

AGENDA

CAPITOLA PLANNING COMMISSION

Commissioner Ed Newman
Gayle Ortiz
Mick Routh
Linda Smith
Ron Graves

Staff Consultant Susan Westman
Senior Planner Ryan Bane
Minute Clerk Danielle Uharriet



REGULAR MEETING NOVEMBER 1, 2012 - 7:00 PM

1. **ROLL CALL AND PLEDGE OF ALLEGIANCE**

2. **ORAL COMMUNICATIONS**

A. Additions and Deletions to Agenda

B. Public Comments

Short communications from the public concerning matters not on the Agenda.

All speakers are requested to print their name on the sign-in sheet located at the podium so that their name may be accurately recorded in the Minutes.

C. Commission Comments

D. Staff Comments

3. **APPROVAL OF MINUTES**

A. October 4, 2012 Regular Planning Commission Meeting

4. **CONSENT CALENDAR**

All matters listed under "Consent Calendar" are considered by the Planning Commission to be routine and will be enacted by one motion in the form listed below. There will be no separate discussion on these items prior to the time the Planning Commission votes on the action unless members of the public or the Planning Commission request specific items to be discussed for separate review. Items pulled for separate discussion will be considered in the order listed on the Agenda.

NONE.

5. **PUBLIC HEARINGS**

Public Hearings are intended to provide an opportunity for public discussion of each item listed as a Public Hearing. The following procedure is as follows: 1) Staff Presentation; 2) Public Discussion; 3) Planning Commission Comments; 4) Close public portion of the Hearing; 5) Planning Commission Discussion; and 6) Decision.

A. 500 PINE STREET #12-075 APN: 036-022-26

Design Permit to construct a single-story addition to an existing single-family house, including a single-car garage in the RM-M (Multiple-Family Residence Medium Density) Zoning District.

Environmental Determination: Categorical Exemption

Owner: David Biancalana
Applicant: Richard Emigh

B. 5000 CLIFF DRIVE #12-098 APN: 034-052-15

Design Permit and Sign Permit for the exterior remodel of an existing motel (Harbor Lights Motel) in the CV (Central Village) Zoning District.
Environmental Determination: Categorical Exemption
Property Owner: Hank & Nancy Wempe, filed 8/3/12
Representative: Steve Elmore

C. Amendment to Capitola Municipal Code Section 10.36.055

Amend Capitola Municipal Code Section 10.36.055 "Parking Meter Zones/Rates" to authorize rates to be a part of the City of Capitola's Fee Schedule. Changes in the rates will be done as a Coastal Permit which is appealable to the California Coastal Commission.
Environmental Determination: Categorical Exemption
Property Owner: City of Capitola
Representative: Susan Westman

6. DIRECTOR'S REPORT

7. COMMISSION COMMUNICATIONS

8. ADJOURNMENT

Adjourn to the next Planning Commission on Thursday, December 6, 2012 at 7:00 p.m., in the City Hall Council Chambers, 420 Capitola Avenue, Capitola, California.

APPEALS: The following decisions of the Planning Commission can be appealed to the City Council within the (10) calendar days following the date of the Commission action: Conditional Use Permit, Variance, and Coastal Permit. The decision of the Planning Commission pertaining to an Architectural and Site Review can be appealed to the City Council within the (10) working days following the date of the Commission action. If the tenth day falls on a weekend or holiday, the appeal period is extended to the next business day.

All appeals must be in writing, setting forth the nature of the action and the basis upon which the action is considered to be in error, and addressed to the City Council in care of the City Clerk. An appeal must be accompanied by a one hundred forty two dollar (\$142.00) filing fee, unless the item involves a Coastal Permit that is appealable to the Coastal Commission, in which case there is no fee. If you challenge a decision of the Planning Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this agenda, or in written correspondence delivered to the City at, or prior to, the public hearing.

Notice regarding Planning Commission meetings: The Planning Commission meets regularly on the 1st Thursday of each month at 7:00 p.m. in the City Hall Council Chambers located at 420 Capitola Avenue, Capitola.

Agenda and Agenda Packet Materials: The Planning Commission Agenda and complete Agenda Packet are available on the Internet at the City's website: www.ci.capitola.ca.us. Agendas are also available at the Capitola Branch Library, 2005 Wharf Road, Capitola, on the Monday prior to the Thursday meeting. Need more information? Contact the Community Development Department at (831) 475-7300.

Agenda Materials Distributed after Distribution of the Agenda Packet: Materials that are a public record under Government Code § 54957.5(A) and that relate to an agenda item of a regular meeting of the Planning Commission that are distributed to a majority of all the members of the Planning Commission more than 72 hours prior to that meeting shall be available for public inspection at City Hall located at 420 Capitola Avenue, Capitola, during normal business hours.

Americans with Disabilities Act: Disability-related aids or services are available to enable persons with a disability to participate in this meeting consistent with the Federal Americans with Disabilities Act of 1990. Assisted listening devices are available for individuals with hearing impairments at the meeting in the City Council Chambers. Should you require special accommodations to participate in the meeting due to a disability, please contact the Community Development Department at least 24 hours in advance of the meeting at (831) 475-7300. In an effort to accommodate individuals with environmental sensitivities, attendees are requested to refrain from wearing perfumes and other scented products.

Televised Meetings: Planning Commission meetings are cablecast "Live" on Charter Communications Cable TV Channel 8 and are recorded to be replayed at 12:00 Noon on the Saturday following the meetings on Community Television of Santa Cruz County (Charter Channel 71 and Comcast Channel 25). Meetings can also be viewed from the City's website: www.ci.capitola.ca.us

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**CAPITOLA PLANNING COMMISSION
REGULAR MEETING MINUTES
OCTOBER 4, 2012 - 7:00 PM**

1. ROLL CALL AND PLEDGE OF ALLEGIANCE

Commissioners: Ed Newman, Gayle Ortiz (absent.), Mick Routh, Linda Smith, and Chairperson Graves

2. ORAL COMMUNICATIONS

A. Additions and Deletions to Agenda

Consent Item #4.C and #5.D will be continued indefinitely.
Public Hearing Item #5.B will be continued to the November 1, 2012 meeting.

B. Public Comments - None

C. Commission Comments

Commissioner Smith stated that staff has been working to resolve an issue regarding a restaurant with an outdoor bbq, which affects the outdoor deck of an adjacent restaurant along the Esplanade.

D. Staff Comments - None

3. APPROVAL OF MINUTES

A. September 6, 2012 Regular Planning Commission Meeting

Chairperson Graves clarified: Page 4: "Chairperson Graves suggested modified construction hours: Monday – Friday 7:30 a.m. – 6:00 p.m. Commissioner Ortiz suggested modified construction hours: Monday – Friday 7:30 a.m. – 7:00 p.m.

ACTION Motion made by Commissioner Smith and seconded by Commissioner Newman to Approve

**Passed For: Commissioners Newman, Routh, Smith, and Chairperson Graves;
Against: None; Absent: Commissioner Ortiz**

4. CONSENT CALENDAR

A. 809 BAY AVENUE #12-105 APN: 035-021-43

Commissioner Smith clarified that the proposed signs are already installed.

ACTION Motion made by Commissioner Newman and seconded by Commissioner Routh to Approve project application #12-105 with conditions and findings.

CONDITIONS

1. The project approval consists of a sign permit for two informational wall signs at Nob Hill located at 809-A Bay Avenue.
2. If minor modifications to the signs are desired by the applicant (i.e. lettering, materials, colors, illumination, etc.), the changes may be approved by the Community Development Department. Any significant changes shall require Planning Commission approval.
3. The signs shall be removed when it is determined by the Community Development Director that they are showing signs of wear or dilapidation.

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4. Prior to building permit sign off, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Zoning Administrator or Community Development Director.

FINDINGS

- A. **The application, subject to the conditions imposed, will secure the purposes of the Zoning Ordinance and General Plan.**

The Planning Commission finds that the proposed informational signs secure the purpose of the Zoning Ordinance and General Plan.

- B. **The application will maintain the character and integrity of the neighborhood.**

The Community Development Department Staff and Planning Commission have reviewed the plans to ensure that the sign maintains the character and integrity of the neighborhood.

- C. **This project is categorically exempt under the Section 15311(a) of the California Environmental Quality Act and is not subject to Section 753.5 of Title 14 of the California Code of Regulations.**

This project involves the installation of informational wall signs for an existing commercial retail building. Section 15311(a) exempts on-premise signs appurtenant to existing commercial facilities.

**Passed For: Commissioners Newman, Routh, Smith, and Chairperson Graves;;
Against: (None); Absent: Commissioner Ortiz**

- B. **816 BAY AVENUE #D #12-106 APN: 036-051-29**

Chairperson Graves removed the item from the Consent Agenda.

Senior Planner Bane presented the staff report

Commissioner Graves suggested an additional condition to prohibit amplified music in the pool area.

The public hearing was opened.

Mike Bodge, spoke in support of the application. He stated no amplified music will be played in the pool area.

Anna Gotti, spoke in support of the application.

The public hearing was closed.

- ACTION Motion made by Commissioner Routh and seconded by Commissioner Smith to Approve Project Application #12-106 with amended conditions and findings.**

CONDITIONS

1. The project approval consists of a Design Permit to construct a detached canopy structure as part of an existing health club (*Toadal Fitness*) use at 816-D Bay Avenue.

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2. If any upgrades or modifications to the design are desired by the applicant (i.e., materials, colors, etc.), the changes may be approved by the Community Development Department. Any significant changes may require Planning Commission approval.
3. The application shall be reviewed by the Planning Commission upon evidence of non-compliance with conditions of approval or applicable municipal code provisions.
4. Prior to granting of final occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Zoning Administrator or Community Development Director.
5. Amplified music shall fall within the permitted decibel level.

FINDINGS

A. The application, subject to the conditions imposed, will secure the purposes of the Zoning Ordinance and General Plan.

Community Development Department Staff, the Architectural and Site Review Committee and the Planning Commission have reviewed the application, which consists of construction of a detached canopy structure as part of an existing health club (*Toadal Fitness*) use at 816-D Bay Avenue. The project is consistent with the development standards in the CC (Community Commercial) zoning district. Conditions of approval have been included to carry out the objectives of the Zoning Ordinance and General Plan.

B. The application will maintain the character and integrity of the neighborhood.

Community Development Department Staff, the Architectural and Site Review Committee and the Planning Commission have all reviewed the project and determined that the project complies with the CC (Community Commercial) development standards, which were developed to ensure the projects maintain the character and integrity of this area of the City.

C. This project is categorically exempt under Section 15301 of the California Environmental Quality Act and is not subject to Section 753.5 of Title 14 of the California Code of Regulations.

The proposed project involves construction of a detached canopy structure as part of an existing health club (*Toadal Fitness*) use with no significant expansion of use beyond what has currently existed. No adverse environmental impacts were discovered during project review by either the Community Development Department Staff or the Planning Commission.

**Passed For: Commissioners Newman, Routh, Smith, and Chairperson Graves;;
Against: (None); Absent: Commissioner Ortiz**

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- C. 1066 41st AVENUE #12-091 APN: 034-711-01**
Continued indefinitely.

5. PUBLIC HEARINGS

A. Local Hazard Mitigation Plan (LHMP)

Public Works Director Steve Jesberg and Bill Wiseman, RBF Consulting, presented the staff report.

Commissioner Routh stated that there have been several sea level rise studies prepared, and inquired if these studies had been incorporated into the Draft Local Hazard Mitigation Plan.

Commissioner Smith inquired on the priority list shown on Table 38. Specifically, why is the building code pertaining to earthquake a low priority?

Bill Wisemen responded that the city is required to comply with the state building code regardless of the LHMP, therefore the rating is low.

Chairperson Graves suggested the report be sequentially numbered.

Commissioner Smith stated that the completion date 2015 to the move of all the facilities is a good goal for the purpose of funding, but not realistic.

The public hearing was opened.

Anna Gotti requested a copy of the LHMP report.

The public hearing was closed.

Commissioner Newman stated that the overall document was thorough and very detailed. He suggested that there be a summary of the report so that a lay person would be able to understand the document.

Commissioner Routh stated that the LHMP is a documentation of the history of disasters in Capitola. He agreed with Commissioner Smith that the 2015 target date for replacing city hall and the Police Department was unrealistic.

Chairperson Graves inquired on the priority.

Bill Wiseman stated that the document is bureaucratically structured to meet numerous program requirements. The prioritization was created by the LHMP Advisory Committee.

Chairperson Graves clarified that FEMA does not require a prioritization, but other funding sources may require a prioritization of work items.

Public Works Director Steve Jesberg stated what are listed as high priority elements of this plan were determined by looking at hazard mitigation. Building permit enforcement may not be a high priority, but the Building Department will perform ongoing enforcement regardless of the priority in the plan.

ACTION The Planning Commission received the report and forwarded comments onto the City Council.

- B. 500 PINE STREET #12-075 APN: 036-022-26**

Continued to the November 1, 2012 Planning Commission meeting.

C. 411 CAPITOLA AVENUE #12-101 APN: 035-131-34

Senior Planner Bane presented the staff report.

The public hearing was opened.

Dan Gomez, spoke in support of the application.

The public hearing was closed.

Chairperson Graves clarified the distance between the door and the property lines is approximately 5'-0".

Senior Planner Bane stated that the adjacent building is on the property line. There is an agreement to allow an easement for a parking space on the adjacent property for the business at 411 Capitola Avenue.

Chairperson Graves stated that there should be a recorded document, such as a deed, showing parking easement.

Commissioner Smith confirmed the sign material will be steel with a patina that will be sealed prior to installation to avoid staining the pavement. She suggested an additional condition to require the sign to be sealed prior to installation on the building. She noted that there are other businesses in the Village that have a wall sign and smaller window signs. She asked if the Planning Commission had ever denied an application for a sign on a building corner.

Commissioner Routh stated the Commission reviewed the signs for the businesses at Capitola Beach Villas along the railroad tracks.

Commissioner Smith commented that the railroad tracks represented as a roadway for a corner. She asked if the sign has any lighting.

Senior Planner Bane stated the sign will have halo type led lighting.

ACTION

Motion made by Commissioner Mick Routh and seconded by Commissioner Linda Smith to Approve Approved project application #12-101 with conditions and findings.

CONDITIONS

1. The project approval consists of a Design Permit and Sign Permit for exterior improvements and signage to an existing mixed-use building at 411 Capitola Avenue.
2. If any upgrades or modifications to the design are desired by the applicant (i.e., materials, colors, etc.), the changes may be approved by the Community Development Department. Any significant changes may require Planning Commission approval.
3. The application shall be reviewed by the Planning Commission upon evidence of

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non-compliance with conditions of approval or applicable municipal code provisions.

4. Prior to granting of final occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Zoning Administrator or Community Development Director.

5. The steel sign shall be sealed prior to installation on the building.

FINDINGS

- A. **The application, subject to the conditions imposed, will secure the purposes of the Zoning Ordinance and General Plan.**

Community Development Department Staff, the Architectural and Site Review Committee and the Planning Commission have reviewed the application, which consists of exterior improvements and signage to an existing mixed-use building at 411 Capitola Avenue. The project is consistent with the development standards in the CN (Neighborhood Commercial) zoning district. Conditions of approval have been included to carry out the objectives of the Zoning Ordinance and General Plan.

- B. **The application will maintain the character and integrity of the neighborhood.**

Community Development Department Staff, the Architectural and Site Review Committee and the Planning Commission have all reviewed the project and determined that the project complies with the CN (Neighborhood Commercial) development standards, which were developed to ensure projects maintain the character and integrity of this area of the City.

- C. **This project is categorically exempt under Section 15301 of the California Environmental Quality Act and is not subject to Section 753.5 of Title 14 of the California Code of Regulations.**

The proposed project involves exterior improvements and signage to an existing mixed-use building with no significant expansion of use beyond what has currently existed. No adverse environmental impacts were discovered during project review by either the Community Development Department Staff or the Planning Commission.

Passed For: Commissioners Routh, Smith, and Chairperson Graves; Against: (None); Abstain: Commissioner Newman; Absent: Commissioner Ortiz

- D. **2178 41st AVENUE #12-080 APN: 034-221-02
Continued to the November 1, 2012 Planning Commission meeting.**

6. DIRECTOR'S REPORT

Senior Planner Bane presented a proposal to change the exterior of the home located at 3710 Deanes Lane from horizontal wood siding to stucco. Although the home is 50 years or older, it is not listed on the historic survey. Mr. Bane asked if the Commission wanted to review a design permit application prior to any staff action.

Commissioner Smith confirmed the home is not included in the historic survey.

Commissioners Routh, Smith and Chairperson Graves supported reviewing a design permit application prior to any staff action.

7. COMMISSION COMMUNICATIONS

Chairperson Graves inquired on the status of the farmer's market at the mall parking lot. He noted that the parking area cordoned off for vendors has not been used. He asked about the start-up date for the new signs in the Village. There are several signs that have gone up in the Village.

Senior Planner Bane stated that the ordinance requires an amendment to the Coastal Plan. The Coastal Commission may be reviewing the amendment within the next month with an estimated start-up date at the beginning of 2013.

Commissioner Routh asked if the new Dollar Tree on 41st Avenue has a temporary sign permit for all the lawn signs and banners?

Senior Planner Bane responded that the business has a legal temporary banner permit, but the small lawn flags are illegal. Additionally there is an issue with the window signs that staff and the business are working to resolve.

Chairperson Graves asked for the status of the North Coast Orthodontics business signs and landscaping.

Senior Planner Bane responded that the banners are illegal. However, the staff has approved permanent wall signs consistent with the previous business approved sign area. The business owner has hired a landscape architect to design a drought tolerant landscape for the property.

Commissioner Smith commented that the new agenda software is difficult to navigate and requested a hard copy of the agenda.

Chairperson Graves recognized a member of the public.

Anna Gotti stated that the Commission received a report on the LHMP. The city has a disaster preparedness plan that should be shared with the community. She encouraged disaster preparedness through the Red Cross. Central Fire District has a disaster preparedness class starting in November. For information about the class contact Central Fire District on 17th Avenue.

8. ADJOURNMENT

The Planning Commission adjourned the meeting at 8:40 p.m. to a Regular Meeting of the Planning Commission to be held on Thursday, November 1, 2012 at 7:00 p.m., in the City Hall Council Chambers, 420 Capitola Avenue, Capitola, California.

Approved by the Planning Commission on November 1, 2012

Danielle Uharriet, Minute Clerk

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STAFF REPORT

TO: PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT

DATE: NOVEMBER 1, 2012

SUBJECT: **500 PINE STREET # 12-075 APN: 036-022-26**
 Design Permit to construct a single-story addition to an existing single-family house, including a single-car garage in the RM-M (Multiple-Family Residence Medium Density) Zoning District.
 Environmental Determination: Categorical Exemption
 Owner: David Biancalana
 Applicant: Richard Emigh

APPLICANT’S PROPOSAL

The applicant is proposing an addition to an existing one-story, single-family residence at 500 Pine Street in the RM-M (Multiple-Family Residence Medium Density) zoning district. The use is consistent with the General Plan and Zoning Ordinance.

<u>STRUCTURAL DATA</u>				
<u>SETBACKS</u>		Required	Proposed	
Front Yard				
	Driveway	18'	29'	
	1 st Story	15'	29'	
Rear Yard				
	1 st Story	25'	31'	
Side Yard				
	1 st Story	7'	11'-6" (l) & 17'-10" (r)	
HEIGHT		25'	14'-6"	

<u>FLOOR AREA RATIO</u>	Lot Size	MAX (48%)	Proposed (31%)	
	13,875 sq. ft	6,660 sq. ft.	4,318 sq. ft	

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PLANNING COMMISSION AGENDA REPORT: NOVEMBER 1, 2012 500 PINE STREET

	Habitable Space	Garage	Covered Porch	Total
Existing House/Garage	1,820 sq. ft.	840 sq. ft.	n/a	2,660 sq. ft.
Proposed Lanai Addition	408 sq. ft.	-	n/a	408sq. ft.
Proposed Recreation Room	850 sq. ft.	400 sq. ft.	n/a	1,250 sq. ft.
Proposed TOTAL	3,078 sq. ft.	1,240 sq. ft.	n/a	4,318 sq. ft.
<u>PARKING</u>				
	Required	Proposed		
	4 off-street spaces, one of which must be covered, or pursuant to Planning Commission discretion	4 covered spaces		
Total	4 spaces	4 spaces		

BACKGROUND

On September 12, 2012, the Architectural and Site Review Committee reviewed the application.

- Senior Planner Bane requested an accurate table breaking down the existing habitable space, garage, etc. to better calculate the FAR requirements.
- Public Works Director Steve Jesberg discussed the issues with street improvements, noting that the large redwood tree would make it problematic to install curb, gutter and sidewalk. Due to the fact that there was no sidewalk along the street and the size of the tree, he suggested that the tree remain and that a condition be added that requires the applicant record a deferred sidewalk agreement that conditioned that the property owner install a sidewalk in the future.
- City Architect Derek Van Alstine suggested that the neighboring structures be shown on the site to help show the relationship between the properties.
- City Landscape Architect Susan Suddjian commented that the redwood tree appeared healthy, but if it were approved for removal that two native trees be planted in its place. She also suggested that if the tree remains that the driveway under the drip line should be permeable. She approved of the overall proposed landscape plan.

DISCUSSION

The subject property is a 13,875 square foot lot that slopes up from the street within a developed neighborhood made up of both single-family and multi-family residences. The parcel currently contains a 1,850 square foot house, in addition to an 840 square foot detached accessory structure to the rear of the property. The applicant is proposing an addition toward the front of property that will include a 408 square foot lanai, as well as a 1,250 square foot recreation room and garage structure connected via a breezeway. The recreation room includes a wet bar, bathroom, and hot tub, as well as an attached shop/garage that opens to the front driveway. The new structures are proposed to match the existing house by using the same exterior materials and colors.

Front yard improvements also include replacing the existing wood retaining wall along the front with a concrete wall, paving of the circular driveway which is currently gravel, and new landscaping including removal of the large redwood tree along the street frontage. While the

PLANNING COMMISSION AGENDA REPORT: NOVEMBER 1, 2012 500 PINE STREET

applicant is proposing removal of the tree, the Architectural and Site Review Committee recommended that it be maintained.

Being a single-family use in the RM-M zoning district, the Zoning Code requires that the R-1 standards be applied. The proposed house conforms to all R-1 single-family development standards, including height, setbacks, parking, and floor area ratio (FAR).

CEQA REVIEW

Section 15301(e)(2) of the CEQA Guidelines exempts additions to structures that are less than 10,000 square feet if the project is in an area where all public facilities are available to allow for the development and the project is not located in an environmentally sensitive area. This project involves an addition to a one-story single-family residence that is considered infill development. No adverse environmental impacts were discovered during review of the proposed project

RECOMMENDATION

Based on discussion at the Architectural and Site Review Committee, it is recommended that the existing redwood tree be retained and a deferred sidewalk agreement be recorded. With a condition (#4) added to reflect that, staff recommends the Planning Commission **approve** project application #12-075 based on the following Conditions and Findings for Approval.

CONDITIONS

1. The project approval consists of construction of an addition to an existing one-story, single-family residence at 500 Pine Street. The addition consists of a 408 square foot lanai, as well as a 1,250 square foot recreation room and garage structure connected via a breezeway.
2. Any significant modifications to the size or exterior appearance of the structure must be approved by the Planning Commission.
3. Hours of construction shall be Monday to Friday 7:30 a.m. – 9:00 p.m., and Saturday 9:00 a.m. – 4:00 p.m., per city ordinance.
4. The existing redwood tree shall be retained and a deferred sidewalk agreement recorded prior to issuance of a building permit.
5. An encroachment permit shall be acquired for any work performed in the right-of-way.
6. A drainage plan or design shall be submitted with the final building plans, to the satisfaction of the Public Works Director.
7. The project shall implement Low Impact Development BMP's outlined in the *Slow it. Spread it. Sink it. Homeowner's Guide to Greening Stormwater Runoff* by the Resource Conservation District of Santa Cruz County. The applicant shall provide details on the bmp's implemented and with a goal of not allowing more than 25% of total impervious area from discharging directly from the site.
8. The final landscape plan shall be submitted with the building permit application and will include the specific number of plants of each type and their size, as well as the irrigation

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PLANNING COMMISSION AGENDA REPORT: NOVEMBER 1, 2012 500 PINE STREET

system to be utilized. Front yard landscaping shall be installed prior to final building occupancy.

9. Affordable housing in-lieu fees shall be paid as required to assure compliance with the City of Capitola Affordable (Inclusionary) Housing Ordinance. Any appropriate fees shall be paid prior to building permit issuance.
10. Prior to granting of final occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Zoning Administrator or Community Development Director.

FINDINGS

- A. **The application, subject to the conditions imposed, will secure the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.**

Planning Department Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the project. The project generally conforms to the development standards of the R-1 (Single Family Residence) Zoning District. Conditions of approval have been included to carry out the objectives of the Zoning Ordinance, General Plan and Local Coastal Plan.

- B. **The application will maintain the character and integrity of the neighborhood.**

Planning Department Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the project. The project conforms to the development standards of the R-1 (Single Family Residence) Zoning District. Conditions of approval have been included to ensure that the project maintains the character and integrity of the neighborhood.

- C. **This project is categorically exempt under Section 15301(e)(2) of the California Environmental Quality Act and is not subject to Section 753.5 of Title 14 of the California Code of Regulations.**

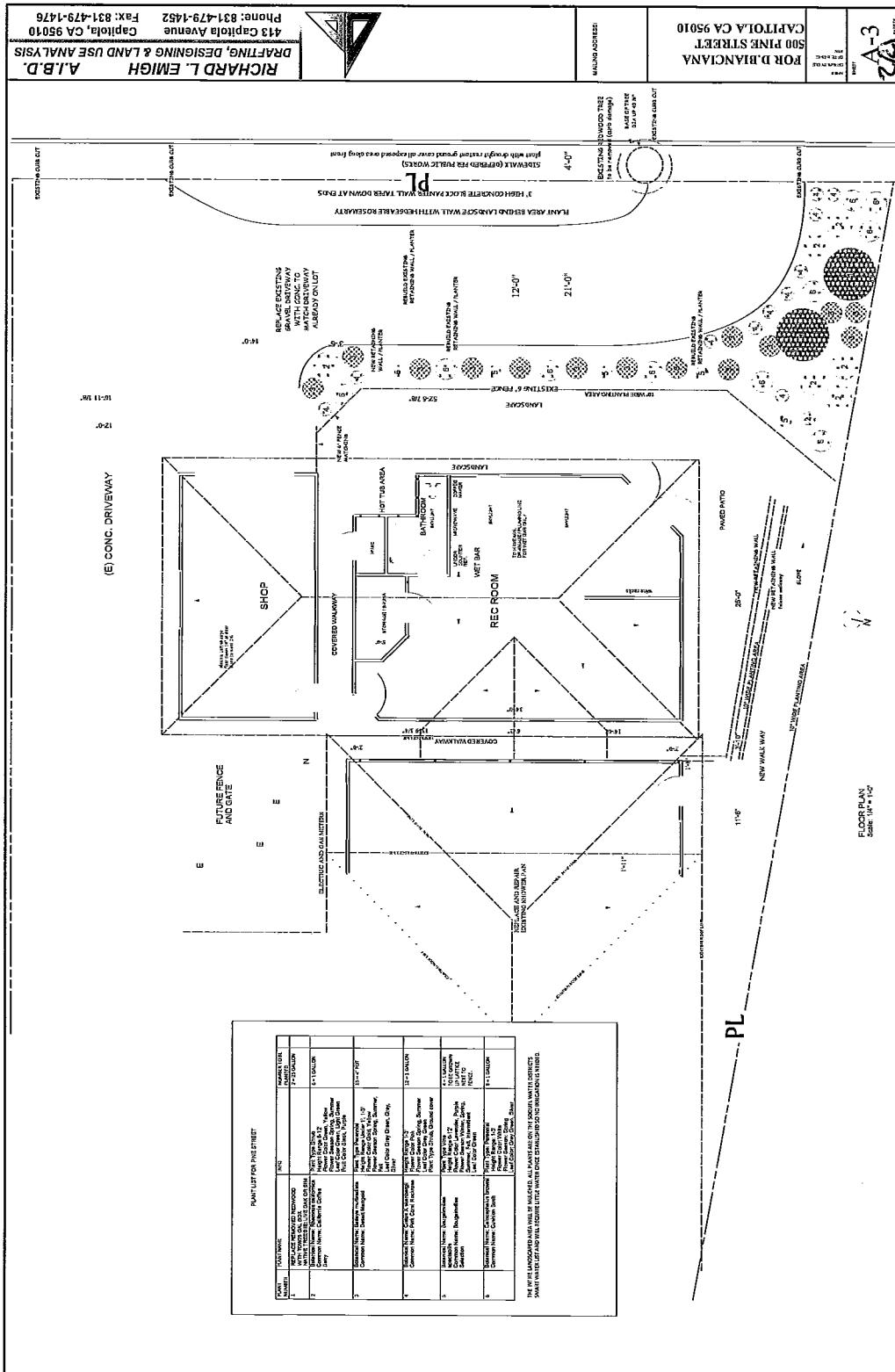
Section 15301(e)(2) of the CEQA Guidelines exempts additions to structures that are less than 10,000 square feet if the project is in an area where all public facilities are available to allow for the development and the project is not located in an environmentally sensitive area. This project involves an addition to a one-story single-family residence that is considered infill development. No adverse environmental impacts were discovered during review of the proposed project

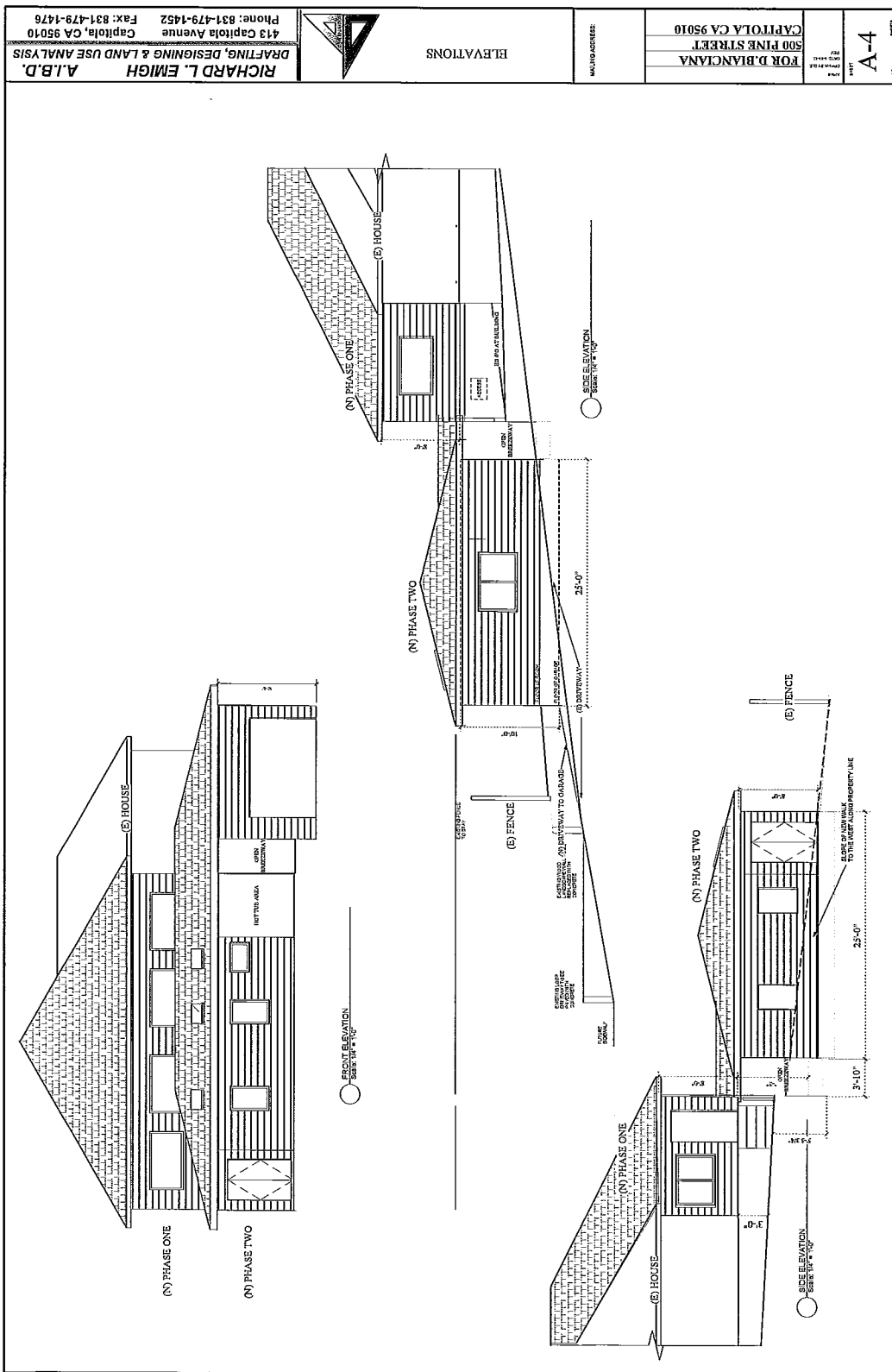
ATTACHMENTS

- A. Project Plans

**Report Prepared By: Ryan Bane
Senior Planner**

Item #: 5. 500_Pine_Street_Attachment_A.pdf





RICHARD L. EMIGH
A.I.B.D.
 DRAFTING, DESIGNING & LAND USE ANALYSIS
 413 Capitol Avenue
 Capitola, CA 95010
 Phone: 831-479-1452 Fax: 831-479-1476

ELEVATIONS

MULTI ADDRESS:

FOR D. BIANCIANA
 500 PINE STREET
 CAPITOLA CA 95010

DATE: 11/11/11
 SHEET: A-4



STAFF REPORT

TO: PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT

DATE: NOVEMBER 1, 2012

SUBJECT: **5000 CLIFF DRIVE** #12-098 APN: 034-052-15
Design Permit and Sign Permit for the exterior remodel of an existing motel (Harbor Lights Motel) in the CV (Central Village) Zoning District.
Environmental Determination: Categorical Exemption
Property Owner: Hank & Nancy Wempe, filed 8/3/12
Representative: Steve Elmore

APPLICANT'S PROPOSAL

The applicant is proposing exterior improvements to an existing motel (*Harbor Lights Motel*) at 5000 Cliff Drive in the CV (Central Village) zoning district. Improvements include new wall signs, new wall columns along the north elevation, the addition of an elevator, new stairways, and an outdoor deck with a fireplace, bench seats, guardrails and planters. The use is consistent with the General Plan, Coastal Plan and Zoning Ordinance.

BACKGROUND

On August 22, 2012, the Architectural and Site Review Committee reviewed the application.

- Senior Planner Bane requested detailed sign plans, a color and materials board, in addition to a landscape plan for updating the existing landscaping.
- Public Works Director Steve Jesberg requested better details showing the new stairs and landing at the corner.
- City Architect Derek Van Alstine expressed that he was glad to see improvements to the building. He liked the new patio deck and the idea of the mural. He suggested new landscaping, including plants that could be planted in the proposed planter boxes to drape over and soften the building. He also recommended that different shades of paint be used to create more depth and break up the building.
- City Landscape Architect Susan Suddjian agreed that new landscaping was needed. She suggested plants that would add some verticality and create a theme, such as palm trees. She pointed out that the city planter at the corner needed to be updated as it was a focal point of the building. She also suggested adding potted plants on the deck to create a more tropical theme.

DISCUSSION

The *Harbor Lights Motel* is a 10-room motel located at the intersection of Wharf Road and Cliff Drive. Under new ownership, the applicants are proposing exterior improvements to the motel

Item #: 5. 5000_Cliff_Drive_stf_rpt.pdf

PLANNING COMMISSION AGENDA REPORT: NOVEMBER 1, 2012 5000 CLIFF DRIVE

in order to update the building and provide new amenities, including an elevator and outdoor deck. Improvements include the following:

- Two new wall signs;
- The addition of new wall columns along the north (Cliff Drive) elevation;
- A new elevator;
- Replacement of the fire escape with a new stairway;
- New ADA accessible landing, ramp and stairs on to Cliff Drive;
- A new outdoor deck with a fireplace, bench seats, guardrails and planters;
- New landscaping; and
- New paint, including a potential mural on the north elevation.

No new additional rooms are proposed as part of this application, so there will be no intensification of use that could affect parking requirements.

Signage

The applicant is proposing two new wall signs, one facing Cliff Drive, and the other facing the intersection of Wharf Road and Cliff Drive. The newly renamed motel will be “*Capitola Beach Suites*”, with the signs consisting of individual backlit metal letters. The Sign Ordinance states that “Businesses which are located adjacent to two streets (corner) shall be permitted one additional wall sign, to face the second adjacent street if the business is not identified on a monument sign.” Being a fairly odd shaped corner lot, the triangle shaped motel has two main sides, one facing Cliff Drive, and the other facing Wharf Road. Therefore the two wall signs are permitted.

The Sign Ordinance also requires that the size of wall signs be no greater than one square foot of sign area for each foot of lineal business frontage. With a total of approximately 116 lineal feet along Cliff Drive, and 105 lineal feet along Wharf Road, a total of 221 square feet of sign area is permitted for the subject property. Both proposed signs combined total approximately 30 square feet, well within the allowable 221 square feet. More detailed sign plans will be provided at the Planning Commission meeting, or emailed to the commissioners once staff receives them from the applicant.

CEQA REVIEW

Section 15301 of the CEQA Guidelines exempts alterations of existing structures involving negligible or no expansion of use beyond that existing at the time of the lead agency’s determination. The proposed project involves exterior improvements and signage to an existing hotel building with no significant expansion of use beyond what currently exists. No adverse environmental impacts were discovered during review of the proposed project.

RECOMMENDATION

Staff recommends the Planning Commission **approve** project application #12-098 based on the following Conditions and Findings for Approval.

CONDITIONS

1. The project approval consists of exterior improvements to an existing motel (*Harbor Lights Motel*) at 5000 Cliff Drive in the CV (Central Village) zoning district. Improvements include

PLANNING COMMISSION AGENDA REPORT: NOVEMBER 1, 2012 5000 CLIFF DRIVE

new wall signs, new wall columns along the north elevation, the addition of an elevator, new stairways, and an outdoor deck with a fireplace, bench seats, guardrails and planters.

2. Any significant modifications to the size or exterior appearance of the structure must be approved by the Planning Commission.
3. Use of the outdoor deck area shall be prohibited between the hours of 11PM and 7AM.
4. Hours of construction shall be Monday to Friday 7:30 a.m. – 9:00 p.m., and Saturday 9:00 a.m. – 4:00 p.m., per city ordinance.
5. An encroachment permit shall be acquired for any work performed in the right-of-way.
6. The final landscape plan shall be submitted with the building permit application and will include the specific number of plants of each type and their size, as well as the irrigation system to be utilized. Landscaping shall be installed prior to final building occupancy.
7. All curbs, gutters and sidewalks damaged during construction shall be improved to the satisfaction of the Public Works Department prior to final occupancy.
8. The applicant shall pay the appropriate fees in compliance with Chapter 2.58: Funding the Public Art Program; for non-residential projects with a total building permit valuation of at least two hundred fifty thousand dollars, excluding land acquisition.
9. Prior to granting of final occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Zoning Administrator or Community Development Director.

FINDINGS

- A. **The application, subject to the conditions imposed, will secure the purposes of the Zoning Ordinance and General Plan.**

Community Development Department Staff, the Architectural and Site Review Committee and the Planning Commission have reviewed the application, which consists of exterior improvements to an existing hotel. The project is consistent with the development standards in the CV (Central Village) Zoning District and compliant with the Central Village Design Guidelines. Conditions of approval have been included to carry out the objectives of the Zoning Ordinance and General Plan.

- B. **The application will maintain the character and integrity of the neighborhood.**

Community Development Department Staff, the Architectural and Site Review Committee and the Planning Commission have all reviewed the project and determined that the project complies with the Central Village Design Guidelines, which were developed to ensure projects maintain the character and integrity of this area of the City.

- A. **This project is categorically exempt under Section 15301 of the California Environmental Quality Act and is not subject to Section 753.5 of Title 14 of the California Code of Regulations.**

Item #: 5. 5000_Cliff_Drive_stf_rpt.pdf

PLANNING COMMISSION AGENDA REPORT: NOVEMBER 1, 2012 5000 CLIFF DRIVE

The proposed project involves exterior improvements and signage to an existing hotel building with no significant expansion of use beyond what has currently existed. No adverse environmental impacts were discovered during project review by either the Community Development Department Staff or the Planning Commission.

ATTACHMENTS

- A. Project Plans
- B. Material and Color List

**Report Prepared By: Ryan Bane
Senior Planner**

Item #: 5. 5000 Cliff Drive Attachment A.pdf

STEVEN A. ELMORE - ARCHITECT
 1557 TAYLOR LANE
 SANTA CRUZ, CA 95062
 021 229 1244

RENOVATION TO EXISTING
 HARBOR LIGHTS MOTEL
 5000 CLIFF DRIVE
 CAPITOLA, CA 95010
 APR 21, 2012

10 OCT 2011
 21 NOV 2011
 29 FEB 2012
 12 OCT 2012

NEW SITE PLAN
 VP 31.P A

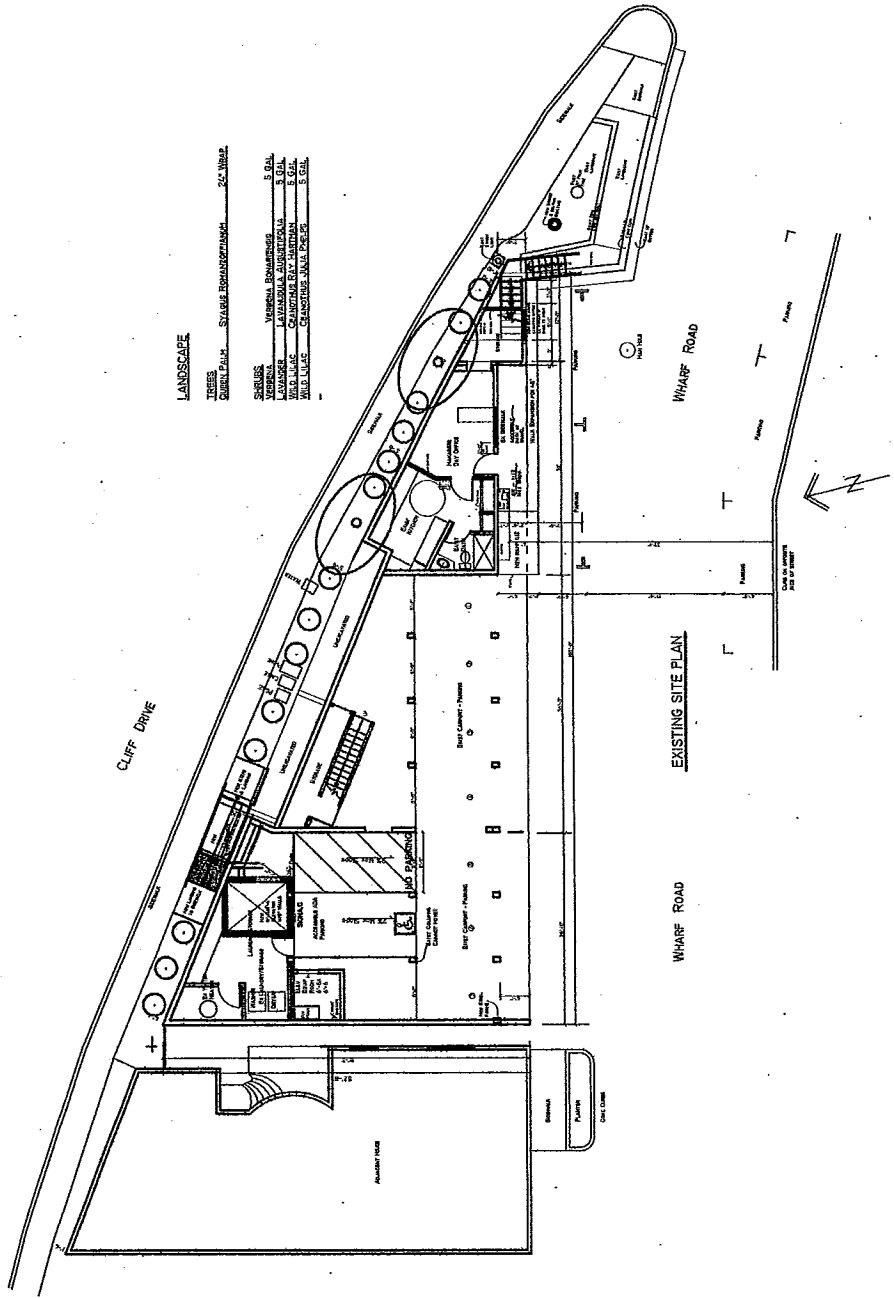
HARBOR LIGHTS A-Q NEW SITE PLAN.DWG

MATERIAL & COLOR LIST: CAPITOLA BEACH SUITES (Formerly Harbor Lights Motel)

WALLTYPE	MATERIAL	COLOR	PAINT
STUCCO WALL	STUCCO	POTTERYCLAY	SW701
EXTERIOR WALL	STUCCO	MILK/WHITE	SW601
DOOR	WOOD	MILK/WHITE	SW601
HANDRAIL	STEEL	WHEAT	SW601
			SW601

LANDSCAPE

TREES	SHRUBS	PLANTS
QUIN PALM	VARIOUS BROWNIERES	VARIOUS
STAGBEE BROWNIERES	VARIOUS	VARIOUS
VARIOUS	VARIOUS	VARIOUS
VARIOUS	VARIOUS	VARIOUS
VARIOUS	VARIOUS	VARIOUS
VARIOUS	VARIOUS	VARIOUS



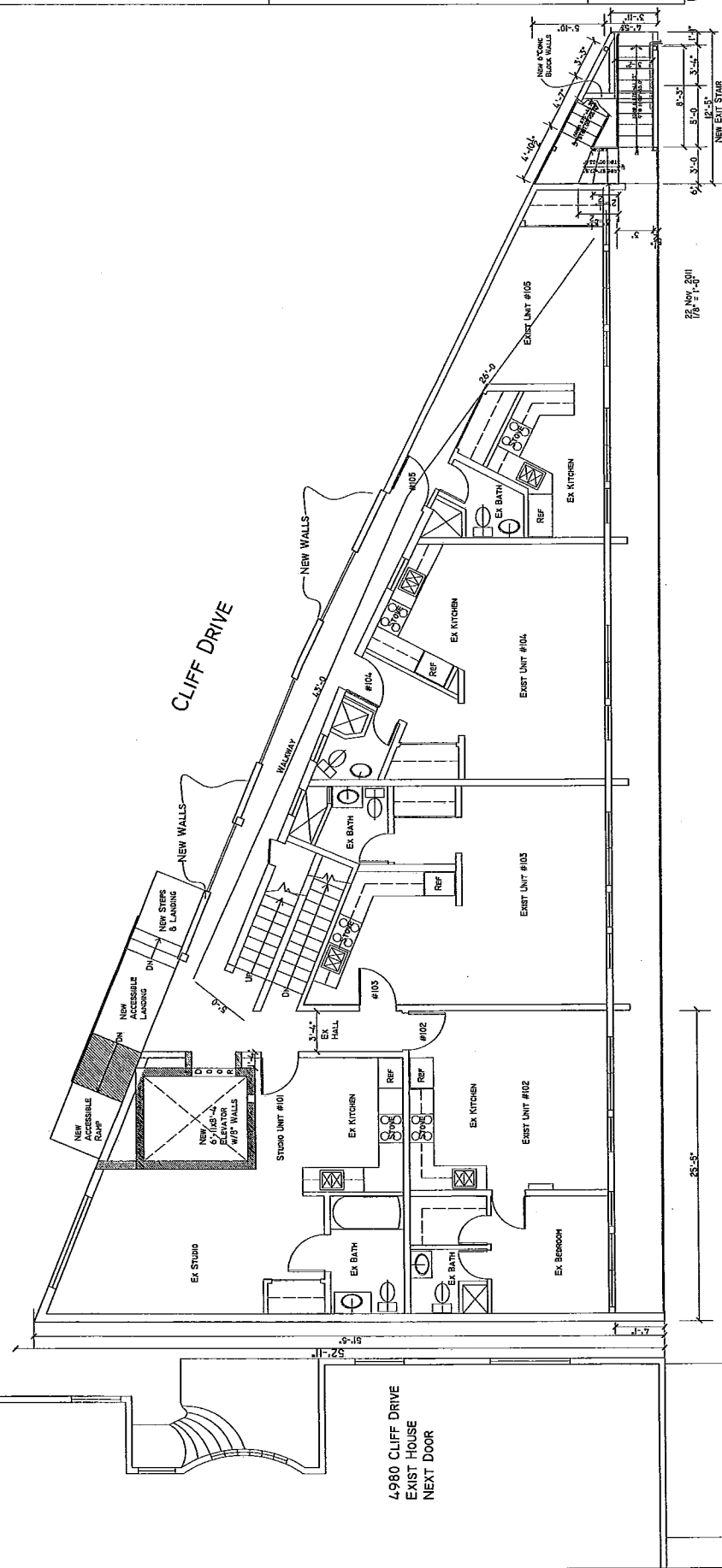
STEVEN A. ELMORE - ARCHITECT
 1557 TAYLOR LANE
 SANTA CRUZ, CA 95062

HARBOR LIGHTS MOTEL
 5000 CLIFF DRIVE
 10 OCT 2011
 20 OCT 2011
 23 OCT 2011
 29 FEB 2012

PROP 1ST FLOOR
 1/2" = 1'-0"

NEW EXIT STAIR REPLACES OLD FIRE ESCAPE
 CALL STEEL STRINGERS W/ PRECAST CONIC TREADS
 W/ CLOSED RISERS. SHOP DRAWINGS FOR REVIEW
 & APPROVAL ARE REQUIRED.

HL A-2 PROP 1ST FLOOR PLAN DWG



PROPOSED 1ST FLOOR PLAN
 OPT A (LG ELV 6'-11X8'-4)

EXISTING WALLS
 NEW WALLS

22 Nov 2011
 1/8" = 1'-0"

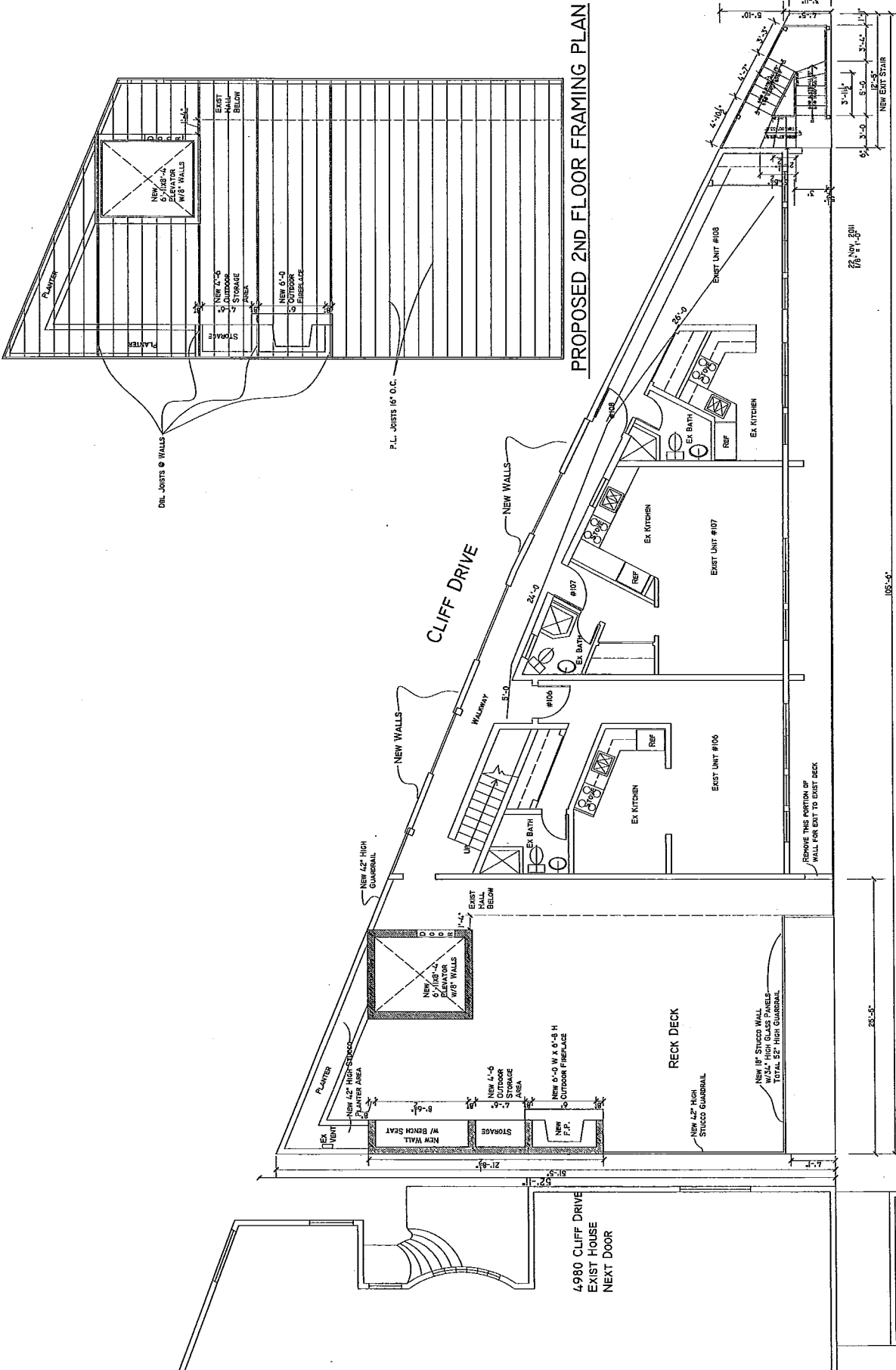
STEVEN A. ELMORE - ARCHITECT
 157 TAYLOR LANE
 SANTA CRUZ, CA 95062

HARBOR LIGHTS MOTEL
 5000 CLIFF DRIVE
 CAPITOL
 27 OCT 2011
 28 NOV 2011
 29 NOV 2011
 29 FEB 2012

PROP 2ND FLOOR PLAN

1/4" = 1'-0"

HL-A-3 PROP 2ND FLOOR PLAN



NEW EXIST STAIR REPLACES OLD FIRE ESCAPE
 NEW EXIST STAIR REPLACES OLD FIRE ESCAPE
 W/ CLOSED RISERS. SHIP DRAWINGS FOR REVIEW
 & APPROVAL ARE REQUIRED.

PROPOSED 2ND FLOOR PLAN
 OPT A (LG ELV 6'-11X8'-4")

EXISTING WALLS
 NEW WALLS

STEVEN A. ELMORE - ARCHITECT
1557 TAYLOR LANE

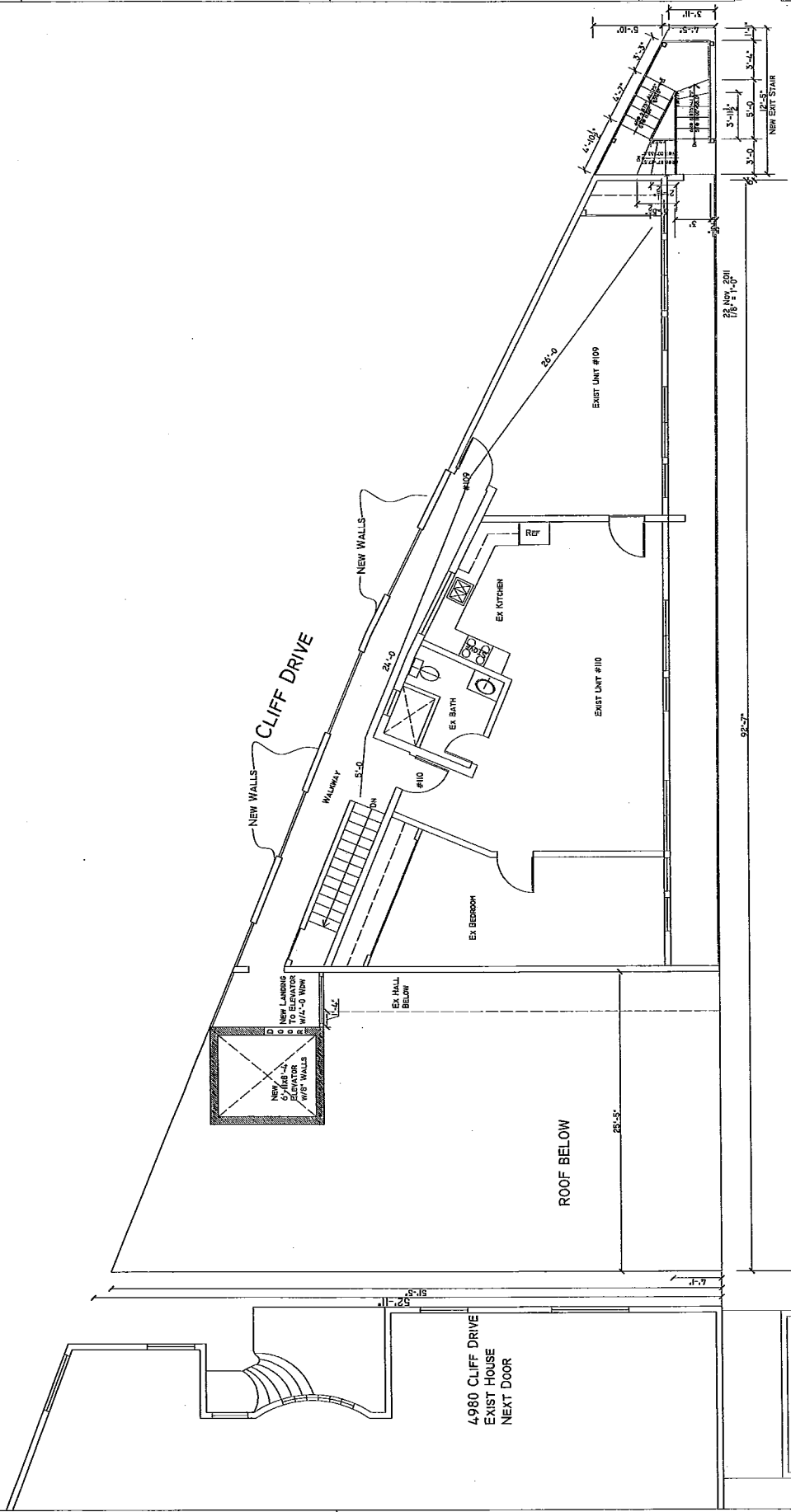
HARBOR LIGHTS MOTEL
5000 CLIFF DRIVE

DATE: 01/21/11
SCALE: 1/8" = 1'-0"

PROJ 3RD FLC
1/2" = 1'-0"

NEW EXIT STAIR REPLACES OLD FIRE ESCAPE
FOR EXISTING UNIT #109. ALL EXISTING
BY CLOSED RISERS. SHOP DRAWINGS FOR REVIEW
& APPROVAL ARE REQUIRED.

HL A-4 PROP 3RD FLR PLAN.DWG



PROPOSED 3RD FLOOR PLAN
OPT A (LG ELV 6'-11X8'-4)

EXISTING WALLS
NEW WALLS

4980 CLIFF DRIVE
EXIST HOUSE
NEXT DOOR

STEVEN A. ELMORE - ARCHITECT
 1557 TAYLOR LANE
 SANTA CRUZ, CA 95062

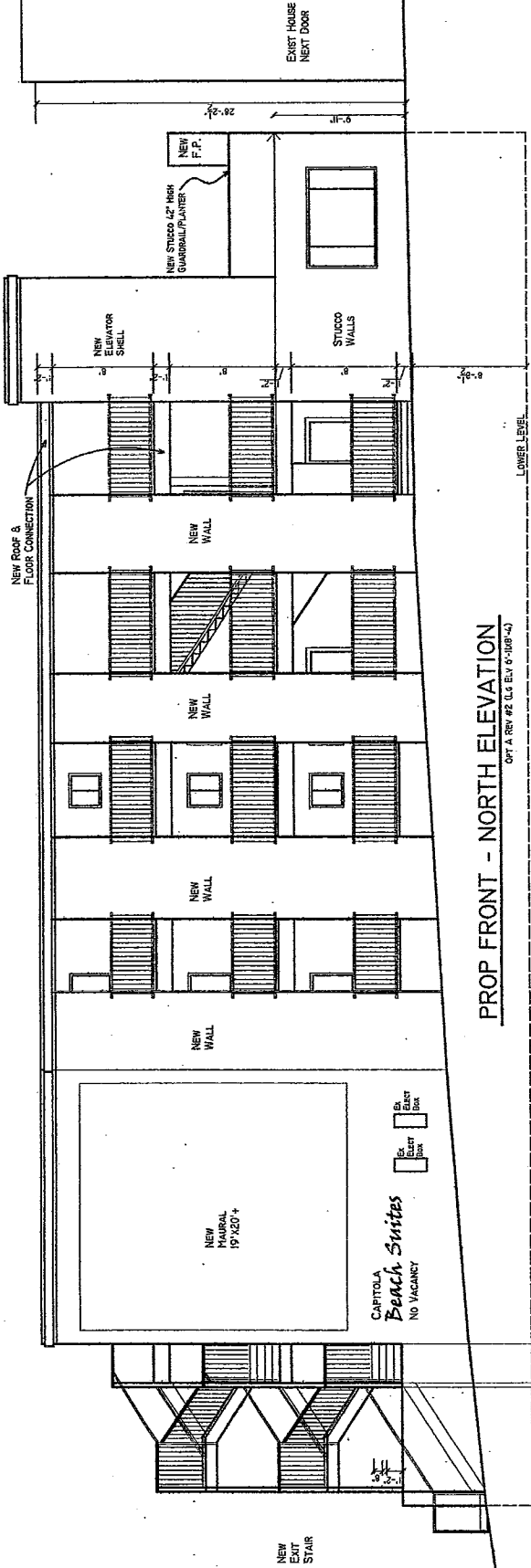
HARBOR LIGHTS MOTEL

5000 CLIFF DRIVE
 CAPITOLA
 14 OCT 2011
 14 NOV 2011
 21 NOV 2011
 12 OCT 2012

PROP NORTH & SOUTH
 ELEVATIONS

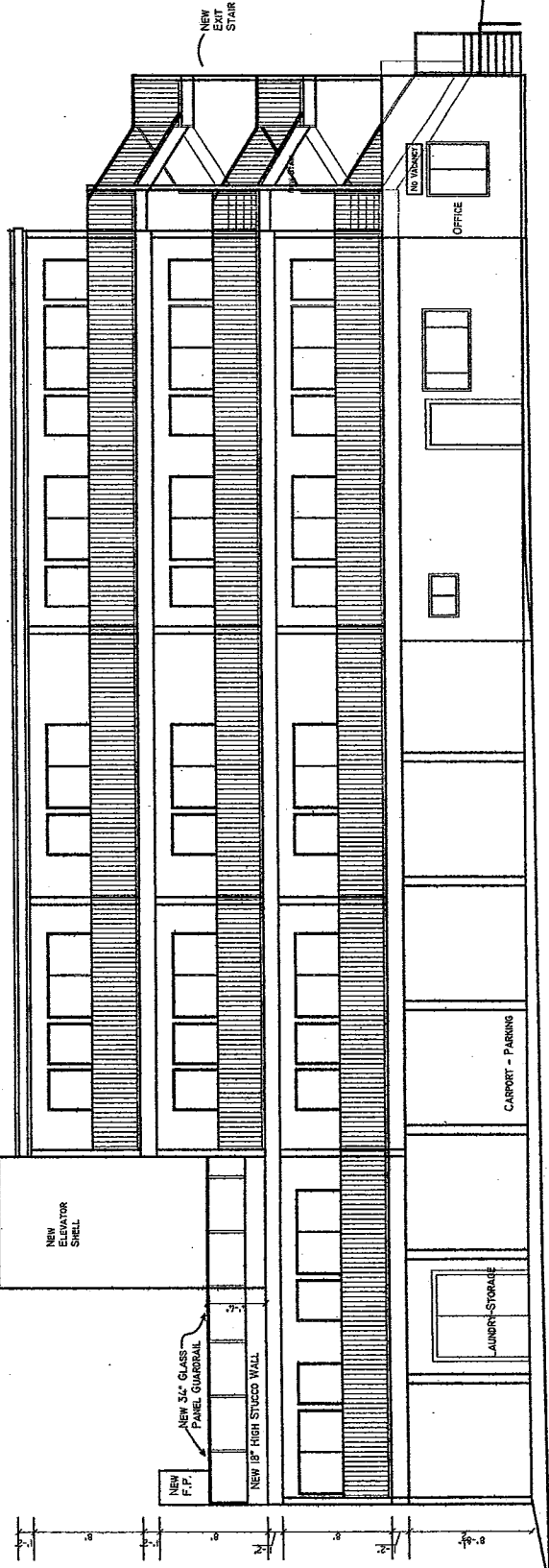
1/4" = 1'-0"
 A-5

HARBOR LIGHTS A-5 PROP N & S ELEVATIONS



PROP FRONT - NORTH ELEVATION

OPT A REV #2 (L&L 6-108-4)



PROP REAR - SOUTH ELEVATION

NEW
 19 1820'4

CAPITOLA
Beach Suites
 NO VACANCY

EX
 EXIST
 BOX

EX
 EXIST
 BOX

NEW
 ELEVATOR
 SHELL

NEW
 F.P.

NEW 3 1/2\"/>
 PANEL
 GUARDRAIL

NEW 18\"/>
 HIGH STUCCO WALL

LAUNDRY-STORAGE

CARPORY - PARKING

OFFICE

NO VACANCY

NEW
 EXIST
 STAIR

EXIST DOOR
 NEXT DOOR

STUCCO
 WALLS

NEW STUCCO 12\"/>
 HIGH
 GUARDRAIL/PANTRY

NEW
 F.P.

NEW
 ELEVATOR
 SHELL

NEW
 WALL

NEW
 WALL

NEW
 WALL

NEW
 WALL

NEW ROOF &
 FLOOR CONNECTION

LOWER LEVEL

STEVEN A. ELMORE - ARCHITECT
 1557 TAYLOR LANE
 SANTA CRUZ, CA 95062

HARBOR LIGHTS MOTEL
 5000 CLIFF DRIVE
 SAN JOSE, CA 95128

12 OCT 2011
 26 OCT 2011
 26 AUG 2012
 12 OCT 2012

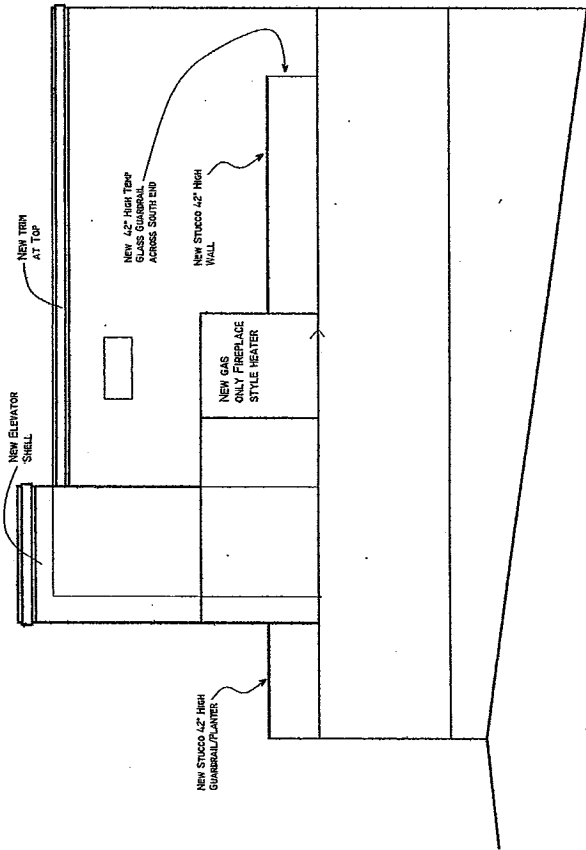
PROP N & S ELEV

1/4" = 1'-0" A

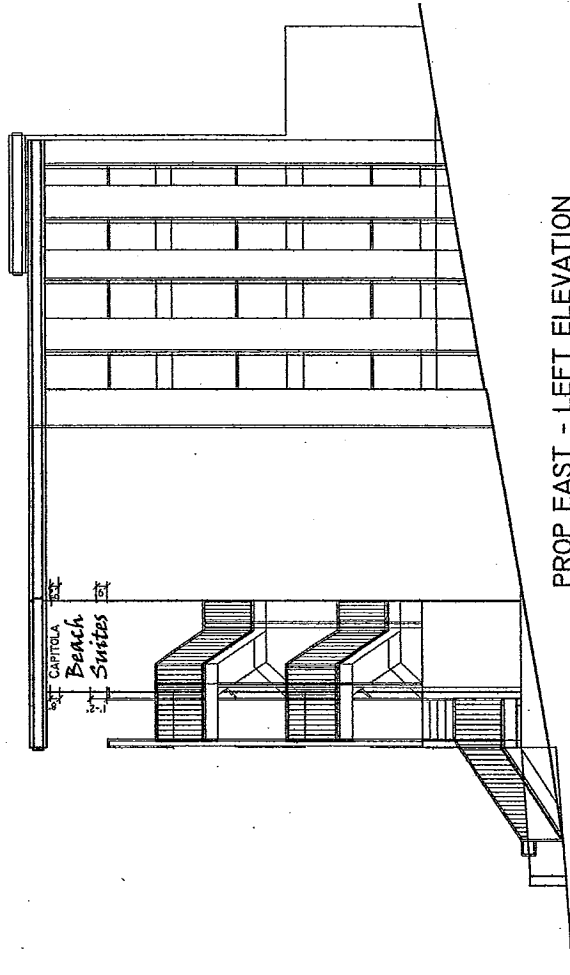
HARBOR LIGHTS A-C PROP W & E ELEV.DWG

**MATERIAL & COLOR LIST: CAPITOLA BEACH SUITES
 (Formerly Harbor Lights Motel)**

WHAT IT IS	MATERIAL	COLOR	PAINT
STUCCO WALLS:	STUCCO	POTTERS CLAY	BM-1221
RECESSED WALL:	STUCCO	MILK AND HONEY	BM-AF-210
DOORS:	WOOD	BLUE NOVA	BM-625
HANDRAILS:	STEEL	WIZZARD	BM - CC-868



PROP WEST - RIGHT ELEVATION



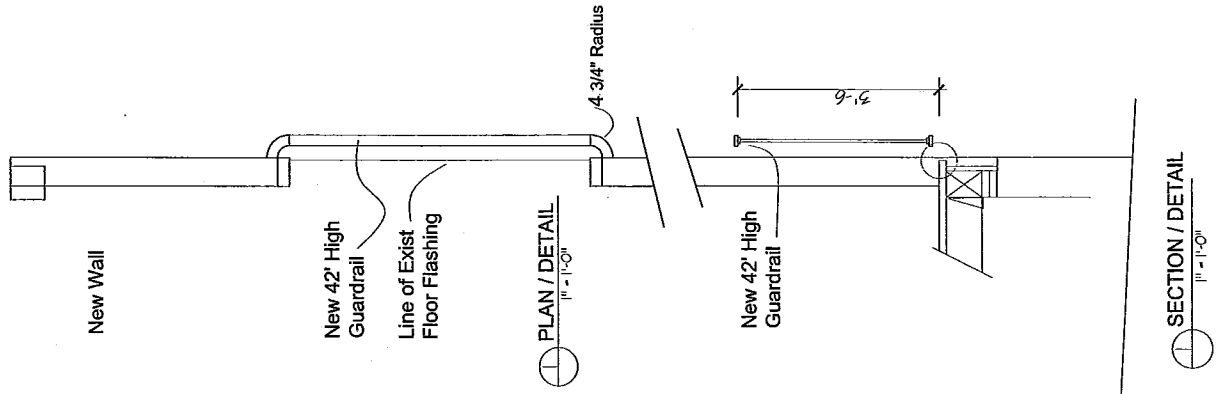
PROP EAST - LEFT ELEVATION

Steven A. Elmore - Architect
1557 Taylor Lane

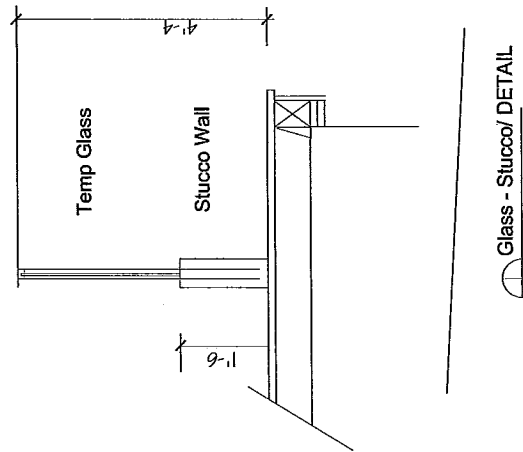
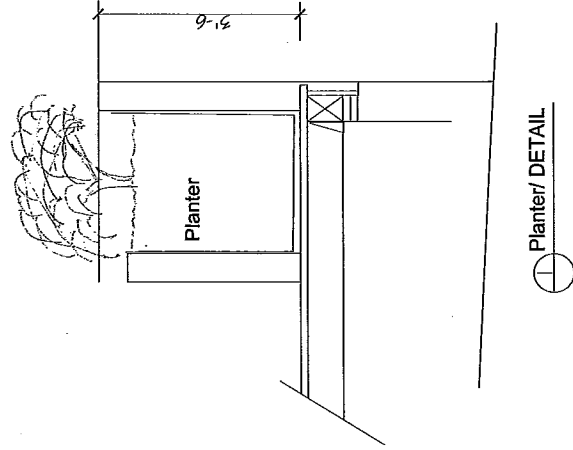
HARBOR LIGHTS MOTEL
5000 Cliff Drive
Capitola, CA
21 Nov 2011

Details

1" = 1'-0" A-7



4 3/4" Radius



Item #: 5. 5000 Cliff Drive Attachment A.pdf

STEVEN A. ELMORE - ARCHITECT
 1557 TAYLOR LANE
 SANTA CRUZ, CA 95062
 831 - 332 - 1266

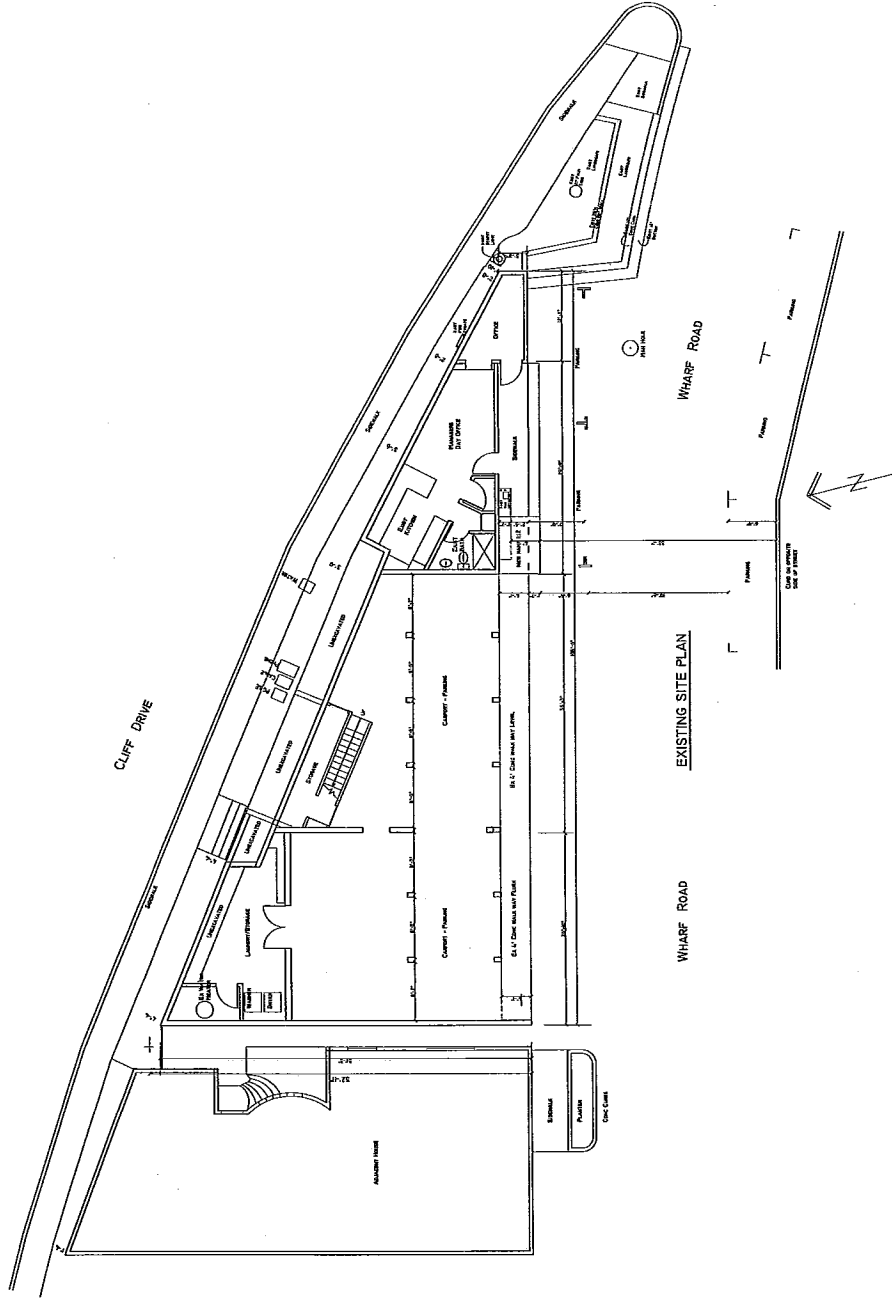
RENOVATION TO EXISTING
HARBOR LIGHTS MOTEL
 5000 CLIFF DRIVE
 CAPITOLA, CA 95010
 A P N 57 - 052 - 15

10 OCT 2011
 21 NOV 2011
 07 FEB 2012

EXISTING SITE PLAN

1/8" = 1'-0"

HARBOR LIGHTS EX-0 EX SITE PLAN.DWG



Item #: 5. 5000 Cliff Drive Attachment A.pdf

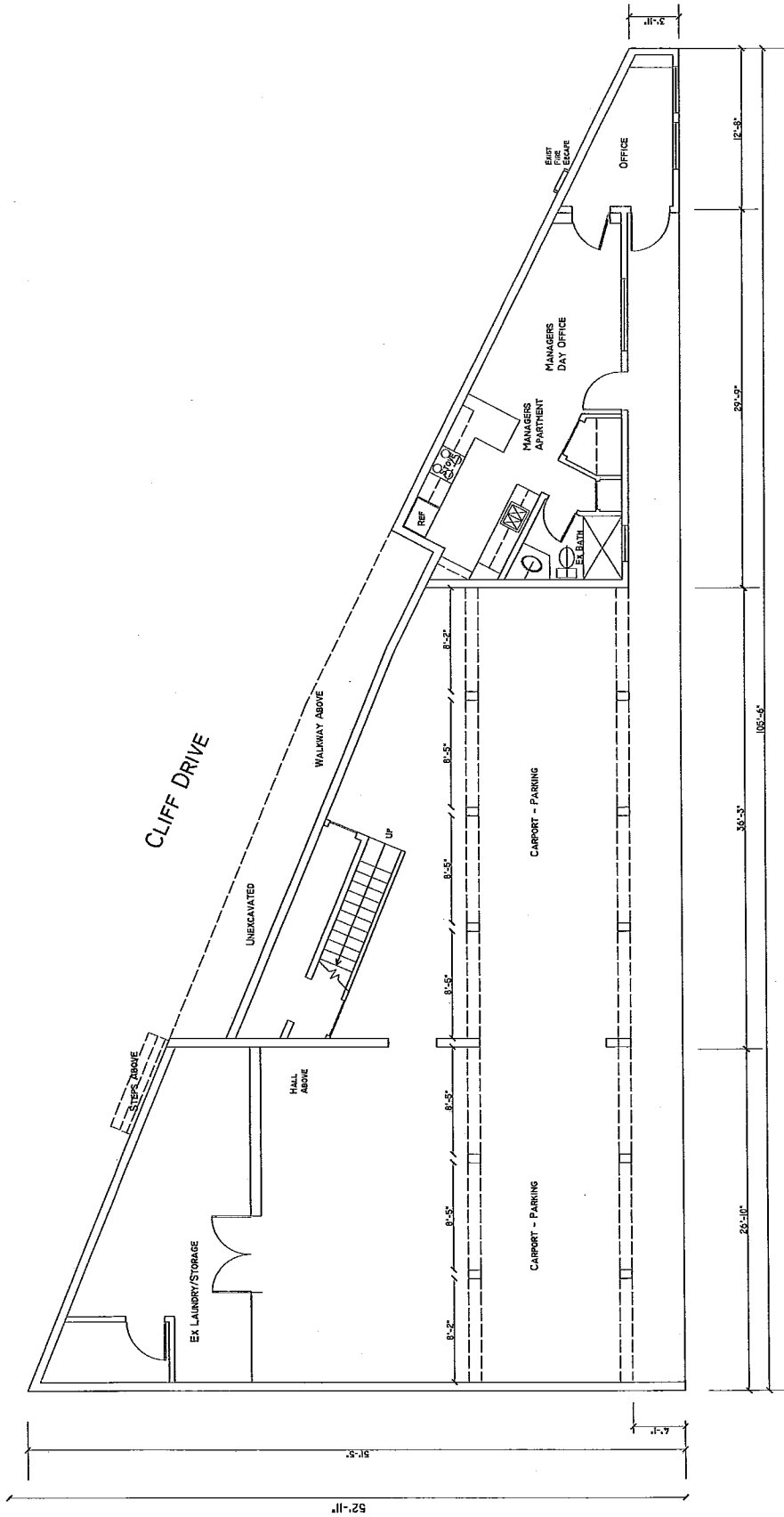
STEVEN A. ELMORE - ARCHITECT
1557 TAYLOR LANE

HARBOR LIGHTS MOTEL
5000 CLIFF DRIVE

18 MAY 2011
18 NOV 2011
CAPITOL

EXIST LOWER FLOOR PLAN

1/4" = 1'-0" EX-1



EXISTING LOWER FLOOR PLAN

PL EX-1 EXIST LWR FLOOR PLAN.DWG

Item #: 5. 5000 Cliff Drive Attachment A.pdf

STEVEN A. ELMORE - ARCHITECT
 1557 TAYLOR LANE
 SANTA CRUZ, CA 95062

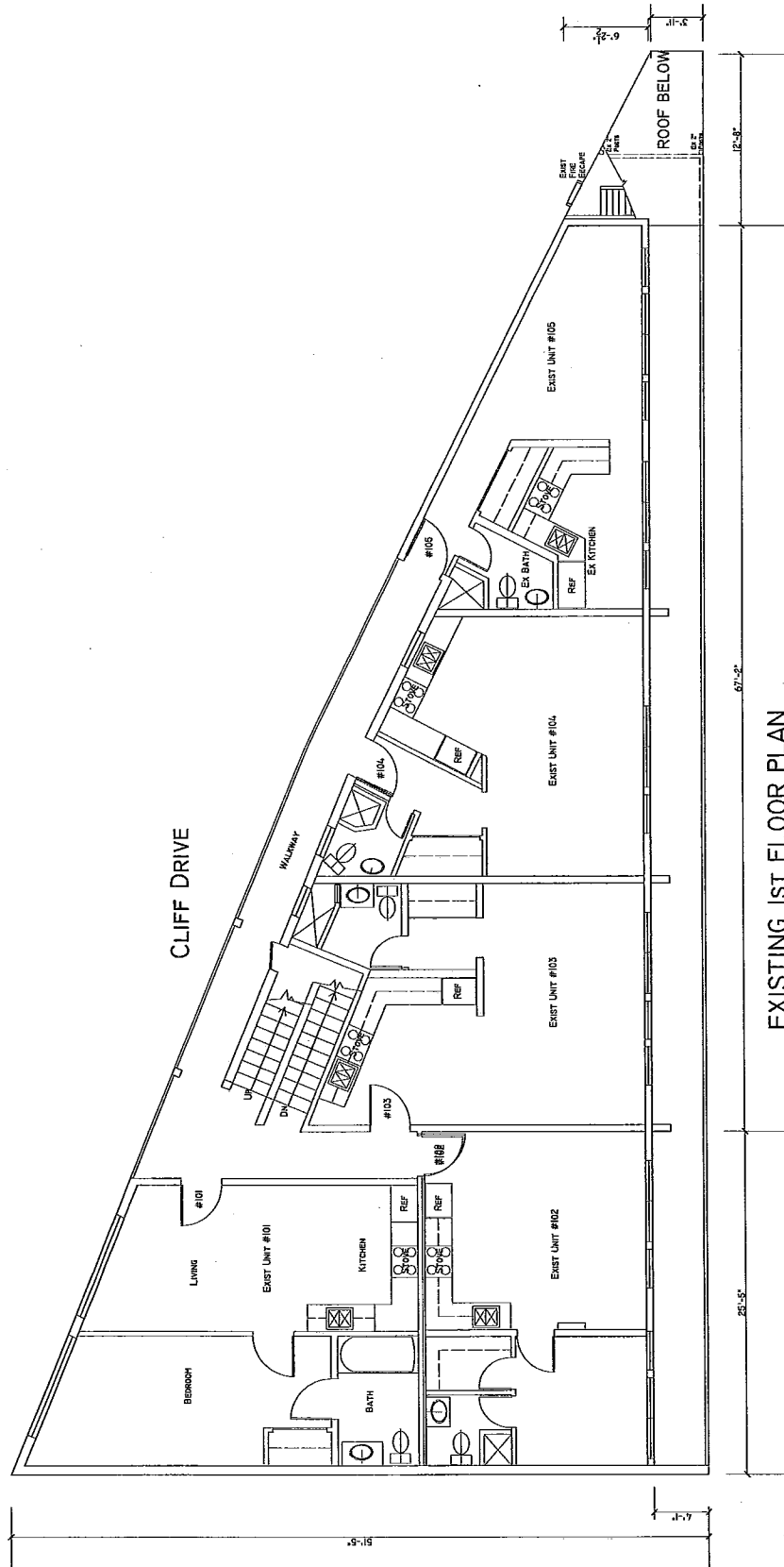
HARBOR LIGHTS MOTEL
 5000 CLIFF DRIVE
 SANTA CRUZ, CA 95062

10 OCT 2011
 14 OCT 2011

EXIST 1ST FLOOR

1/8" = 1'-0"

HL EX-2 EXIST 1ST FLOOR PLAN



EXISTING 1ST FLOOR PLAN

--- DEMOLITION WALLS
 - - - NON-BEARING

Item #: 5. 5000 Cliff Drive Attachment A.pdf

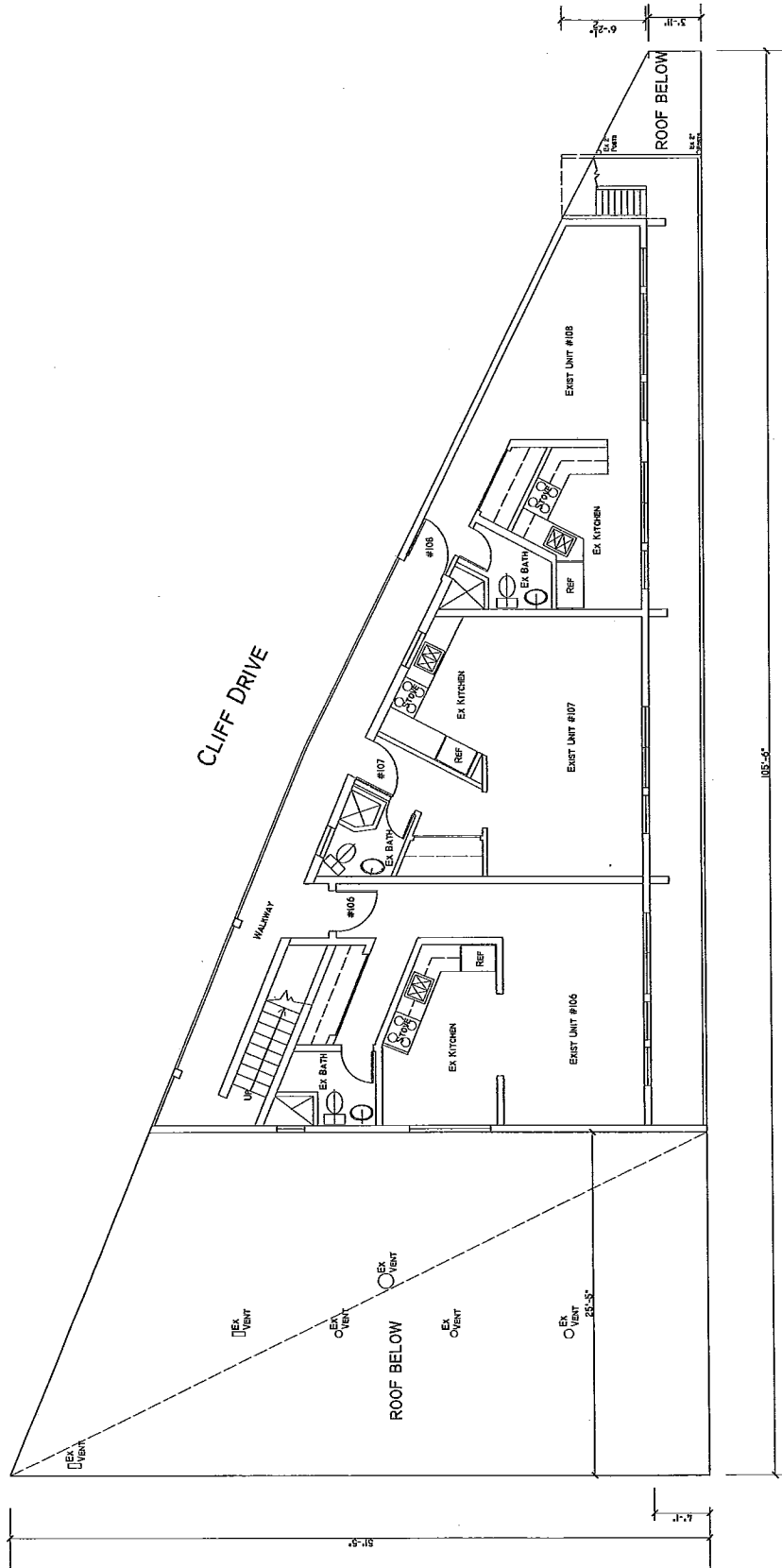
STEVEN A. ELMORE - ARCHITECT
 1577 TAYLOR LANE
 SANTA CRUZ CA 95062

HARBOR LIGHTS MOTEL
 5000 CLIFF DRIVE
 CAPITOL
 A.P.N. 10 OCT 2011
 18 NOV 2011

EXIST 2ND FLOOR PLAN

EX-3

HL EXS EXIST 2ND FLOOR PLAN.DWG



EXISTING 2ND FLOOR PLAN

Item #: 5. 5000 Cliff Drive Attachment A.pdf

STEVEN A. ELMORE - ARCHITECT
157 TAYLOR LANE
SANTA CRUZ CA 95062

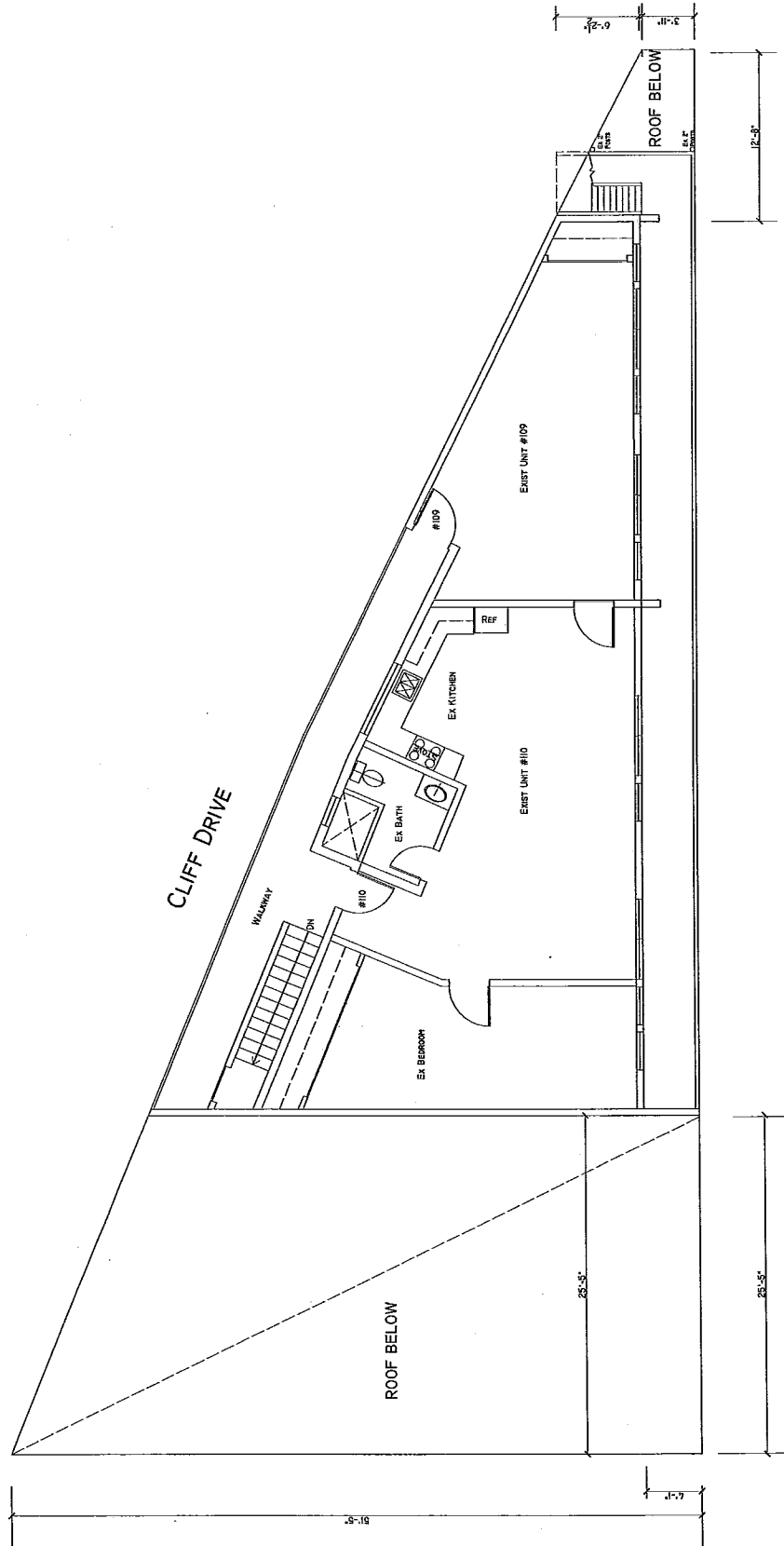
HARBOR LIGHTS MOTEL
5000 CLIFF DRIVE

10 OCT 2011
14 OCT 2011
18 NOV 2011

EXIST 3RD FLOOR

1/4" = 1'-0"

HL EX'S EXIST 3RD FLOOR PLAN



EXISTING 3RD FLOOR PLAN

Item #: 5. 5000 Cliff Drive Attachment A.pdf

STEVEN A. ELMORE - ARCHITECT
1557 TAYLOR LANE

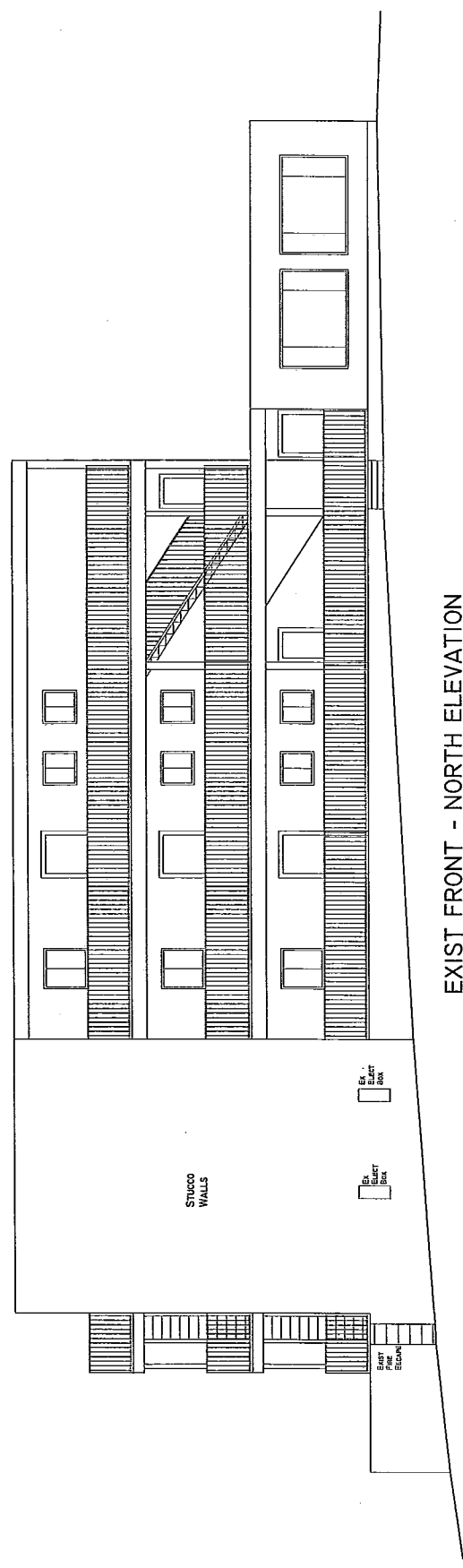
HARBOR LIGHTS MOTEL
5000 CLIFF DRIVE
20 OCT 2011

1/4" = 1'-0"

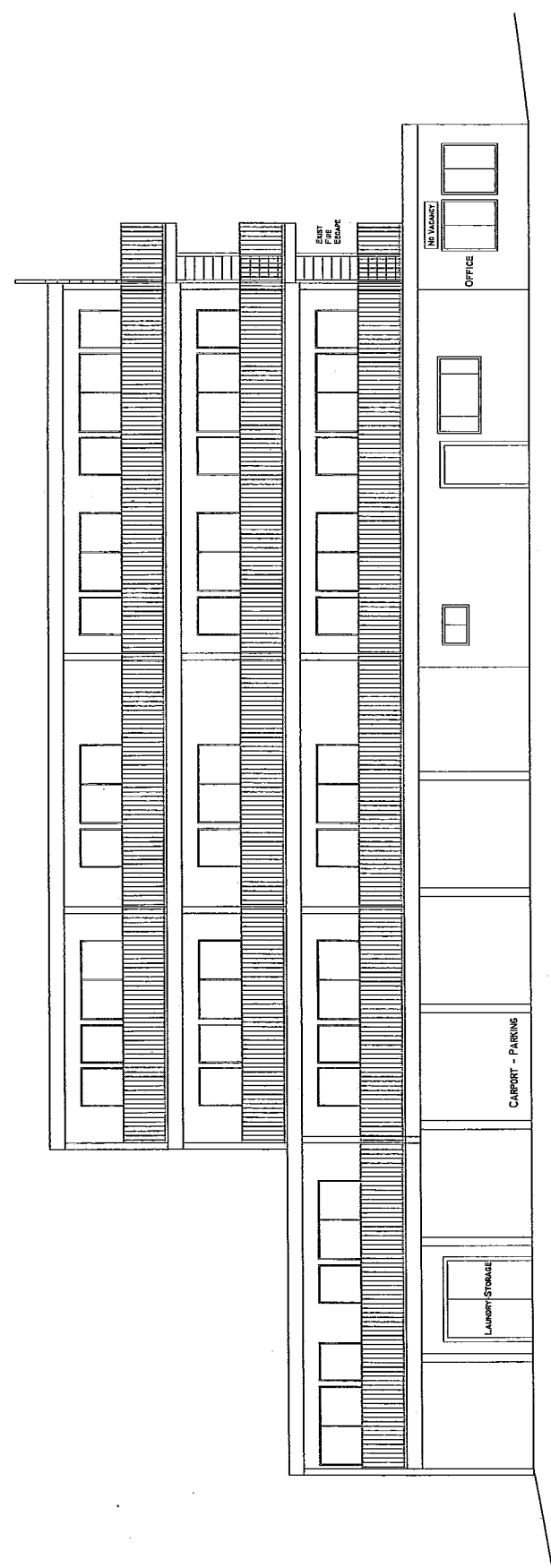
EXIST NORTH & SOUTH ELEVATIONS

EX-5

HARBOR LIGHTS EX-5 EX N & S ELEV.DWG



EXIST FRONT - NORTH ELEVATION



EXIST REAR - SOUTH ELEVATION

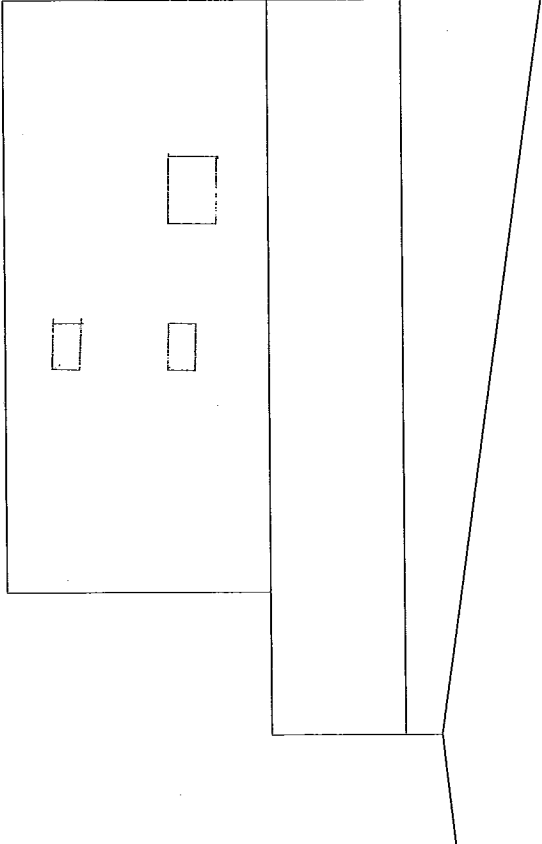
Item #: 5. 5000 Cliff Drive Attachment A.pdf

STEVEN A. ELMORE - ARCHITECT
1557 TAYLOR LANE
SANTA CRUZ CA 95062

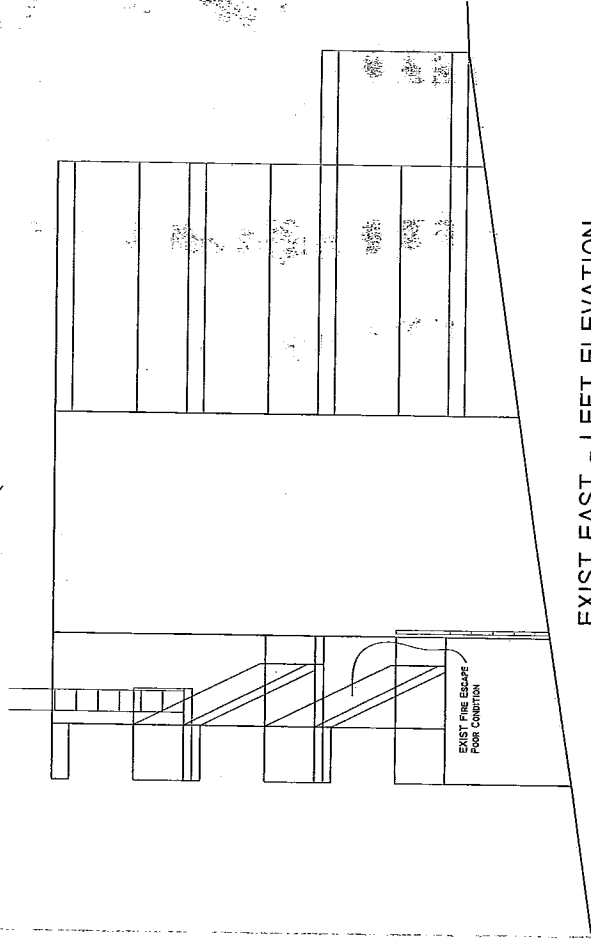
HARBOR LIGHTS MOTEL
5000 CLIFF DRIVE

1/2" = 1'-0"
EXIST N & S E

HARBOR LIGHTS EX-6 EXIST W & E ELEV.



EXIST WEST - RIGHT ELEVATION



EXIST EAST - LEFT ELEVATION

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Item #: 5. 5000_Cliff_Drive_Attachment_B.pdf

MATERIAL & COLOR LIST: CAPITOLA BEACH SUITES
(Formerly -Harbor Lights Motel)

WHAT IT IS	MATERIAL	COLOR	PAINT
STUCCO WALLS:	STUCCO	POTTERS CLAY	BM-1221
RECESSED WAL:	STUCCO	MILK AND HONEY	BM-AF-210
DOORS:	WOOD	BLUE NOVA	BM-825
HANDRAILS:	STEEL	WIZZARD	BM - CC-966

LANDSCAPE

TREES

QUEEN PALM	SYAGUS ROMANZOFFIANUM	24" WRAP
------------	-----------------------	----------

SHRUBS

VERBENA	VERBENA BONARIENSIS	5 GAL
LAVANDER	LAVANUDULA AUGUSTIFOLIA	5 GAL
WILD LILAC	CEANOTHUS RAY HARTMAN	5 GAL
WILD LILAC	CEANOTHUS JULIA PHELPS	5 GAL

SIGNAGE PROGRAM

SIGNS SHALL BE BACKLIT METAL LETTER
SIGNS. 2.5" THICK X 14" HIGH

Item #: 5. 5000_Cliff_Drive_Attachment_B.pdf

MATERIAL & COLOR LIST: CAPITOLA BEACH SUITES (Formerly - HARBOR LIGHTS)

WHAT IT IS	MATERIAL	COLOR	PAINT
STUCCO WALLS:	STUCCO	POTTERS CLAY potters clay arcilla de ceramista	BM-1221 1221
RECESSED WAL:	STUCCO	MILK AND HONEY milk and honey leche con miel	BM-AF-210 AF-210
DOORS:	WOOD	BLUE NOVA blue nova azul de nova	BM-825 825
HANDRAILS:	STEEL	WIZZARD wizard brujo	BM - CC-966 CC-966



STAFF REPORT

TO: PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT

DATE: NOVEMBER 1, 2012

SUBJECT: RECOMMEND TO THE CITY COUNCIL APPROVAL OF AN AMENDMENT TO THE CITY OF CAPITOLA'S MUNICIPAL CODE SECTION 10.36.055 PARKING METER ZONES/RATES, AND AN AMENDMENT TO SECTION 17.46.090 AND AMENDING THE CITY'S LOCAL COASTAL PLAN TO REFLECT THESE CHANGES.

APPLICANT'S PROPOSAL

The City of Capitola's current process to modify parking rates or zones requires the City to amend the City's Local Coastal Plan. This amendment would allow the City to make future changes without requiring an amendment to the Local Coastal Plan. The new process will be for the City to issue itself a Coastal Permit when the City wants to change hours, meter/pay station rates, add or eliminate meters/pay stations or change areas where meters/pay stations are installed. The amendment to Section 17.46.09 will allow changes for parking rates and zones to go directly to the City Council rather than coming first to the Planning Commission.

The Coast Act currently defines parking rates, hours and zones as "development" resulting in the requirement for the Coastal Permit anytime the City makes a modification. The Coastal Permit issued by the City Council will be appealable to the Coastal Commission if someone in the community or on the Coastal Commission feels there are coastal access issues related to the change.

This amendment will NOT change any current parking rates, times or zones.

BACKGROUND

The purpose of the proposed amendments is to not change any of the current rates or zones but to change the process for how they will be established in the future.

City staff and the Coastal Commission staff both agree that the current process is cumbersome and time consuming. The process of allowing the City to issue a Coastal Permit will eliminate the need to process a Coastal Land Use Plan amendment anytime there is a change in either a parking zones, hours or rates. This change will not eliminate the requirement to issue a Coastal Permit and a publicly noticed City Council meeting to make any changes. It does not eliminate the ability of citizens, business owners or the Coastal Commission to appeal the action of the City Council to the Coastal Commission.

CEQA REVIEW - Categorically Exempt

Item #: 5. Parking_Meter_Rate_Amendment_stf_rpt.pdf

PLANNING COMMISSION AGENDA REPORT: November 1, 2012 Amendment to Capitola Municipal Code Section 10.36.055

RECOMMENDATION

Forward to the City Council a recommendation to approve the proposed amendment to Section 10.36.055 and Section 17.46.090 as shown on Attachment 1.

ATTACHMENTS

- A. Draft Ordinance Amendment to Section 10.36.055 and 17.46.090.

Report Prepared By: **Susan Westman**
 General Plan Coordinator

Item #: 5. Parking_Meter_Rate_Amendment_stf_rpt.pdf

PLANNING COMMISSION AGENDA REPORT: November 1, 2012 Amendment to Capitola Municipal
Code Section 10.36.055

P:\Planning Commission\2012 Meeting Packets\11-1-12\Master Format.docx

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DRAFT
ORDINANCE NO.

AN ORDINANCE OF THE CITY OF CAPITOLA
AMENDING SECTION 10.36.055 B OF THE CAPITOLA
MUNICIPAL CODE PERTAINING TO PARKING METER RATES AND ZONES
AND AMENDING SECTION 17.46.090 COASTAL PERMIT APPROVAL

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CAPITOLA AS
FOLLOWS:

Section 1. Section 10.36.055 is hereby amended to read as follows:

10.36.055 Parking meter zones/rates.

A. ~~The following parking meter zones are hereby established in the city of Capitola:~~ Parking meter zones shall be established by the City Council.

~~1. Parking Meter Zone A(1). The area labeled as Zone A(1) on the map attached hereto as Exhibit "A" found on file in the office of the city clerk, shall constitute parking meter Zone A(1). The city public works director, acting in the director's capacity as superintendent of streets, is hereby authorized to install parking meters equipment in conformance with the zones and rates established by the City Council. The director shall maintain on file a map showing parking meter zones established by the City Council. in all public parking spaces located in zone A(1) and to place appropriate signage in zone A(1) relative to said metered parking. Parking meters will operate in zone A(1) each day of the week from the hours of eight a.m. to eight p.m. The city council, by resolution or minute order, may designate days when said parking meters will not operate.~~

~~_____ Parking meter zone A(1) includes parking spaces along both sides of the following streets located in and surrounding the Capitola Village:~~

- ~~_____ a. Capitola Avenue from Monterey Avenue to Beulah Drive;~~
- ~~_____ b. Monterey Avenue from Esplanade to the Union Pacific Railway;~~
- ~~_____ c. Esplanade along its entire length from Stockton Avenue to Monterey Avenue;~~
- ~~_____ d. San Jose Avenue from Capitola Avenue to Esplanade;~~
- ~~_____ e. Stockton Avenue from Capitola Avenue to Cliff Drive;~~
- ~~_____ f. Wharf Road from Stockton Avenue to the Capitola Municipal Wharf;~~

~~2. Parking Meter Zone A(2). The area labeled as Zone A(2) on the map attached hereto as Exhibit "A" found on file in the office of the city clerk, shall constitute parking meter zone A(2). The city public works director, acting in the director's capacity as superintendent of streets, is hereby authorized to install parking meters in all public parking spaces located in zone A(2) and to place appropriate signage in zone A(2) relative to said metered parking. Parking meters will operate in zone A(2) each day of~~

Item #: 5. Parking Meter Rate Amendment Attachment A DRAFT 0

~~the week from the hours of eight a.m. to eight p.m. The city council, by resolution or minute order, may designate days when said parking meters will not operate.~~

~~_____ Parking meter zone A(2) includes parking spaces along both sides of the following street:~~

~~_____ a. _____ Cliff Drive from Stockton Avenue to the city limits;~~

~~3. Parking Meter Zone B. The city-owned parking lot adjacent to, and directly to the north and east of Capitola City Hall, portion of APN 35-141-33 located at 426 Capitola Avenue, which encompasses the area known as Pacific Cove Parking Lot, as depicted on the map attached hereto as Exhibit "B" found on file in the office of the city clerk, shall constitute parking meter zone B. The city public works director, acting in the director's capacity as superintendent of streets, is hereby authorized to install parking meters in all public parking spaces located in zone B and to place appropriate signage in zone B relative to said metered parking. Parking meters will operate in zone B each day of the week from the hours of eight a.m. to eight p.m. The city council by resolution or minute order may designate days when said parking meters will not operate.~~

B. The following parking meter rates are hereby established in the city of Capitola:

Zone A(1) (Village Area).....	\$2.00 per hour
Zone A(2) (Cliff Drive Area).....	\$1.00 per hour
Zone B (Pacific Cove Parking Lot).....	\$0.75per hour

~~Section 2. This ordinance shall take effect and be in force thirty (30) days after final adoption or upon approval of Coastal Development Permit No.09-002, which ever occurs last.~~

Parking meter zones and rates shall be established by City Council resolution. Parking meter fees will be shown in the City's fee schedule.

Parking meter rates and zones in effect at the time of this ordinance amendment will remain in effect until modified by the City Council and;

Section 2. Section 17.46.090 is hereby amended to read as follows:

Section 17.46.090 Coastal permit approval.

A. Approving Authority. Action on a coastal permit shall be taken by the planning commission or city council on appeal concurrent with other required permit applications: except Coastal Permits related to parking equipment rates, hours or zones on public property shall be hear only by the City Council.

This ordinance is being introduced on the 22nd day of November, 2012 and was passed for a first reading by the City Council by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN.

DISQUALIFIED:

APPROVED: _____
Michael Termini, Mayor

ATTEST:

_____,
Susan Sneddon, City Clerk

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