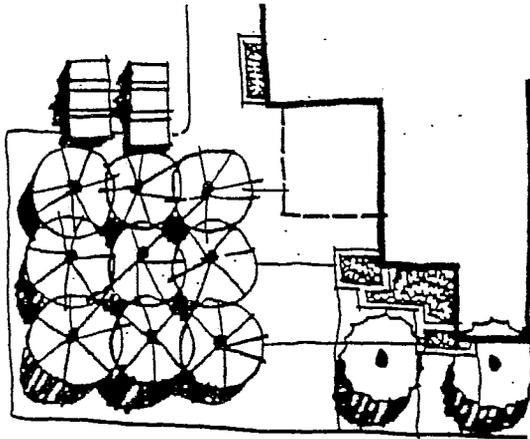
D. Window Design

1. There is no specific limitation for windows, but they must be incorporated into the design feature of the building without dominating the building. The use of plain aluminum windows is discouraged as are large areas of mirrored or tinted glass.
2. Awnings - Awnings add color and shade to a building's facade. Cloth awnings are vulnerable to the elements and a condition of approval will be their replacement when they have shown wear. Awning must have an 8' clearance and obtain encroachment permits if they extend over sidewalk areas.

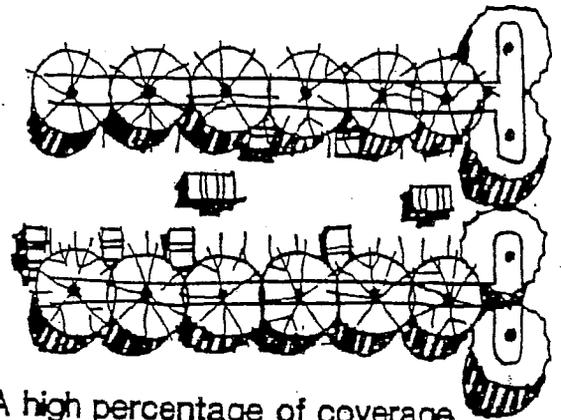
LANDSCAPING

A. General

1. Design landscaping is an integral part of the project to create a pleasing appearance from both within and off the site. Landscaping requirements in the Village are unique because of the special ocean climate and size of spaces.
2. Size all landscaping so that a mature appearance will be attained within three years of planting.
3. Use landscaping to soften hard edges where parking lots meet walls.

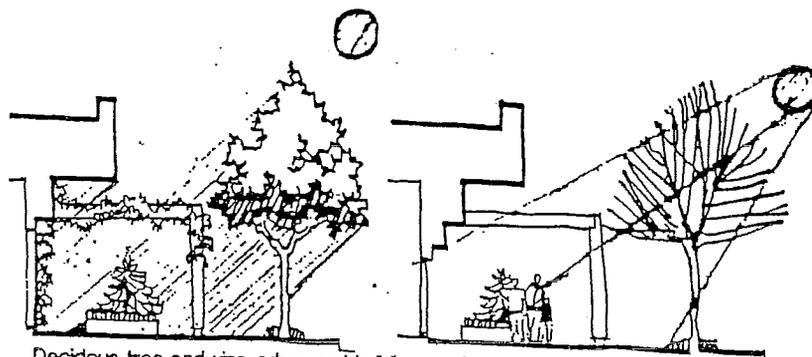


Massing of plant materials responds to architecture



A high percentage of coverage to reduce heat gain in parking areas

4. Provide landscaping adjacent to and within parking areas in order to screen vehicles from view and minimize the expansive appearance of parking areas.
5. In parking lots provide at least one 24 inch tree for each 4 parking spaces.
6. Provide an irrigation system for full coverage of the landscaping including planter boxes.
7. Plant landscaping in the ground as much as possible. Avoid planter boxes where possible.
8. Provide for long term maintenance of the landscaping. Agreement with the City will be required.

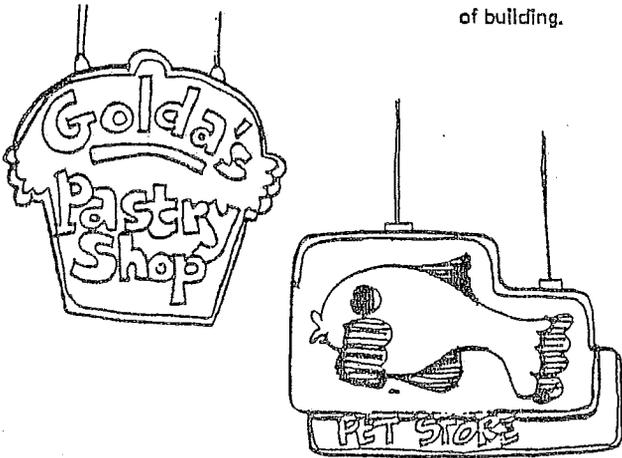


Deciduous tree and vine, arbor, and building overhang screen high summer, yet allow winter access

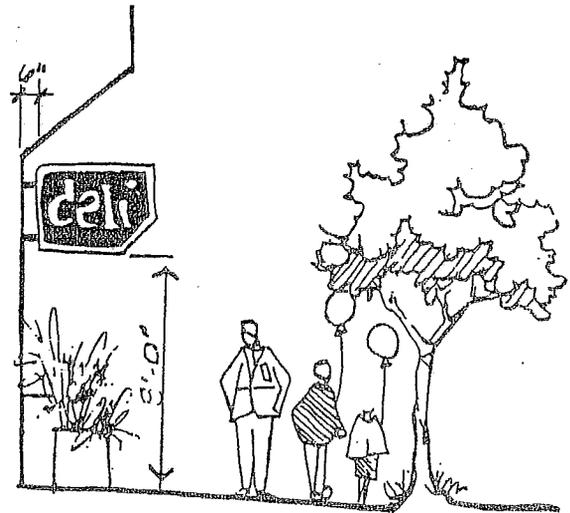
SIGNING

1. Relate all signs to their surroundings in terms of size, shape, color, texture, and lighting so that they are complimentary to the overall design of the building and are not in visual competition with other conforming signs in the area. Signs should be an integral part of the building and site design.
2. Arrange any external spot or flood sign lighting so that the light source is screened from direct view, and so that the light is directed against the sign and does not shine into adjacent property or distract motorists or pedestrians.
3. Sign programs will be developed for buildings which house more than one business. Signs need not match but should be compatible for the building and each other.
4. One menu box with a maximum of 2 square feet shall be allowed for each restaurant. The board design and materials shall be consistent with the materials and design of the building face.
5. If banners and flags are placed on a building they must be included and reviewed as part of the sign program.

Projecting signs should clear sidewalks by 8' - 0", and if attached to a wall should be mounted 6" minimum from face of building.



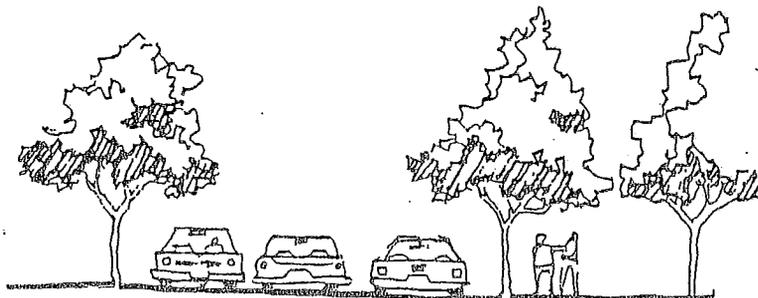
Character of sign offers information



Projecting sign

PARKING

1. Parking shall be provided for all new development or intensification of use.



Canopy trees shade parking reducing glare and heat gain

SPECIAL AREAS

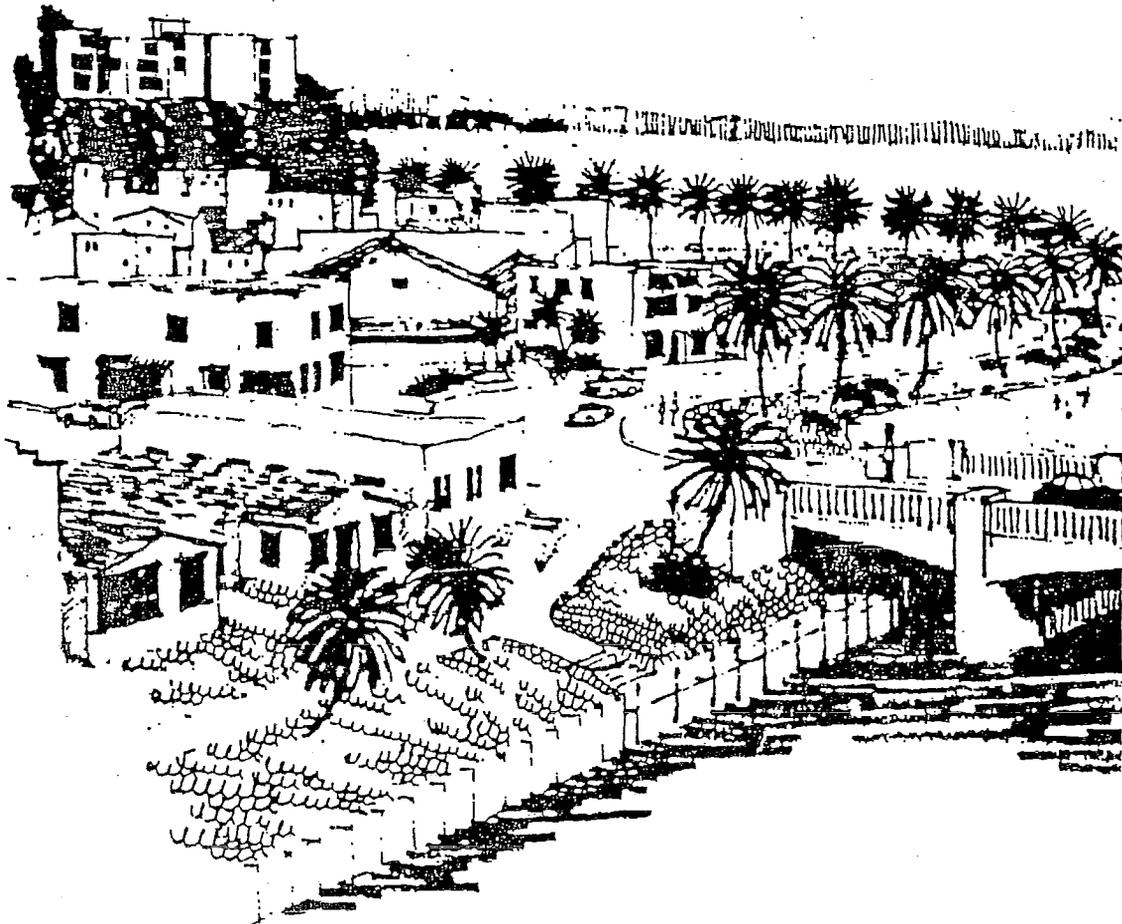
Capitola Village derives much of its character and charm from a combination of natural and cultural features that have distinct identity.

The bluffs that surround the Village and extend along the shoreline contribute to the definition of the Village in its strong natural setting. All new development should be planned and designed to be subservient to this natural setting -- to contribute to its preservation as a visual amenity.

A number of cultural areas, including specific structures, are located in the Village and serve as widely recognized landmarks. These should be protected as far as reasonably possible.

A. Esplanade

1. Coastal views between and from buildings shall be maintained and enhanced. New buildings shall be attractive from the beach as from the street. No signs shall be placed on the beach face of Esplanade structures. All roof mechanical equipment shall be screened or enclosed. Dish antennas will not be allowed. All trash areas shall be enclosed within the building or enclosed to avoid detracting from the area's aesthetic qualities and obstruction of pedestrian access.
2. The maximum height of Esplanade buildings shall be one-story or 20 feet. Second-story additions to existing buildings shall not be permitted.



RESIDENTIAL OVERLAY DISTRICT

A. Six Sisters Houses

1. The Six Sisters are Capitola landmarks. The structures and site shall be maintained in their existing architectural and open appearance and residential use. Existing setbacks shall be maintained to preserve the uniform appearance of the structures.
2. The front yard areas on the Esplanade shall be maintained as open lawn areas. No more than 25 percent of the front yard area shall be paved or have an artificial surface. Any fences shall maintain the open appearance and shall not exceed a maximum of 42 inches in height.
3. No additional habitable living space shall be allowed.

B. Venetian Court

1. The units shall be used for residential use only.
2. Maintain existing exterior "fan" pattern stucco wall treatment and tile.
3. Maintain existing plaster urns and original rosette wall detail.
4. New and replacement windows shall be wood or bronze anodized aluminum with wood trim.
5. No roof decks shall be permitted.
6. Deck projections shall be a minimum of 7.5 feet above ground level.
7. Preferred materials are stucco, terra-cotta tile, wrought iron and glazed tile.
8. No additions to habitable living space shall be allowed.
9. Public right-of-way shall be maintained and there shall be no permits granted for structural encroachments.

C. Lawn Way

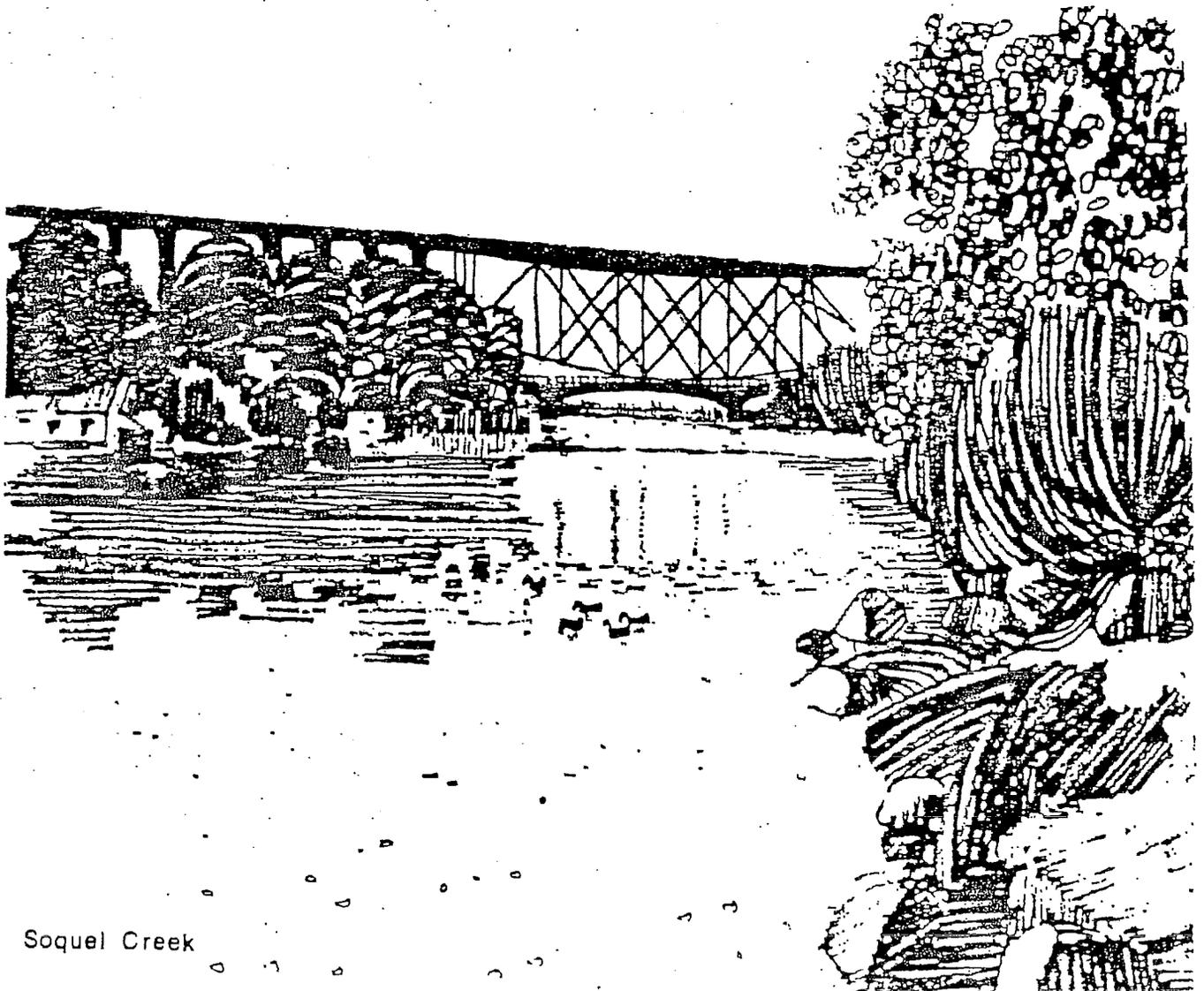
1. The residential use and character of the area shall be maintained. There shall be no conversion from residential to commercial for any structure which faces onto Lawn Way.
2. No structure shall increase the habitable area of the existing unit. The height of the structure shall not be increased to add additional stories to the structure.
3. The public sidewalk right-of-way shall be maintained in its present configuration.
4. Garbage cans, utilities and other outside storage areas to the rear of the Lawn Way structures shall be enclosed and screened from public view.

D. Capitola Theatre and Parking Lot

1. New construction shall provide replacement parking.
2. New construction shall be stepped back from street to cliff and be well articulated with exterior decks and landscaping.
3. Maximum height limits shall be applied to new construction that provide for retaining views of the bluff top above the buildings. The natural topographic features of the site should not be obscured by new structures.

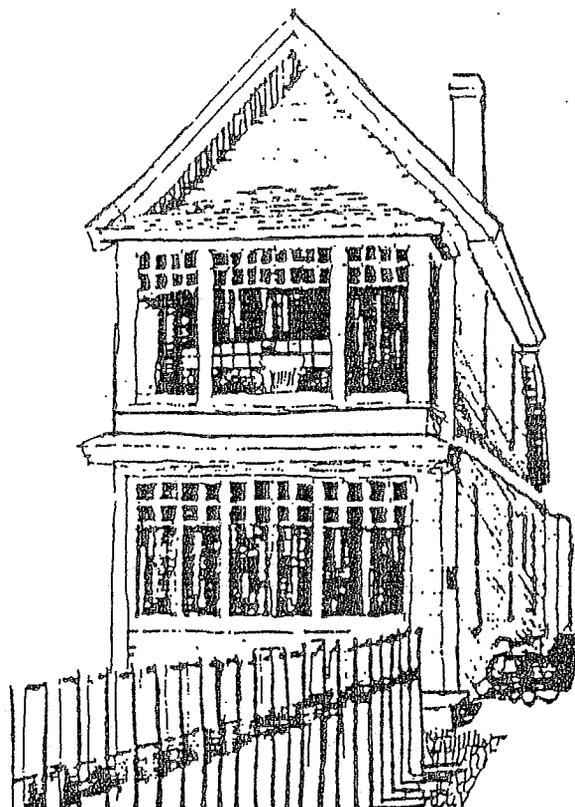
E. Soquel Creek Side of Riverview Avenue

1. Structures shall be limited to one story.
2. All residential units which are reconstructed or substantially altered, shall meet the parking requirements.
3. The number of units shall be the net square footage of the property between the pathway and Riverview Avenue. Frontage owned on the river side of the pathway will not be included. All development will be 35 feet from the creek bank as a minimum.



Soquel Creek

VILLAGE RESIDENTIAL



Design Guidelines & Development Processing

VILLAGE RESIDENTIAL

Attached is information to assist you in making an application to the City of Capitola to remodel, rebuild or construct a residence in the Village Residential Zoning District.

1. Village Residential Design Guidelines are provided to give information on the areas of design which are unique to this zoning district. Please read the guidelines carefully and if you have any questions, please contact the Planning Department.
2. Village Residential Zoning District is the section of the Zoning Ordinance which deals with the R-CV zone. There are other areas of the Zoning Ordinance which may apply to your project. (Complete Zoning Ordinances may be purchased for approximately \$12.00 at City Hall.) If you have any questions, please contact the Planning Department.
3. Architectural and Site Review Process
4. Planning Application

The Residential Central Village Zoning District is in the coastal zone. You must contact the California Coastal Commission (408-426-7390) to determine if a permit is required from them for your project.





Design Guidelines for Village Residential

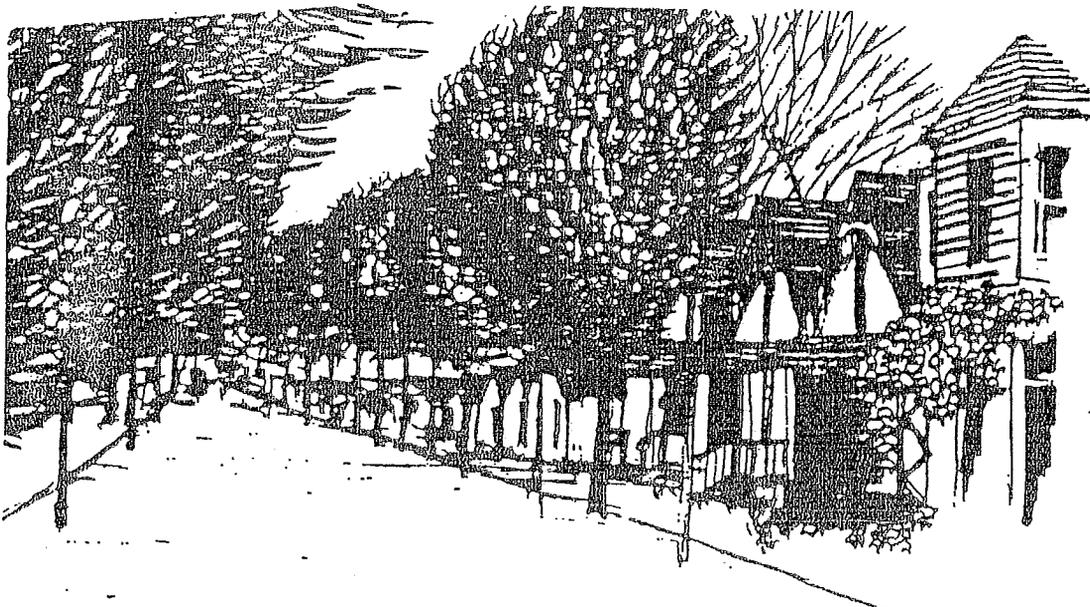
The purpose of these guidelines is to provide assistance for the development, remodel, and reconstruction of lots in the Village Residential Zone. The guidelines include standards which preserve the residential quality of the neighborhood, while dealing with the pressures for parking and intensification.

The main use in this district is residential and density is determined by lot size and ability to provide adequate parking.

ARCHITECTURAL COMPATIBILITY

The height, bulk and scale of the projects must be considered. The use of indentations, bays, porticos, porches, courtyards and other wall features is encouraged to introduce depth and secondary scale to the units. New construction, major reconstruction and second story additions shall require that a streetscape plan be provided.

Light, air and solar access should be considered in the orientation of the building. Sideyard setbacks are designed to allow maximum flexibility while protecting adjacent residential units.



SIDE YARD
SETBACK

The side yard setback is designed to provide maximum flexibility and to give the designer the opportunity to select placement of the structure, while providing protection for the adjacent residential structures in the zone. New structures may not be closer than three feet to an existing residential unit which has an opening on that face of the building. Otherwise, there may be a setback of zero on one side if six feet are provided on the opposite side, as long as the total required side yard open space is provided.

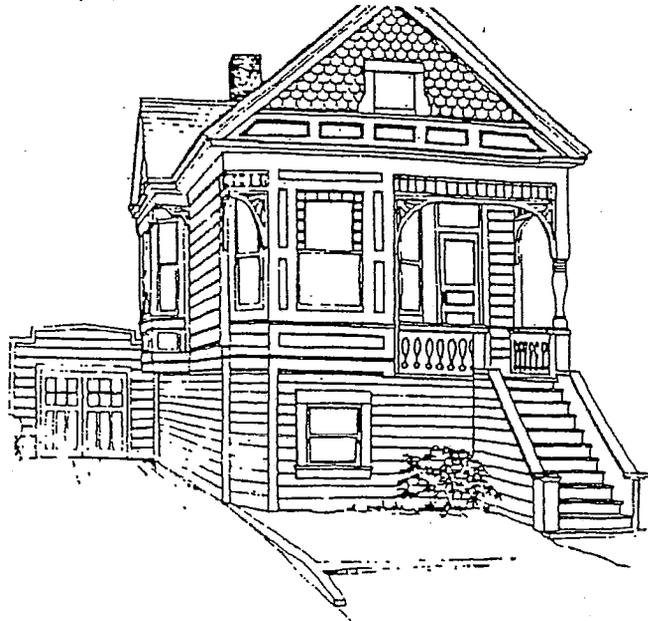
REAR YARD
SETBACK

The rear yard setback is 10 feet, but one-story elements or structural architectural features are allowed to encroach 5 feet.

PARKING

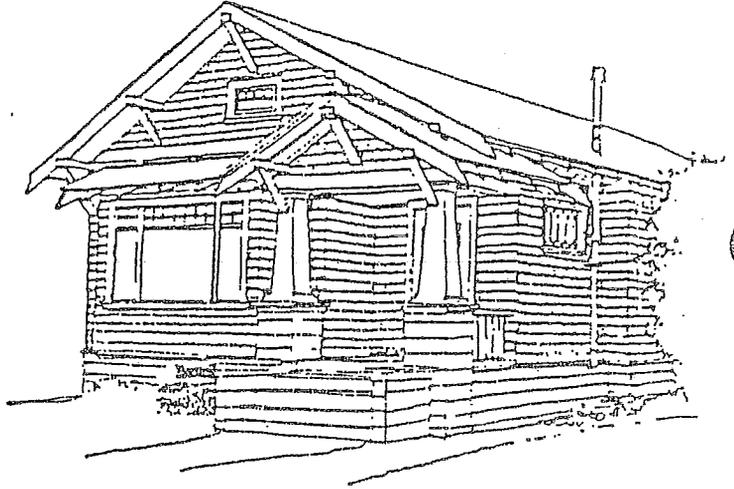
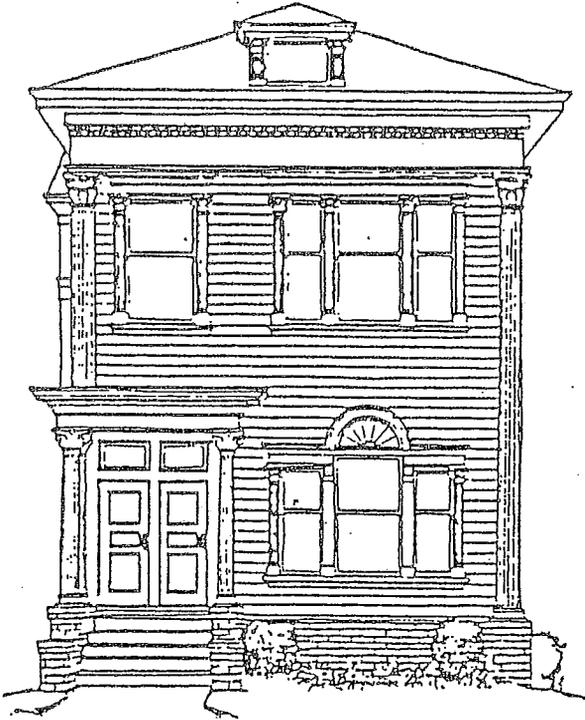
Parking must be provided on site and should be architecturally screened. This does not eliminate the use of garages, but they are not required if parking can be incorporated as a feature of the design.

Screening can include fences, trellises, gates, etc. Tandem parking may extend to the front property line if screened, and parking for the particular unit does not use more than 10' of the required front open space.



HEIGHT

The height includes roof decks, parapet walls and all other roof structure, with the exception of chimneys. Flat roofs are discouraged because of the perception of bulk created in the structure. Roof decks are only allowed if compatible with the overall structural design.



FRONT
SETBACK

The front yard setback is 15 feet. All structures are encouraged to pay particular attention to entry design. Porches, entry areas and courtyards are allowed to encroach 5 feet into the required setback area. This design should incorporate the architectural screening of parking and the garage should not distract from the human scale and design of the structure. Special design treatments which can be used to deal with garage doors include recessed arcades, tiled floors, walls, fencing or other details. Roll-up garage doors are encouraged and garage door openers are required.

The front yard area is to be landscaped and should create a sense of entry to the unit and/or units. The landscaping should incorporate the use of street trees. Through the use of tiles, brick, paving stones or other appropriate materials, the driveway should enhance the landscaped area .