



AGENDA

CAPITOLA PLANNING COMMISSION

Thursday, February 2, 2017 – 7:00 PM

Chairperson Ed Newman
Commissioners Linda Smith
 Sam Storey
 TJ Welch
 Susan Westman

1. ROLL CALL AND PLEDGE OF ALLEGIANCE

2. NEW BUSINESS

A. Commission Appointments

1. **Art & Culture Commission**
2. **Traffic & Parking Commission**

3. ORAL COMMUNICATIONS

A. Additions and Deletions to Agenda

B. Public Comments

Short communications from the public concerning matters not on the Agenda. All speakers are requested to print their name on the sign-in sheet located at the podium so that their name may be accurately recorded in the Minutes.

C. Commission Comments

D. Staff Comments

4. CONSENT CALENDAR

All matters listed under "Consent Calendar" are considered by the Planning Commission to be routine and will be enacted by one motion in the form listed below. There will be no separate discussion on these items prior to the time the Planning Commission votes on the action unless members of the public or the Planning Commission request specific items to be discussed for separate review. Items pulled for separate discussion will be considered in the order listed on the Agenda.

A. 1240 41st Avenue #16-219 034-101-33

Design Permit to demolish an existing office building with fire damage and build a new, 1,800 square foot office building and a Sign Permit for a new wall sign in the CC (Community Commercial) zoning district.

This project is in the Coastal Zone but does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: Christine McCormack

Representative: Michael Helm, filed: 12/6/16

5. PUBLIC HEARINGS

Public Hearings are intended to provide an opportunity for public discussion of each item listed as a Public Hearing. The following procedure is as follows: 1) Staff Presentation; 2) Public Discussion; 3) Planning Commission Comments; 4) Close public portion of the Hearing; 5) Planning Commission Discussion; and 6) Decision.

A. 115 Saxon Avenue #16-115 036-131-02

Design Permit to remodel an existing non-conforming residence and addition of 324 square feet, located in the R-1 (Single-Family Residential) Zoning District.

This project is in the Coastal Zone but does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: Brian Wiese & Diane Krigel

Representative: Derek Van Alstine, filed: 6/2/16

B. Zoning Code Update All Properties within Capitola

Continuation of Comprehensive Update to the City of Capitola Zoning Code (Municipal Code Chapter 17).

The Zoning Code serves as the Implementation Plan of the City's Local Coastal Program and therefore must be certified by the Coastal Commission.

Environmental Determination: Addendum to the General Plan Update EIR

Property: The Zoning Code update affects all properties within the City of Capitola.

Representative: Katie Cattan, Senior Planner, City of Capitola

6. DIRECTOR'S REPORT

7. COMMISSION COMMUNICATIONS

8. ADJOURNMENT

APPEALS: The following decisions of the Planning Commission can be appealed to the City Council within the (10) calendar days following the date of the Commission action: Conditional Use Permit, Variance, and Coastal Permit. The decision of the Planning Commission pertaining to an Architectural and Site Review Design Permit can be appealed to the City Council within the (10) working days following the date of the Commission action. If the tenth day falls on a weekend or holiday, the appeal period is extended to the next business day.

All appeals must be in writing, setting forth the nature of the action and the basis upon which the action is considered to be in error, and addressed to the City Council in care of the City Clerk. An appeal must be accompanied by a five hundred dollar (\$500) filing fee, unless the item involves a Coastal Permit that is appealable to the Coastal Commission, in which case there is no fee. If you challenge a decision of the Planning Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this agenda, or in written correspondence delivered to the City at, or prior to, the public hearing.

Notice regarding Planning Commission meetings: The Planning Commission meets regularly on the 1st Thursday of each month at 7 p.m. in the City Hall Council Chambers located at 420 Capitola Avenue, Capitola.

Agenda and Agenda Packet Materials: The Planning Commission Agenda and complete Agenda Packet are available on the Internet at the City's website: www.cityofcapitola.org. Agendas are also available at the Capitola Branch Library, 2005 Wharf Road, Capitola, on the Monday prior to the Thursday meeting. Need more information? Contact the Community Development Department at (831) 475-7300.

Agenda Materials Distributed after Distribution of the Agenda Packet: Materials that are a public record under Government Code § 54957.5(A) and that relate to an agenda item of a regular meeting of the Planning Commission that are distributed to a majority of all the members of the Planning Commission more than 72 hours prior to that meeting shall be available for public inspection at City Hall located at 420 Capitola Avenue, Capitola, during normal business hours.

Americans with Disabilities Act: Disability-related aids or services are available to enable persons with a disability to participate in this meeting consistent with the Federal Americans with Disabilities Act of 1990. Assisted listening devices are available for individuals with hearing impairments at the meeting in the City Council Chambers. Should you require special accommodations to participate in the meeting due to a disability, please contact the Community Development Department at least 24 hours in advance of the meeting at (831) 475-7300. In an effort to accommodate individuals with environmental sensitivities, attendees are requested to refrain from wearing perfumes and other scented products.

Televised Meetings: Planning Commission meetings are cablecast "Live" on Charter Communications Cable TV Channel 8 and are recorded to be replayed on the following Monday and Friday at 1:00 p.m. on Charter Channel 71 and Comcast Channel 25. Meetings can also be viewed from the City's website: www.cityofcapitola.org.



STAFF REPORT

TO: PLANNING COMMISSION
 FROM: COMMUNITY DEVELOPMENT
 DATE: FEBRUARY 2, 2017
 SUBJECT: **1240 41st Avenue #16-219 034-101-33**

Design Permit to demolish an existing office building with fire damage and build a new, 1,800 square foot office building and a Sign Permit for a new wall sign in the CC (Community Commercial) zoning district.

This project is in the Coastal Zone but does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: Christine McCormack

Representative: Michael Helm, filed: 12/6/16

APPLICANT PROPOSAL

The applicant is requesting a Design Permit to demolish an existing 1,580 square foot office building with fire damage and construct a new 1,800 square foot office building on the same property. The application also includes a Sign Permit for a new wall sign on the office building. The property is located along 41st Avenue, within the CC (Community Commercial) zoning district.

BACKGROUND

The subject property at 1240 41st Avenue has been historically used as a commercial space. Beginning in 1980, City records show that the building was used as a retail store. In 2002, Santa Cruz Property Management Company moved in to the building and began utilizing it as an office. On July 13th, 2016, the building suffered fire damage and was condemned. Pursuant to section 17.72.080 of the Capitola Municipal Code, buildings which are destroyed by fire will be allowed to be rebuilt as long as there is no increase in size or intensity. The applicant is proposing to rebuild and expand the building by 220 square feet, therefore a design permit is required.

The Architectural and Site Review Committee reviewed the application on January 11th, 2017 and provided the applicant with the following direction:

Public Works Representative, Danielle Uharriet: informed the applicant of public works requirements for ADA compliance, encroachment permits, and stormwater. Ms. Uharriet required that the applicant replace a portion of the existing asphalt parking area with 860 square feet of previous paving material in order to meet the Tier 1 Storm Water requirement. Ms. Uharriet also required the applicant to submit a copy of the access easement agreement between the neighboring property to the north at time of building permit submittal.

Building Official, Brian Van Son: informed the applicant that the north-side wall will need to be fire-rated.

Local Architect, Frank Phanton: appreciated the design, but requested that an architectural band be placed on the north-side elevation to break up the solid stucco facade.

Landscape Architect: Position currently vacant.

City Planner, Ryan Safty: informed the applicant that utilities are required to be undergrounded, only one wall sign is allowed, and echoed public works requirement for an access easement agreement with the adjacent neighbor.

Following the Architectural and Site Review hearing, the applicant revised plans to address each of the comments received at the hearing. The applicant also submitted documentation proving historical use of the shared drive aisle to the north, as well as receipts from 2015 showing that the property owner participated in a shared payment agreement for the repaving of the shared drive aisle. An access easement agreement will be required at time of building permit (Condition of Approval #8).

ZONING SUMMARY

The following table outlines the zoning code requirements for development in the CC (Community Commercial) Zoning District relative to the application, as well as 41st Avenue Design Guidelines.

CC (Community Commercial) Zoning District

Development Standards		Existing	Proposed
Height: 40 ft		15 ft.	22 ft.
Front Yard: Landscaped areas of front yards shall be set back fifteen feet in accordance with the 41st Avenue design guidelines.			Complies
Side and rear yard setbacks may be required through architectural and site approval in order to provide adequate light and air, assure sufficient distance between adjoining uses to minimize any incompatibility and to promote excellence of development; except that where a side or rear yard is provided it shall be at least ten feet wide			Complies
Front yards and corner lot side yards shall not be used for required parking facilities.			Complies
Parking		Required	Proposed
1. Office	2. 1 /300 sf	1800 s.f. / 300 = 6	2 compact, 1 van, 3 standard = 6 total
Loading Areas per 17.51			Not required.
Landscaping. Five percent of the lot area shall be landscaped to ensure harmony with adjacent development in accordance with architectural and site approval standards			Complies (12% coverage)
Accessory Building			N/A

DISCUSSION

The applicant is proposing to demolish and rebuild an existing office building which suffered fire damage last year. The existing 15-foot-tall office building is 1,580 square feet. The applicant is

proposing to continue utilizing the property as an office with 220 square feet of additional square footage and an upgraded building design.

The new building would be built in approximately the same location as the existing, except the footprint would be shifted four-feet to the north in order to meet the 20-foot requirement for driveway accessibility on the south side. The proposed new office building would be built along the northern property line, adjacent to the shared drive aisle to the north. The CC zoning chapter does not include minimum side yard setbacks requirements, except that “side setbacks may be required through architectural and site approval in order to provide adequate light and air, assure sufficient distance between adjoining uses to minimize incompatibility and to promote excellence of development” (17.27.110-B). The Architectural and Site Review Committee was not concerned with the proposed location of the office building. The proposed office building and neighboring office building to the north (1260 41st Avenue) are separated by approximately 40 feet of paving. Additionally, the subject property is surrounded by commercial properties on all sides.

Design Permit:

The proposed new office building would be 1,800 square feet and 22-feet-tall, with a 15-foot floor height. The majority of the exterior finish is stone veneer with stucco finish above the windows and doors. The front of the building includes three large windows with divided lights and would have two redwood trellis features above the large windows on either side of the main entrance.

Parking: The Capitola Municipal Code requires that off-street parking standards be met for reconstructed or enlarged buildings (§17.51.135). The proposed 1,800 square foot office building is required to have six on-site parking spaces (1/300 square feet). The applicant is proposing to re-stripe the existing rear parking area and provide the six required spaces, including one van accessible space.

41st Avenue Area Design Guidelines:

The building is located along 41st Avenue and subject to the 41st Avenue Design Guidelines. The design is aligned with the majority of the guidelines as summarized in the following table:

41st Avenue Design Guidelines	
Site Plan:	Parking in rear, separate pedestrian and vehicular traffic patterns, front entrance contains architectural entry feature, bike parking is available in the front, and 15-foot front setback with landscape.
Landscaping:	Front yard is landscaped with native plants and 2 new 24” box trees proposed along 41 st Ave, automatic irrigation system proposed.
Architecture:	Architecture and materials are consistent throughout the building, mechanical equipment is screened on the roof, building has a sense of human-scale, and trash receptacles are fully screened.
Signs:	Proposed wall sign meets sign code requirements, includes individual letters, and relates to the overall building design.
Lighting:	Lighting is directed down and height standards are met for the 15-foot light pole proposed in the parking lot.
Parking:	Parking is located at the rear of the lot, pedestrian walkways within parking lot are clearly defined, and ingress and egress to the parcel is off of 41 st Avenue.

The proposed new office building does not comply with guideline 2.4, which states “A minimum of 10% of parking and driveway area shall be landscaped with trees and shrubs”. The applicant

is proposing to re-seal and re-stripe the rear parking area. The 860 square foot area with new pervious paving would be within the driveway approach. The new 20-foot driveway approach complies with the minimum required width of 20-feet; therefore, there is not enough room within this new paving area to place new trees. It should be noted that there are trees and shrubs located on the neighboring properties that screen the rear parking lot of 1240 41st Avenue. The Planning Commission may impose a condition requiring new trees or landscaping within the rear parking area, although space is limited.

Sign Permit: The applicant is proposing one new wall sign on the front (west) face of the building facing 41st Avenue. The sign would consist of a six square foot aluminum logo and 14 square feet of lettering. The proposed 20 square foot wall sign complies with the code's maximum allowance of one square foot of sign area per linear foot of building. The front of the building along 41st Avenue is 40 feet wide.

Landscaping: The applicant is proposing a new landscaped front yard area along 41st Avenue, pursuant to municipal code section 17.27.110. The landscaped area would occupy the front 15-feet of the property along 41st Avenue. The applicant is proposing a mix of succulents, flowering shrubs, decorative grasses, and two 24-inch Crape Myrtle trees. The landscaped area would include a pedestrian walkway connecting the sidewalk to the front entrance of the proposed building.

CEQA

Section 15302(b) of the CEQA Guidelines exempts the replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity. This project involves the replacement of a slightly larger commercial building with the same proposed office use in the CC (Community Commercial) Zoning District.

RECOMMENDATION

Staff recommends the Planning Commission review the application and **approve** project application #16-219, based on the findings and conditions.

CONDITIONS OF APPROVAL

1. The project approval is for the construction of a new, single-story office building at 1240 41st Avenue. The project consists of the demolition of an existing 1,580 square foot office building which previously suffered fire damage, and the construction of a new, 1,800 square foot office building in the same location. There is no maximum lot coverage within the CC (Community Commercial) zoning district, except that parking and front yard open space requirements be met. The project includes a 15-foot front landscape area and six on-site parking spaces in compliance with CC zone regulations. The proposed project is approved as indicated on the final plans reviewed and approved by the Planning Commission on February 2nd, 2017, except as modified through conditions imposed by the Planning Commission during the hearing.
2. Prior to construction, a building permit shall be secured for any new construction or modifications to structures authorized by this permit. Final building plans shall be consistent with the plans approved by the Planning Commission. All construction and site improvements shall be completed according to the approved plans.
3. At time of submittal for building permit review, the Conditions of Approval must be printed in full on the cover sheet of the construction plans.

4. At the time of submittal for building permit review, Public Works Standard Detail Storm Water Best Management Practices (STRM-BMP) shall be printed in full and incorporated as a sheet into the construction plans. All construction shall be done in accordance with Public Works Standard Detail Storm Water Best Management Practices (STRM-BMP).
5. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or exterior appearance of the structure shall require Planning Commission approval.
6. Prior to issuance of building permit, a final landscape plan shall be submitted and approved by the Community Development Department. Landscape plans shall reflect the Planning Commission approval and shall identify type, size, and location of species and details of irrigation systems, if proposed. Native and/or drought tolerant species are recommended. The applicant shall obtain a Landscape Maintenance Agreement with the City prior to building permit issuance.
7. Prior to issuance of building permit, all Planning fees associated with permit #16-219 shall be paid in full.
8. Prior to issuance of building permit, the applicant shall submit a copy of the easement agreement between the subject property and property to the north (1260 41st Ave) to the Public Works department.
9. Prior to issuance of building permits, the building plans must show that the existing overhead utility lines will be underground to the nearest utility pole.
10. Prior to issuance of a building permit, the applicant must provide documentation of plan approval by the following entities: Santa Cruz County Sanitation Department, Soquel Water District, and Central Fire Protection District.
11. Prior to issuance of building permits, a drainage plan, grading, sediment and erosion control plan, shall be submitted to the City and approved by Public Works. The plans shall be in compliance with the requirements specified in Capitola Municipal Code Chapter 13.16 Storm Water Pollution Prevention and Protection.
12. Prior to issuance of building permits, the applicant shall submit a stormwater management plan to the satisfaction of the Director of Public Works which implements all applicable Post Construction Requirements (PCRs) and Public Works Standard Details, including all standards relating to low impact development (LID).
13. Prior to any land disturbance, a pre-site inspection must be conducted by the grading official to verify compliance with the approved erosion and sediment control plan.
14. Prior to any work in the City road right of way, an encroachment permit shall be acquired by the contractor performing the work. No material or equipment storage may be placed in the road right-of-way.
15. During construction, any construction activity shall be subject to a construction noise curfew, except when otherwise specified in the building permit issued by the City. Construction noise shall be prohibited between the hours of nine p.m. and seven-thirty a.m. on weekdays. Construction noise shall be prohibited on weekends with the

exception of Saturday work between nine a.m. and four p.m. or emergency work approved by the building official. §9.12.010B

16. Prior to a project final, all cracked or broken driveway approaches or street edge shall be replaced per the Public Works Standard Details and to the satisfaction of the Public Works Department. All replaced driveway approaches shall meet current Accessibility Standards.
17. Prior to issuance of a Certificate of Occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Community Development Director. Upon evidence of non-compliance with conditions of approval or applicable municipal code provisions, the applicant shall remedy the non-compliance to the satisfaction of the Community Development Director or shall file an application for a permit amendment for Planning Commission consideration. Failure to remedy a non-compliance in a timely manner may result in permit revocation.
18. This permit shall expire 24 months from the date of issuance. The applicant shall have an approved building permit and construction underway before this date to prevent permit expiration. Applications for extension may be submitted by the applicant prior to expiration pursuant to Municipal Code section 17.81.160.
19. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
20. Upon receipt of certificate of occupancy, garbage and recycling containers shall be shielded and placed out of public view on non-collection days.

FINDINGS

- A. **The application, subject to the conditions imposed, secures the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.**
Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the project. The proposed enlarged office building, with the conditions imposed, secures the purpose of the Zoning Ordinance, General Plan, and Local Coastal Plan. The building would comply with the 41st Avenue Design Guidelines.
- B. **The application will maintain the character and integrity of the neighborhood.**
Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the application for a new, enlarged office building to replace a fire-damage office building. The new building, with the conditions imposed, will maintain the character and integrity of the neighborhood. The building would relate well to the surrounding commercial development along 41st Avenue.
- C. **This project is categorically exempt under Section 15302(b) of the California Environmental Quality Act and is subject to Section 753.5 of Title 14 of the California Code of Regulations.**
Section 15302(b) of the CEQA Guidelines exempts the replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity. This

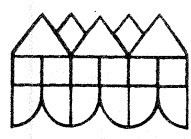
project involves the replacement of a slightly larger commercial building with the same proposed office use in the CC (Community Commercial) Zoning District.

ATTACHMENTS:

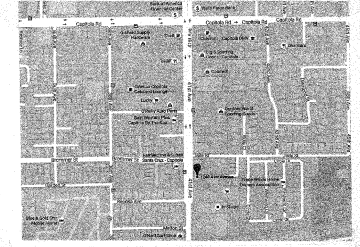
1. 1240 41st Ave Project Plans

Prepared By: Ryan Safty
Assistant Planner

RE-CONSTRUCTION PLANS FOR: EXISTING OFFICE BUILDING DUE TO FIRE DAMAGE



SANTA CRUZ PROPERTY MANAGEMENT CO.



VICINITY MAP NTS

GENERAL NOTES

- 1. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. DIMENSIONAL LAYOUT SHALL BE VERIFIED IN THE FIELD PRIOR TO PROCEEDING WITH THE WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DIMENSIONS REQUIRING CORRECTION. REFER TO DRAWINGS FOR DIMENSIONAL LOCATION.
2. BEFORE STARTING WORK THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BECOME FAMILIAR WITH ALL APPLICABLE REQUIREMENTS OF CODE, OWNER CRITERIA, AND CONSTRUCTION DOCUMENTS. CONSTRUCTION DOCUMENTS CONSIST OF CONSTRUCTION DRAWINGS LISTED ON SHEET 1 AND THE SPECIFICATION MANUAL. THE GENERAL CONTRACTOR TO REVIEW CONSTRUCTION DOCUMENTS AND RESOLVE ANY QUESTIONS PRIOR TO STARTING WORK AT PRE-CONSTRUCTION CONFERENCE WITH OWNER.
3. THE CONSTRUCTION DRAWINGS LISTED ON SHEET 1 HAVE BEEN PREPARED BASED ON THE BEST INFORMATION AVAILABLE TO OWNER AND ARCHITECT DURING PREPARATION OF PLANS. IN THE EVENT THAT ANY PROBLEMS ARISE DURING THE COURSE OF THE PROJECT, DUE TO UNKNOWN SITE CONDITIONS OR CODE AND OWNER REQUIREMENTS THAT CONFLICT WITH THE DRAWINGS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY BY WRITING, AND SHALL BE PERFORMED OR FURNISHED.
4. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING FLOOR, ROOF AND WALL CONDITIONS PRIOR TO PROCEEDING WITH WORK. IF CONFLICTS EXIST, THE GENERAL CONTRACTOR IS TO NOTIFY THE ARCHITECT AND OWNER.
5. GENERAL CONTRACTOR SHALL COMPLETE ALL WORK IN A NEAT AND PROFESSIONAL MANNER AND SHALL COORDINATE ALL EXISTING AND NEW CONDITIONS AS NOTED ON PLANS AND SPECIFICATIONS.
6. THE GENERAL CONTRACTOR SHALL EMPLOY A QUALIFIED, FULL TIME SUPERINTENDENT FOR THE PROJECT WHO SHALL BE RESPONSIBLE FOR THE OVERALL CONSTRUCTION AND WHO SHALL HAVE AUTHORITY TO MAKE CONSTRUCTION DECISIONS ON BEHALF OF THE CONTRACTOR.
7. GENERAL CONTRACTOR SHALL EMPLOY EXPERIENCED, FULLY QUALIFIED AND LICENSED SUBCONTRACTORS AND MAINTAIN COOPERATION AMONG ALL TRADES.
8. SUBCONTRACTOR AND EMPLOYEE CONDUCT ON THE JOB SITE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
9. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND REQUIREMENTS TO COMPLETE WORK AS REQUIRED BY LOCAL, STATE, NATIONAL CODES AND OWNERS REQUIREMENTS.
10. GENERAL CONTRACTOR SHALL FURNISH, INSTALL, AND REMOVE ALL BARICADES REQUIRED BY CODE, OR OWNER, IF APPLICABLE.
11. RUBBISH IS TO BE REMOVED DAILY IN COORDINATION WITH OWNERS REGULATIONS AND DISPOSED OF IN A LEGAL MANNER.
12. THE PROPER RECEIPT AND UNLOADING OF ALL NEW MATERIALS AND EQUIPMENT AT THE JOB SITE IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SECURE AND SAFE STORAGE OF ALL NEW AND EXISTING MATERIALS AND EQUIPMENT TO REMAIN WILL BE PROVIDED BY THE GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL ADVISE OWNER OF ALL DAMAGED, DEFICIENT, OR OVER SHIPMENTS OF OWNER SUPPLIED MATERIALS.
13. SUBSTITUTION: THE CONTRACTOR IS TO SUPPLY ALL MATERIALS AND EQUIPMENT AS SPECIFIED ON PLANS. WHEN THE TERM "OR EQUAL" APPEARS, IT SHOULD BE UNDERSTOOD THAT SUCH SUBSTITUTIONS SHALL BE MADE ONLY AFTER WRITTEN CONSENT IS OBTAINED FROM OWNER AND ARCHITECT. THE BURDEN OF PROOFING EQUALITY OF PROPOSED SUBSTITUTIONS RESTS WITH THE CONTRACTOR. REQUEST FOR SUBSTITUTION SHALL BE ACCOMPANIED BY SUCH TECHNICAL DATA, TEST REPORTS, SAMPLES, TESTED PERFORMANCE RECORDS FROM PREVIOUS USERS AND OTHER PRINTED OR WRITTEN INFORMATION VALID TO THE CONTRACTOR. REQUEST FOR SUBSTITUTION SHALL BE ACCOMPANIED BY COMPLETE COST DATA AND SAVINGS, IF ANY, RESULTING FROM PROPOSED SUBSTITUTION.
14. THE GENERAL CONTRACTOR SHALL MAINTAIN ON SITE ONE COMPLETE AND CURRENT SET OF ALL CONTRACT DOCUMENTS, SHOP DRAWINGS, SAMPLES, ETC. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, LICENSES, FORMS, CERTIFICATES, FEES AND SHOP DRAWINGS THAT ARE REQUIRED FOR SATISFACTION OF CODE AND OWNER. CONTRACTOR TO VERIFY ALL REQUIREMENTS PRIOR TO START OF WORK.
15. GENERAL CONTRACTOR IS RESPONSIBLE FOR SCHEDULING OF ALL WORK AND DELIVERY OF MATERIALS AND INSPECTIONS. THIS INCLUDES, BUT IS NOT LIMITED TO WORK AND MATERIALS UTILIZED BY COMPANIES, SUBCONTRACTORS, AND GOVERNMENT AGENCIES HAVING JURISDICTION.
16. GENERAL CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SCHEDULE AS AGREED TO BY ALL PARTIES. ALL DEVIATIONS TO SCHEDULE SHALL BE AS AGREED TO IN WRITING BY ALL PARTIES. CONTRACTOR SHALL SUBMIT TO OWNER A DETAILED CRITICAL PATH SCHEDULE.
17. GENERAL CONTRACTOR SHALL MAINTAIN AND PROVIDE PROOF OF ALL FORMS OF INSURANCE REQUIRED BY LOCAL, STATE AND NATIONAL CODES, AND OWNER. INSURANCE(S) IS TO BE PUT IN EFFECT PRIOR TO STARTING WORK AND UNTIL ALL WORK IS COMPLETED. THIS INCLUDES, BUT IS NOT LIMITED TO, CERTIFICATES OF OCCUPANCY AND OF ALL LANDFILL PUMP-OUT ITEMS REQUIRED TO THE SUBCONTRACTOR.
18. GENERAL CONTRACTOR SHALL PROVIDE A WARRANTY ON ALL LABOR, MATERIALS AND EQUIPMENT PROVIDED BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS. THE WARRANTY WILL PROTECT OWNER FROM ALL DEFECTIVE LABOR, MATERIALS AND EQUIPMENT FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL WRITTEN ACCEPTANCE BY OWNER. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL LABOR, MATERIALS OR EQUIPMENT COVERED BY THIS WARRANTY AT NO ADDITIONAL COST TO OWNER.

FIRE DEPARTMENT NOTES

- A. PROVIDE A FLUSH MOUNTED KNIX BOX (KEY BOX) NO HIGHER THAN 7 FEET AND APPROXIMATELY 4 FEET FROM THE LEFT. ACCESS SHOULD BE OBTAINED THROUGH THE FIRE DEPT. AND BE INSTALLED PRIOR TO OCCUPANCY RELEASE. THESE BOXES SHALL BE INSTALLED ON ALL PROPERTY ENTRY GATES.
B. PROVIDE PORTABLE FIRE EXTINGUISHERS 2A:10BC IN SUCH LOCATIONS SO THAT EACH FLOOR TOWER HAVE ONE EACH. PROVIDE ONE IN EACH ROOM WHERE EXTINGUISHER FROM ANY PORTION OF THE BUILDING. FIRE EXTINGUISHER CABINET LOCATIONS ARE INDICATED BY THE RED DOTTED LINE. EXTINGUISHERS ARE REQUIRED TO BE ON SITE DURING CONSTRUCTION.
C. ANY PERSON USING A TORCH OR OTHER FLAME PRODUCING DEVICE FOR EXAMINING PIPE JOINTS FROM OR IN ANY BUILDING OR STRUCTURE SHALL PROVIDE ONE OPEN FLAME SHALL BE PROTECTED AGAINST IDENTIFY BY SHIELDING, WETTING OR OTHER MEANS. IN ALL CASES, A FIRE WATCH SHALL BE MAINTAINED FOR THE ENTIRE DURATION OF THE FLAME PRODUCING HOUR AFTER THE TORCH OR FLAME PRODUCING DEVICE HAS BEEN USED.
D. PROVIDE SIGNAGE FOR THE FOLLOWING ROOMS: "ELECTRICAL ROOM", "FIRE ALARM CONTROL ROOM", "FIRE ALARM RESENER" IN "F" HIGH LETTERS ON THE DOORS WHICH GIVE ACCESS TO THESE AREAS.
E. FIRE PROTECTION EQUIPMENT AND SYSTEMS SHALL BE INSTALLED AND MAINTAINED DURING CONSTRUCTION/DEMOLITION, IN ACCORDANCE WITH THE SPECIFICATIONS AND CHARACTERISTICS OF OPERATING EQUIPMENT. EQUIPMENT IS COMPATIBLE WITH BUILDING UTILITIES PRIOR TO SUBMITTING OR ORDERING SUCH EQUIPMENT. COORDINATE WORK OF VARIOUS SECTIONS HAVING INTERDEPENDENT RESPONSIBILITIES FOR INSTALLING, CONNECTING TO, AND PLACING IN SERVICE, SUCH EQUIPMENT.
F. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SPECIFICATIONS FOR FIRE SUPPRESSION SYSTEM TO THE ARCHITECT, BUILDING DEPARTMENT AND FIRE DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION.
G. ALL ELECTRICALLY OPERATED GATES WHICH ARE INSTALLED ACROSS REQUIRED FIRE ACCESS ROADS OR PATHWAYS SHALL HAVE A KNIX GRAND ACCESS SWITCH NOTIFIED WHICH WILL OPEN THE GATE. THE SWITCH SHALL BE INSTALLED SO IT WILL OPEN THE GATE AND THE GATE WILL REMAIN IN THE OPEN POSITION UNTIL SET BY THE FIRE DEPARTMENT. THE GATE SHALL HAVE A MANUAL MEANS OF OPENING IN THE EVENT OF A POWER FAILURE AND SHALL BE ACCESSIBLE FROM THE EXTERIOR OF THE PROPERTY.
H. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A LOCATION THAT IS PLAINLY VISIBLE FROM THE STREET OR ROAD AND FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES IN HEIGHT WITH A MINIMUM STROKE WIDTH OF 3/16 INCH (2.4 MM) FOR RESIDENTIAL OCCUPANCIES AND SIX (6) INCHES (152 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 3/8 INCH (9.5 MM) FOR COMMERCIAL AND INDUSTRIAL OCCUPANCIES. NUMBERS AND/OR LETTERS OF LARGER SIZE MAY BE REQUIRED BASED ON THE SIZE AND DESIGN OF THE BUILDING OR GROUP OF BUILDINGS.
I. ALL COMMERCIAL AND INDUSTRIAL BUILDINGS WITH ACCESS VIA AN ALLEY OR OTHER ENLAR ROADWAYS SHALL HAVE THE ADDRESS NUMBER, UNIT OR SUITE NUMBER, AND STREET NAME PROVIDED ON AN ADJACENT TO THE REAR PORCH OF THE BUILDING OR TERRACE SPACE. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS AND SUITE NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABET LETTERS. SHALL BE A MINIMUM OF SIX (6) INCHES (152 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 3/16 INCH (2.4 MM) FOR RESIDENTIAL OCCUPANCIES AND FOUR (4) INCHES IN HEIGHT WITH A MINIMUM STROKE OF WIDTH OF 3/8 INCH (9.5 MM). NUMBERS AND/OR LETTERS OF LARGER SIZE MAY BE REQUIRED BASED ON THE SIZE AND DESIGN OF THE BUILDING OR GROUP OF BUILDINGS.
J. THE OWNER, MANAGER OR OTHER PERSON IN CHARGE OF A PROPERTY SHALL NOTIFY THE FIRE CODE OFFICIAL AND PROVIDE NEW KEYS WHEN A LOCK IS CHANGED OR CHANGE LOCK NOTIFICATION. THE FIRE CODE OFFICIAL WILL MAKE ARRANGEMENTS TO PLACE THE NEW KEYS IN THE KEY BOX.

SIGNS & IDENTIFICATION

- 1. All building entrances that are accessible to and usable by persons with disabilities and all other major junction along or leading to an accessible route of travel shall be identified with a sign displaying the International Symbol of Accessibility and with additional directional signs, as required, to be visible to persons along approaching pedestrian ways.
2. Provide sign on or near main exit doors reading "This door to remain unobstructed during business hours." Exit doors shall be operable from the inside without use of key, but in any special knowledge or effort.
3. Each grade level exterior door shall be identified by a tactile exit sign with the word "EXIT". Tactile characters on sign shall be located 48" above the finish floor or ground surface, measured from the base of the lowest Braille cells and 60" maximum above the finish floor or ground surface, measured from the baseline of the highest set of raised characters. Tactile signs shall be located so that a clear floor space of 18" minimum by 18" minimum, centered on the tactile characters, is provided beyond the arc of any door swing between the closed position and 45 degree open position.
4. The floor or landing at doors shall not be more than 1/2" lower than the threshold of the doorway. Chair lift shall be installed with a slope no greater than 1:1. Changes in level greater than 1/2" shall be accomplished by means of a ramp.
5. Where permanent identification signs are provided for rooms and spaces, signs shall be installed in the most visible and accessible location adjacent to the door. Where there is no wall space on the latch side, including double leaf doors, signs shall be placed on the nearest adjacent wall, preferably on the right. All identification signage mounting heights shall comply with CBC.
6. Hand-actuated door opening hardware shall be centered between 30" and 44" above the floor.

DEFERRED SUBMITTAL

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL, WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. THE FOLLOWING ITEMS WILL BE SUBMITTED SEPARATELY FOR THIS PROJECT.
1. MANUFACTURED ROOF TRUSSES, PROVIDE DESIGN CALCULATIONS AND DETAILS FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION
2. FIRE SPRINKLER SYSTEM DESIGN FOR APPROVAL PRIOR TO INSTALLATION

NOTE: A Certificate of Acceptance for lighting controls is required by final inspection. The certificate shall be completed by a Certified Lighting Controls Acceptance Test Technician (CLCATT). A CLCATT may be found @ https://www.calep.org/

PROJECT DATA

Table with columns: OWNER, APN, SITE AREA, BUILDING AREA, LOT COVERAGE, PARKING REQ'D, EXIT REQUIREMENTS, OCCUPANT LOAD, OCCUPANT LOAD / EXIT WIDTH CALCULATION. Includes project details for Santa Cruz Property Management Co.

PROJECT DESCRIPTION

RE-CONSTRUCTION OF AN EXISTING 1,800 SF 1-STORY OFFICE BUILDING DUE TO FIRE DAMAGE. NEW PROJECT IMPROVEMENTS INCLUDE ADA COMPLIANT BATHROOM, VAN ACCESSIBLE PARKING SPACE & ACCESSIBLE SIGNAGE.

APPLICABLE CODES

This project shall comply with the 2016 California Building Code (CBC), Plumbing Code, Mechanical, CMIC, Electrical (CEC) and 2019 California Energy Efficiency Standards (CECS).

SHEET INDEX

Table listing sheet numbers and titles: 1 COVER SHEET, 2 SITE PLAN, 3 GRADING & DRAINAGE PLAN, 4 ORIGINAL FLOOR PLAN & EXTERIOR ELEVATIONS, 5 PROPOSED FLOOR PLAN, 6 PROPOSED EXTERIOR ELEVATIONS & BUILDING SECTIONS, 7 RESTROOM PLAN, INTERIOR FINISH & DOOR SCHEDULES, 8 LANDSCAPE PLAN, 9 ELECTRICAL POWER & LIGHTING SCHEMATIC, 10 PLUMBING & MECHANICAL SCHEMATIC, 11 CONSTRUCTION DETAILS, 12 CONSTRUCTION DETAILS, 13 STRUCTURAL NOTES, 14 FOUNDATION PLAN, 15 ROOF FRAMING PLAN, 16 CONSTRUCTION DETAILS, 17 CONSTRUCTION DETAILS, 18 SIGNAGE DETAILS, CG-1 CALGREEN MANDATORY MEASURES, CG-2 CALGREEN MANDATORY MEASURES, CG-3 CALGREEN MANDATORY MEASURES, EC-1 TITLE 24 - ENERGY COMPLIANCE FORMS, EC-2 TITLE 24 - ENERGY COMPLIANCE FORMS, EC-3 TITLE 24 - ENERGY COMPLIANCE FORMS, EC-4 TITLE 24 - ENERGY COMPLIANCE FORMS, EC-5 TITLE 24 - ENERGY COMPLIANCE FORMS.

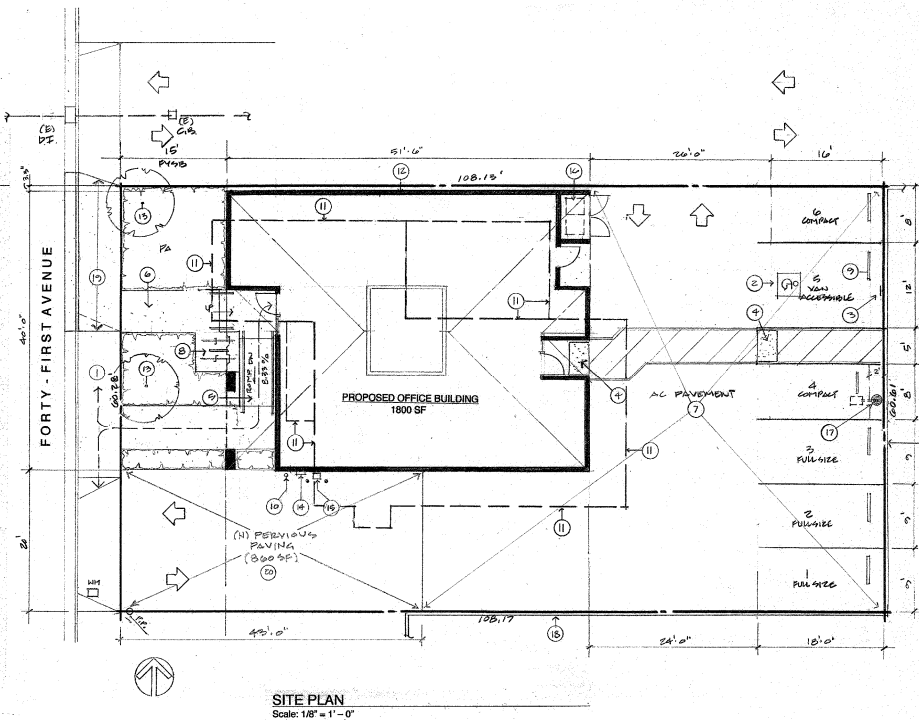
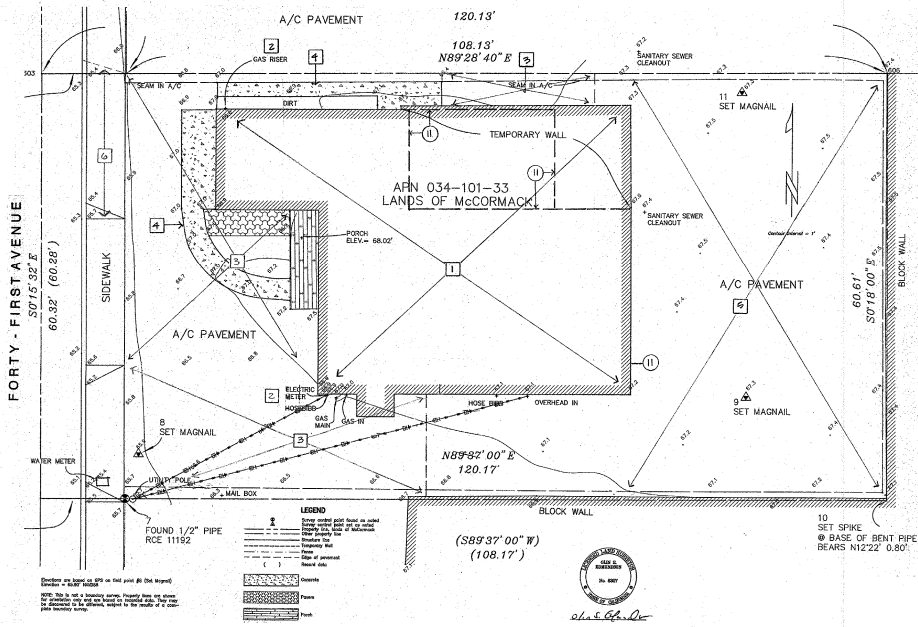
CONSULTANT LIST

Table listing consultants: ARCHITECT: MICHAEL HELM & ASSOCIATES, 200 SEVENTH AVENUE, #110 SANTA CRUZ, CA 95062; STRUCTURAL: George Reynolds, S.E., 111 Younglove Ave., Santa Cruz, CA 95060; ENERGY: Bright Green Strategies, 150 Feltner St., Santa Cruz, CA 95060.

Michael Helm, AIA Architect & Associates 200 Seventh Avenue, #110 Santa Cruz, California 95062 (831) 474-5366

RE-CONSTRUCTION PLANS FOR: EXISTING OFFICE BUILDING DUE TO FIRE DAMAGE 1240 - 41st AVENUE CAPITOLA, CALIFORNIA

Attachment: 1240 41st Ave Project Plans (1735 - 1240 41st Avenue)



- DEMOLITION NOTES**
- EXISTING BUILDING AND FOUNDATION TO BE DEMOLISHED
 - REMOVE ALL ELECTRICAL, GAS AND PLUMBING SERVICES BACK TO THE NEAREST JUNCTION AND CAP. COORDINATE WITH REQUIREMENTS OF NEW CONSTRUCTION.
 - REMOVE (E) A/C PAVEMENT, COORDINATE WITH REQUIREMENTS OF NEW CONSTRUCTION.
 - DEMOLISH (E) CONCRETE WALKWAY
 - EXISTING PARKING AREA TO BE CLEANED AND PREPARED FOR RE-SEALING AND RE-STRIPING
 - EXISTING CURB CUT SHALL DEMOLISHED AND REPLACED WITH AN ADA COMPLIANT SIDEWALK AND CURB CUT

- REFERENCE NOTES**
- EXISTING CONCRETE SIDEWALK TO REMAIN
 - NEW VAN ACCESSIBLE PARKING SPACE, REFER TO DETAILS
 - NEW VAN ACCESSIBLE PARKING SIGNAGE, REFER TO DETAILS
 - NEW DETECTABLE WARNING SURFACE, REFER TO DETAILS
 - NEW ACCESSIBLE RAMP (1:12 MAX. SLOPE) WITH 1-1/2 O.D. METAL HANDRAIL EACH SIDE, REFER TO DETAILS
 - NEW CONCRETE FLATWORK, REFER TO DETAILS
 - EXISTING AC PAVING TO REMAIN, RE-SEAL AND RE-STRIPES PER NEW PLAN
 - NEW BICYCLE STORAGE RACK, REFER TO DETAILS
 - NEW CONCRETE WHEEL STOPS
 - NEW FIRE SERVICE RISER
 - ORIGINAL BUILDING FOOTPRINT
 - NEW 1-HOUR FIRE WALL REQUIRED, NO OPENINGS ALLOWED
 - NEW STREET TREES, 2" BOX PLANTED 30 FT. APART
 - UPGRADE EXISTING ELECTRICAL SERVICE TO 200 AMPS
 - EXISTING GAS METER LOCATION, PROVIDE SAFETY BOLLARDS
 - NEW TRASH / RECYCLE ENCLOSURE, REFER TO DETAILS
 - NEW PARKING LOT POLE MOUNTED LED LIGHT FIXTURE
 - EXISTING 0 FOOT HT. CMU WALL AT PROPERTY LINE TO REMAIN
 - EXISTING CURB CUT SHALL DEMOLISHED AND REPLACED WITH AN ADA COMPLIANT SIDEWALK AND CURB CUT
 - NEW PERVIOUS PAVING AREA (800 SF MIN.)

PROJECT DATA

OWNER:	CHRISTINE MCCORMACK SANTA CRUZ PROPERTY MANAGEMENT CO. 1920 41 ST AVE, SUITE 102 CARMONA, CALIFORNIA 95010 831-482-5434	
APN:	034-101-33	
SITE AREA:	6,264 SF	
BUILDING AREA:	ORIGINAL 1580 SF	PROPOSED 1600 SF
LOT COVERAGE:	ORIGINAL 1750 SF (28%)	PROPOSED 2600 SF (42%)
PARKING REQ'D (1:200):	ORIGINAL 6 SPACES	PROPOSED 6 SPACES
EXIT REQUIREMENTS:	OCCUPANT LOAD OFFICE AREA: 1,800 SF (1/100) 18 Persons	
OCCUPANT LOAD / EXIT WIDTH CALCULATION:	OFFICE AREA: 18 Persons x 2 = 36 in. In. Exit Width Req'd 72 Lin. In. Exit Width Provided	

PROJECT DESCRIPTION

RE-CONSTRUCTION OF AN EXISTING 1,800 SF 1-STORY OFFICE BUILDING DUE TO FIRE DAMAGE. NEW PROJECT IMPROVEMENTS INCLUDE ADA COMPLIANT BATHROOM, VAN ACCESSIBLE PARKING SPACE & ACCESSIBLE SIGNAGE.

APPLICABLE CODES

This project shall comply with the 2016 California Building Code (CBC), Plumbing (CPC), Mechanical, (CMC), Electrical (CEC) and 2016 California Energy Efficiency Standards (CEES)

OCCUPANCY CLASSIFICATION: B
 CONSTRUCTION TYPE: V-B
 FIRE SPRINKLERS: YES

RE-CONSTRUCTION PLANS FOR:
EXISTING OFFICE BUILDING DUE TO FIRE DAMAGE
1240 - 41ST AVENUE
CARMONA, CALIFORNIA

Michael Helm, AIA Architect & Associates
200 Seventh Avenue, #110 Santa Cruz, California 95062 (831) 976-5386

11/2/17
1/8" = 1'-0"
MCH
10/17

2

◆Concrete, Cement, & Masonry Products

- Concrete, cement, masonry products, sediment or pollutant laden water shall never be discharged into or allowed to reach the storm drain system.
- Apply mixing excess amount of fresh concrete or cement mortar on site.
- During the curing, ensure that the slurry water does not run off into the street or storm drain system. The discharge of slurry into the storm drain system is prohibited. Fresh slurry must be cleaned up and disposed of properly.
- Concrete, cement, and masonry mixing containers may not be washed or rinsed into the street or storm drain system. If a concrete barrel must be used, a suitable wash box, excavation or self-washing rinses able to contain wash material shall be provided on-site.
- Never wash or rinse mixing containers and tools into the gutter, street, storm drain inlet, drainage ditches or water body.
- If conducting road or sidewalk work, materials stockpiles must be removed and cleaned up by the end of each work day.
- Discarded building materials and demolition wastes must never be left in a street, gully, or waterway. Dispose of all wastes properly including leftover paint and chemicals. Materials that cannot be reused or recycled must be taken to the landfill or disposed of as hazardous waste.


◆Site Clean Up

- Clean up by sweeping instead of hosing down whenever possible. Dispose of litter and debris in the garbage.
- The street, sidewalk and other paved areas may not be cleaned by washing or by directing sediment, concrete, asphalt, or other particles into the storm drain system. If water is used to flush sediment or particles from pavement, the water must be directed to a landscaped or grassy area large enough to absorb all the water.
- If conducting road or sidewalk work, materials stockpiles must be removed and cleaned up by the end of each work day.
- Discarded building materials and demolition wastes must never be left in a street, gully, or waterway. Dispose of all wastes properly including leftover paint and chemicals. Materials that cannot be reused or recycled must be taken to the landfill or disposed of as hazardous waste.

Signed and Agreed to by:
Project Owner or General Contractor

Date: _____

Print Name: _____

NOT TO SCALE		STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION	DRAWN BY: M.P.	REV.
DRAWN BY: M.P.			DRAWING No.:	
CHECKED BY: S.E.J.		STATION ADDRESS: PUBLIC WORKS DEPARTMENT	BMP-STIM-5	

- Effective filtration devices, barriers, and sealing devices shall be selected, installed and maintained properly.
- Silt fences must be installed so that the drainage around each fence does not create additional erosion and rills down slope of the fence.
- If silt fences are used for filter sediment runoff, ensure that the bales are actually filtering the water (and not just causing the water to travel around the bales) and that the slow pieces are not in the storm drain system.
- When the post-hole, use tamping, surface roughening (e.g. with a bufferizer), and energy dissipaters (such as riprap, sand bags and rocks) to slopes to reduce runoff velocity and trap sediments. Do not use asphalt rubles or other demolition debris for this purpose.
- All on-site erosion control measures and structural devices, both temporary and permanent, shall be properly maintained so that they do not become nuisances with stagnant water, odors, insect breeding, heavy algae growth, debris, and/or safety hazards.
- A sign and person should conduct inspections of all on-site BMPs during each rain event and after a storm is over to ensure that the BMPs are functioning properly. For sites greater than one-acre, on-site inspections are required in accordance with the CCP.

◆Earth Moving Activities & Heavy Equipment

Excavation and grading activities across large amounts of soil that can be transported into storm drains when handled improperly. Effective erosion control practices reduce the amount of runoff creating a site and slow the flow with check dams or roughened post-hole. Often, earth moving activities require use and storage of heavy equipment. Poorly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids onto the construction site are common sources of storm drain pollution.

Site Planning

- Maintain all heavy equipment. Inspect frequently for leaks, and repair leaks immediately upon discovery.
- Perform major auto or heavy equipment maintenance, repair jobs and vehicle or equipment washing off-site.
- If you must drain and replace motor oil, radiator coolant or other fluids on site, use drip pans, plastic sheeting or drop cloths to catch spills and spills. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste. Recycle whenever possible.
- Do not use diesel fuel to lubricate equipment parts or clean equipment. Only use water for crevice cleaning.
- Cover exposed filter wheel filters and other oily or greasy equipment during all rain events.

Practices During Construction

- Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect down slope drainage courses, creeks and storm drains with wattles or temporary drainage swales.
- Use check dams or ditches to divert runoff around excavations. Refer to the Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board (State Water Board Region, Fourth Edition August 2002, and the most recent version of the Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG), and Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CSQA).
- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

Soil Clean Up

- Maintain a soil clean-up kit on site.
- Never hose down dirty pavement or impervious surfaces where fluids have spilled. Use dry cleaning methods (absorbent materials, cat litter and/or rags) whenever possible and properly dispose of absorbent materials.
- Sweep up spilled dry materials immediately. Never allow to wash them away with water or bury them.
- Use as little water as possible for dust control. If water is used, ensure it does not leave silt or discharge to storm drains.
- Call 911 for significant spills. If the spill poses a significant hazard to human health and safety, you must also report it to the State Office of Emergency Services.

NOT TO SCALE		STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION	DRAWN BY: M.P.	REV.
DRAWN BY: M.P.			DRAWING No.:	
CHECKED BY: S.E.J.		STATION ADDRESS: PUBLIC WORKS DEPARTMENT	BMP-STIM-5	

◆Painting, Varnish & Application of Solvents & Adhesives

Paints, varnish, solvents and adhesives are highly toxic and aquatic life in our community. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint materials and wastes, adhesives and solvents should be recycled when possible or properly disposed to prevent these substances from entering the storm drains and watercourses.

Handling of Surface Coatings

- Keep paint, varnish, solvents and adhesive products and wastes away from the gutter, street and storm drain. Wastewater or runoff containing paint or paint thinner must never be discharged into the storm drain system.
- When there is a risk of spill reaching the storm drain, nearby storm drain inlets must be protected prior to starting painting.

Removal of Surface Coatings

- Non-hazardous paint chips and dust from dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint or varnish stripping residues, chips and dust from marine paints or varnishes, or paints containing lead, mercury or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor. Paint may be tested for lead by taking paint samples to a local, state-certified laboratory.
- When stripping or cleaning building exteriors with high-pressure water, block storm drains to prevent flow to creeks and the Monterey Bay.
- Wash water from painted buildings constructed pre-1978 can contain high amounts of lead even if paint chips are not present. Before stripping paint or cleaning a pre-1978 building's exterior with water under high pressure, test paint for lead by taking paint samples to a local, state-certified laboratory.

Clean Up of Surface Coatings

- Never clean brushes or rinse paint or varnish containers into a gutter, street, storm drain, French drain or creek.
- For water based paints, paint out brushes to the extent possible and rinse into an interior sink drain that goes to the sanitary sewer.
- For oil based paints, paint out brushes to the extent possible and clean with thinner or solvent. Filler and reuse thinners and solvents where possible. Dispose of excess liquids and residue as hazardous waste.
- When thoroughly dry, empty paint cans, used brushes, rags and drop cloths may be disposed of as garbage.

Disposal of Surface Coatings

- Recycle, return to supplier, or donate unwanted water-based (latex) paint. Oil-based paint may be recycled or disposed of as hazardous waste. Varnish, thinners, solvents, glues and cleaning fluids must be disposed of as hazardous waste.
- When the job is completed, collect all unused or waste materials and dispose of properly. Never leave or abandon materials on-site, and ensure that nothing has drifted toward the street, gutter, or catch basin.

◆Roadwork & Paving

- Protect nearby storm drain inlets and adjacent water bodies prior to breaking up asphalt or concrete.
- The discharge of saw cut slurry to the storm drain system is prohibited. Take measures to contain the slurry and protect nearby catch basins or gutters. If slurry enters the storm drain system, remove material immediately.
- Once saw cut slurry has been cleaned up and properly disposed of, it will not be carried into the storm drain system by wind, traffic, or rainfall.
- After breaking up old pavement, sweep up materials and recycle as much as possible. Properly dispose non-recyclable materials.
- Cover and seal nearby storm drain inlets and manholes before applying seal coat, slurry seal, etc. Leave covers in place until the oil sealant is dry.
- In the event of an rain during construction, divert runoff around work areas or storm drain inlet.
- Park paving machines over drip pans or absorbent materials.
- Wash wash sweepings from applied aggregate concrete into a street or a storm drain inlet. Collect and return to aggregate base stockpile or dispose of in the trash.
- Remove and clean up material stockpiles (e.g. asphalt and sand) by the end of each work day, or during the rainy season, by the end of each day. Stockpiles must be removed by the end of each day if they are located in a public right-of-way.

NOT TO SCALE		STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION	DRAWN BY: M.P.	REV.
DRAWN BY: M.P.			DRAWING No.:	
CHECKED BY: S.E.J.		STATION ADDRESS: PUBLIC WORKS DEPARTMENT	BMP-STIM-4	

Stormwater Pollution Prevention and Protection for Construction Projects

In the City of Capriola, water in streets, gutters, and storm drains flows directly to local creeks and Monterey Bay without any treatment. When debris, paint, concrete and other harmful pollutants from construction sites and home construction projects get soiled, leached or washed into the street or storm drain they can damage sensitive creek habitats and end up polluting our bay and coast.

In order to reduce the amount of pollutants reaching local storm drains and waterways, the City has developed "Best Management Practices" (BMPs) for construction work. All types of construction projects are required to abide by the following mandatory BMPs. These BMPs apply to both new and renovated residential, commercial, retail, and industrial projects.

In addition to the following mandatory BMPs, the Central Coast Regional Water Quality Control Board (Regional Water Board) under the State Water Resources Control Board (State Water Board) requires coverage under and adherence to the Construction Activities Storm Water General Permit, or CGP. To regulate storm water runoff from construction sites, in general, any construction or demolition activity, including, but not limited to, clearing, grading, grubbing, or excavation, or any other activity that results in a least disturbance of equal or greater than one acre, requires coverage under the CGP. Construction activities associated with Linear Underground Projects (LUPs) also require coverage under the CGP. It should be noted that SWPPP development and implementation (inspections, tracking) associated with LUPs is not subject to the CGP (excluding water sites) must be done by a qualified SWPPP developer (QSD), respectively. More information on the CGP and QSDs/PAOs may be found at <http://www.waterboards.ca.gov/centralcoast/region4/implementation/linearundergroundprojects.shtml>

◆General Construction & Site Supervision


The rainy season referred to herein applies to the dates October 1 to April 30, the dry season applies from May 1 to September 30. Compliance with the CGP and below BMPs is required year round; however, different requirements may be needed for the rainy and non-rainy season.

General Principles

- Keep an on-site site and ensure good housekeeping practices are used.
- Maintain equipment properly.
- Cover materials when they are not in use.
- Keep materials away from streets, gutters, storm drains and drainage channels.
- Ensure that control water does not leave the site or discharge to storm drains.
- Train your employees on these BMPs and familiarize them with storm water issues prior to beginning work. Inform your subcontractors about storm water requirements and be sure that they are also abided by these BMPs.
- Refer to the following approved references for BMP selection, implementation, and on-site management (most recent versions unless otherwise noted):
 - Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002.
 - Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG)
 - Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CSQA)
 - Construction Site Best Management Practices (BMPs) Manual, Storm Water Quality Handbooks, California

◆Good Housekeeping Practices

- Designate one area of the site located away from storm drains, discharge swales, and creeks for auto parking and heavy equipment storage, vehicle washing and refuse accumulation and storage.
- To prevent off-site tracking of dirt, provide site entrances with stabilized aggregate surfaces or provide a tire wash area on the site, but away from storm inlets or drainage channels. Mud, dirt, gravel, sand and other materials tracked or dropped on city streets must be cleaned up to prevent washing into the storm drains.
- Store materials and all stockpiles away from the rain and prevent runoff contamination from the site. Store materials, stockpiles and excavation soils under cover and protected from wind, rain, and runoff. Cover exposed piles of construction materials or soil with plastic sheeting or temporary roofs. Before rainfall events, sweep and remove material from surfaces that drain to storm inlets and/or drainage channels.
- Place trash cans around the site to reduce litter. Dispose of non-hazardous construction wastes in covered dumpsters or recycling receptacles.
- Keep dumpsters lids closed and secured. For dumpsters or bins that don't have a lid, cover them with tarps or plastic sheeting, secured around the exterior of the dumpster or place them under temporary roofs. Never clean out a dumpster by hosing it down on the construction site.

NOT TO SCALE		STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION	DRAWN BY: M.P.	REV.
DRAWN BY: M.P.			DRAWING No.:	
CHECKED BY: S.E.J.		STATION ADDRESS: PUBLIC WORKS DEPARTMENT	BMP-STIM-1	

1. Clean up leaks, drips and other spills immediately so that they do not contaminate the soil or runoff nor leave residue on paved surfaces. Use dry cleaning methods whenever possible. Water may only be used in minimal quantities to prevent dust.

2. If portable toilets are used, ensure that the leasing company properly maintains the toilets and promptly makes repairs. Conduct visual inspections for leaks.

3. Pruned vegetation and trees from accidental damages from construction activities by surrounding them with fencing or tree encircling.

Advanced Planning

- Site development shall be fitted to the topography and soils in order to minimize the potential for erosion.
- Soil grading/clearing limits, easements, setbacks, sensitive or critical areas, trees, drainage courses, and buffer zones must be delineated on site to prevent erosion or unnecessary disturbances and enhance erosion control and construction.
- Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or place other erosion controls before rain begins.
- Conduct grading operations in phases in order to reduce the amount of disturbed areas and exposed soil at any one time. Unless specifically approved on the project's drainage plan, grading, sediment and erosion control plan, clearing, excavation and grading shall not be conducted during rainy weather. All new erosion grading shall be in accordance with Capriola Municipal Code Chapter 10.28.
- Control the amount of mud eroding your site especially during excavation by using boms or temporary drainage ditches or berms where appropriate.

Materials & Waste Handling

- Practice containment "Source Reduction" by estimating carefully and minimizing wastes when ordering materials.
- Recycle excess materials such as concrete, asphalt, form-work, solvents, degreasers, paint, and vehicle maintenance materials whenever possible.
- Dispose of all wastes properly by ensuring that materials that cannot be recycled are taken to an appropriate land fill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or on a creek or drainage channel.

◆Landscaping, Gardening & Ponds/Fountains/Pool/Spa Maintenance

Many landscaping activities and practices expose soils and increase the likelihood of water runoff that will transport earth, sediments and garden chemicals to the storm drain during irrigation or rain events. Other exterior amenities such as ponds, pools and spas require regular maintenance using chlorine and/or copper based algaecides. Water treated with these chemicals is toxic to aquatic life and should never be discharged to the storm drain.

Landscaping & Garden Maintenance


- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Schedule grading and excavation during dry weather.
- Use temporary check dams or ditches to direct runoff away from storm drains or drainage channels.
- Protect storm drain inlets with sandbags, gravel filled bags, straw wattles, fabric or other sediment controls.
- The vegetation is an excellent form of erosion control for dry sites.
- Never dump or leave soil, mulch, or other landscape products in the street, gutter, or storm drain.

Ponds/Fountains/Pool/Spa Maintenance

When draining a pond, fountain, pool or spa, any volumes in excess of 500 gallons should be recycled in advance to the City of Capriola Public Works Department. The City will provide guidance on handling special cleaning waste, flow rate restrictors and best flow prevention.

◆Preventing Water & Sediment Runoff

Effective erosion and sediment control measures must be implemented and maintained on all disturbed areas in order to prevent a net increase of sediment in the site's storm water discharge relative to pre-construction levels. During the rainy season, erosion control measures must also be located at all appropriate locations along the site's perimeter and at inlets to the storm drain system. Effective methods to protect storm drain inlets include sand bag barriers, heavy rubber mats to cover and seal the joint, and sediment traps or basins. Refer to the Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002, and the most recent version of the Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG), and Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CSQA).

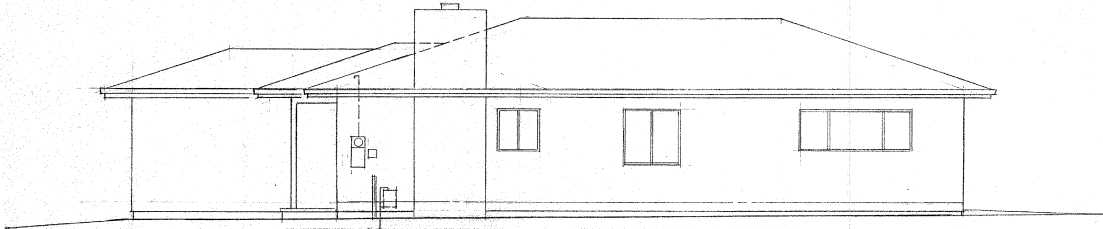
NOT TO SCALE		STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION	DRAWN BY: M.P.	REV.
DRAWN BY: M.P.			DRAWING No.:	
CHECKED BY: S.E.J.		STATION ADDRESS: PUBLIC WORKS DEPARTMENT	BMP-STIM-2	

Michael Helm, AIA Architect & Associates
205 Seventh Avenue, #10 Santa Cruz, California 95062 (RS) 476-5356

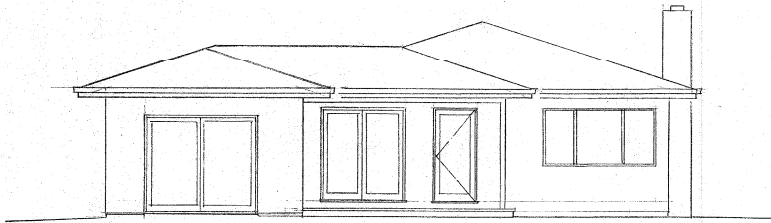
RE CONSTRUCTION PLANS FOR: EXISTING BUILDING DUE TO FIRE DAMAGE
1240 - 41st AVENUE
CAPRIOLA, CALIFORNIA

APPROPRIATE POLLUTION PREVENTION MEASURES

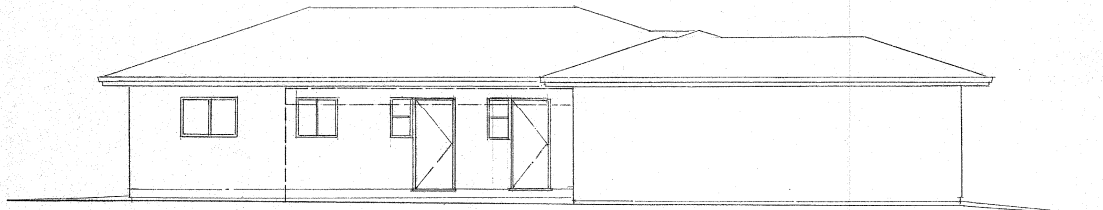
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S.E.J.
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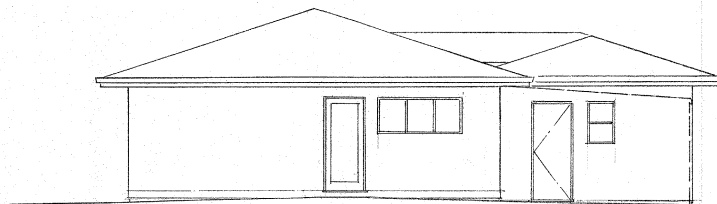
ORIGINAL - SOUTH ELEVATION
Scale: 1/8" = 1'-0"



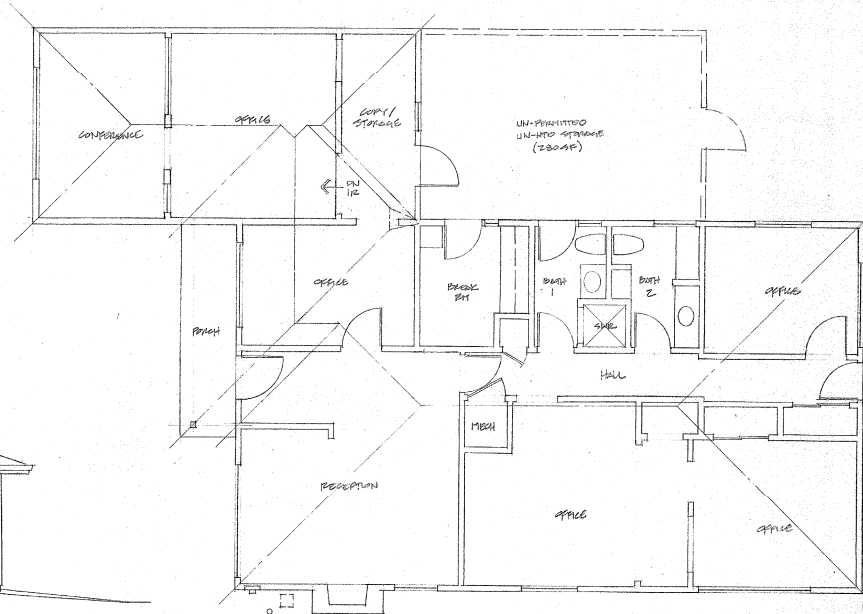
ORIGINAL - WEST ELEVATION
Scale: 1/8" = 1'-0"



ORIGINAL - NORTH ELEVATION
Scale: 1/8" = 1'-0"



ORIGINAL - EAST ELEVATION
Scale: 1/8" = 1'-0"



ORIGINAL - FLOOR PLAN (1983 SF, STD)
Scale: 1/4" = 1'-0"

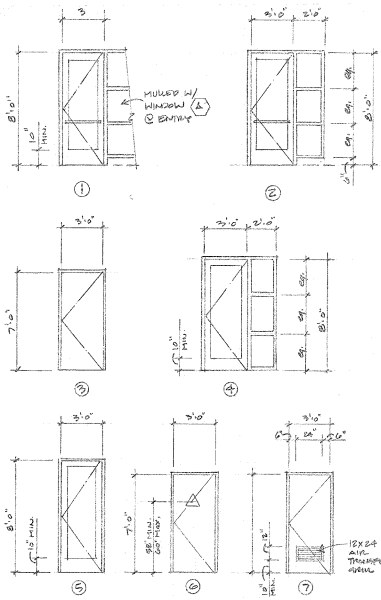
ORIGINAL - EXTERIOR MATERIALS

- WALLS 1x8 T&G Horizontal Redwood siding, painted
- ROOF Class B (min.) Asphalt Composition Shingle Roofing
- GUTTERS & DOWNSPOUTS 4" - 20 ga. G.I. beveled gutters with 2"x3" downspouts, painted
- VALLEY, STEP & ROOF / WALL FLASHINGS 20 ga. G.I.
- WINDOWS & EXT. GLASS DBLS. Aluminum sash, single and Dbl. glazed insulated

<p>Michael Helm, AIA Architect & Associates 200 Seventh Avenue #110 Santa Cruz, California 95062 (831) 476-5886</p>	<p>RE-CONSTRUCTION PLANS FOR: ERASE FIRE DAMAGE DUE TO FIRE DAMAGE 1240 - 41ST AVENUE CAPITOLA, CALIFORNIA</p>
<p><i>Original - Floor Plan - Exterior Elevations</i></p>	<p>1-12-17 1/4" = 1'-0" 1-30-17 1613</p>
<p>4</p>	

Attachment: 1240 41st Ave Project Plans (1735 : 1240 41st Avenue)

DOOR TYPES



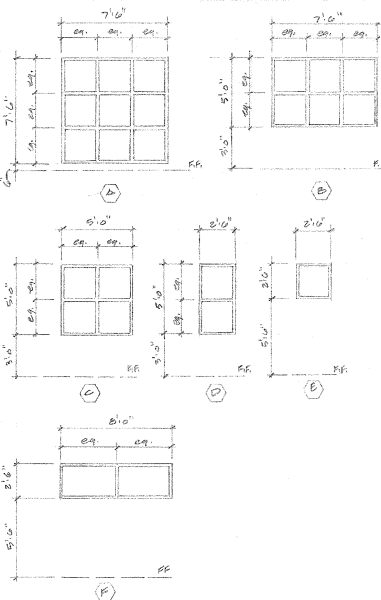
DOOR SCHEDULE (SEE DOOR NOTES ON SHEET 7)

SYM	SIZE	TYPE	QUAN.	REMARKS
①	3080	Ext. 3080 Sgl. Lite (Mult. w/ window A @ Entry)	1	Mil Finish Aluminum W/ Insul. Tempered Glass, Auto-closure, Threshold & weatherstrip.
②	5080	Ext. 3080 Sgl. Lite w/ 2070 3-lite sidelight	1	Mil Finish Aluminum W/ Insul. Tempered Glass, Auto-closure, Threshold & weatherstrip.
③	3070	Ext., Insulated Steel	1	Paint Grade Flat Flush, Set in steel jamb
④	5080	Int. 3080 Sgl. Lite w/ 2070 3-lite sidelight	2	Paint Grade Wood, French W/ 1/4" Sgl. Pane Tempered Glass, Set in Mil Finish Aluminum Frame
⑤	3080	Int. 3080 Sgl. Lite	1	Paint Grade Wood, French W/ 1/4" Sgl. Pane Tempered Glass, Set in Mil Finish Aluminum Frame
⑥	3070	Interior S.C. wood	1	Paint Grade Flat Flush Set in Mil Finish Aluminum Frame, Provide Accessible Signage
⑦	3070	Interior S.C. wood	1	Paint Grade Flat Flush Set in Mil Finish Aluminum Frame W/ 12"X24" Air Transfer Grill

SKYLIGHT SCHEDULE

SYM	MODEL	TYPE	QUAN.	REMARKS
⑧-1	VELUX FCM 2234	Commercial Fixed Curb Mounted	2	Inside curb dims. 22-1/2" X 34-1/2"

WINDOW TYPES

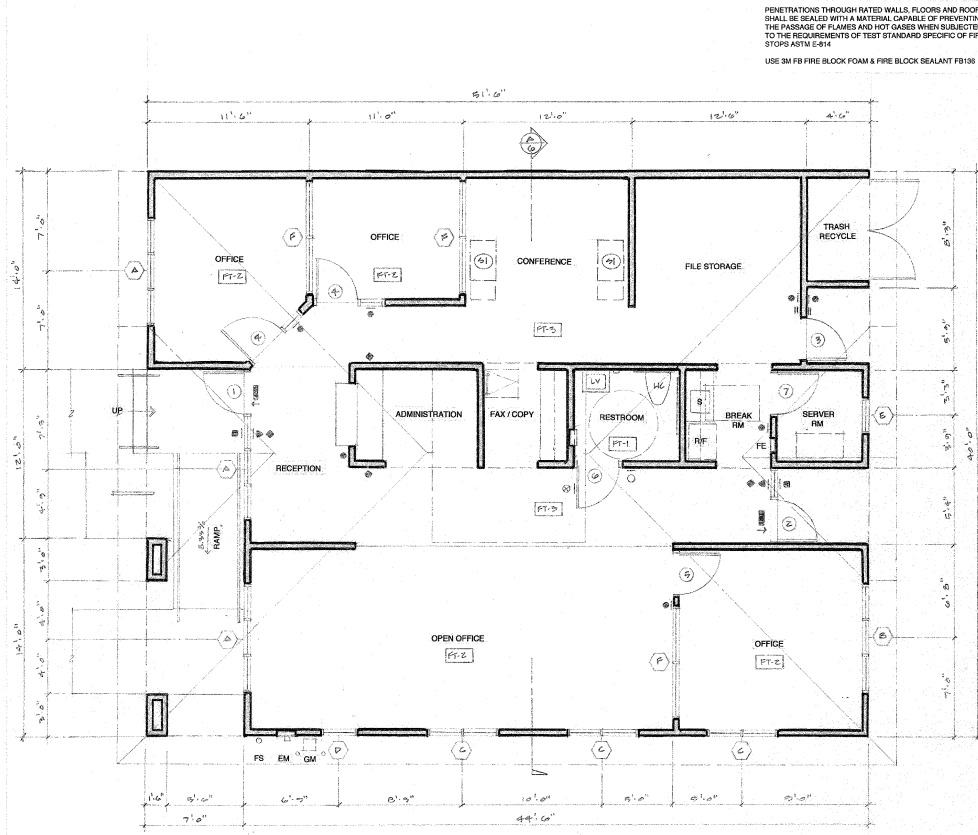


WINDOW SCHEDULE

SYM	SIZE	TYPE	QUAN.	REMARKS
Ⓐ	7676	9-lite Fixed	3	Mil Finish Aluminum Sash W/ Insulated Tempered Glass
Ⓑ	5076	6-lite Fixed	1	Mil Finish Aluminum Sash W/ Insulated Tempered Glass
Ⓒ	5050	4-lite Fixed	3	Mil Finish Aluminum Sash W/ Insulated Tempered Glass
Ⓓ	2650	2-lite Fixed	1	Mil Finish Aluminum Sash W/ Insulated Tempered Glass
Ⓔ	2626	Awning	1	Mil Finish Aluminum Sash W/ Insulated Tempered Obscure Glass
Ⓕ	8028	Interior Fixed	3	Mil Finish Aluminum Sash w/ 1/4" Sgl. Pane Tempered Glass

SIGNAGE LEGEND

- ROOM SIGNAGE - SEE DETAIL 2B/16
- ⊙ TOILET DOOR SIGNAGE - DETAIL 3B/16
- TOILET WALL SIGNAGE - DETAIL 3A/16
- ▲ EXIT SIGN - SEE DETAIL 2D/16
- ◆ EXIT ROUTE SIGN - SEE DETAIL 2A/16
- ≡ "NOT AN EXIT" SIGN - SEE DETAIL 2F/16
- ILLUMINATED EXIT SIGN WITH DIRECTIONAL ARROW WHEN NECESSARY - SEE ELECTRICAL DRAWINGS
- MAXIMUM OCCUPANT LOAD SIGN - SEE DETAIL 2E/16
- FOR ROOMS OF 50 OR MORE, THE SIGN SHALL READ "MAXIMUM OCCUPANT NOT TO EXCEED # PERSONS"
- # NUMBER OF PERSONS LISTED ON PLAN
- ISA ENTRANCE SIGN - SEE DETAIL 2C/16



PROPOSED - FLOOR PLAN
Scale: 1/4" = 1' - 0"

PENETRATIONS THROUGH RATED WALLS, FLOORS AND ROOFS SHALL BE SEALED WITH A MATERIAL CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN SUBJECTED TO THE REQUIREMENTS OF TEST STANDARD SPECIFIC OF FIRE STOPS ASTM E-814
USE 3M FB FIRE BLOCK FOAM & FIRE BLOCK SEALANT FB138

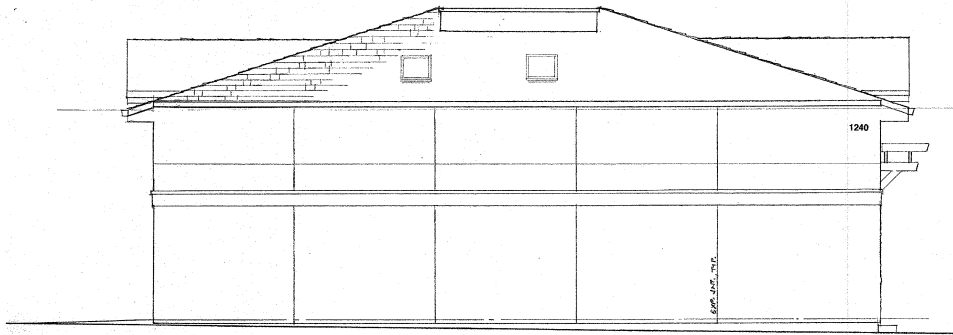
Michael Helm, AIA Architect & Associates
209 Seventh Avenue #110 Santa Cruz, California 95062 (831) 476-5366

RE-CONSTRUCTION PLANS FOR:
EXISTING OFFICE BUILDING DUE TO FIRE DAMAGE
1240 - 41 ST AVENUE
CARTOLA, CALIFORNIA

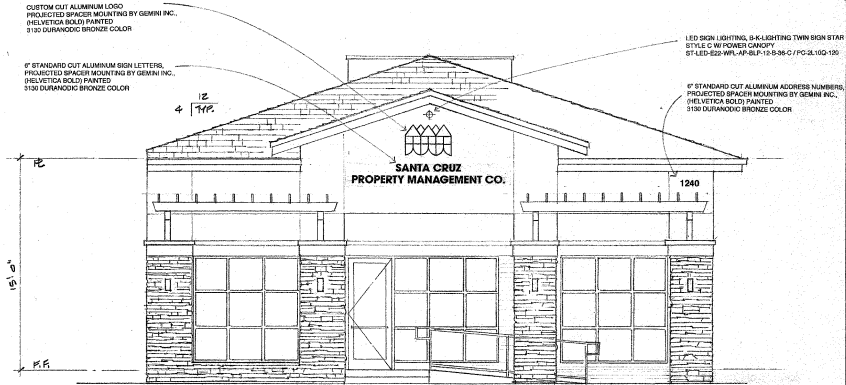
1-12-17
1/4" = 1'-0"
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5

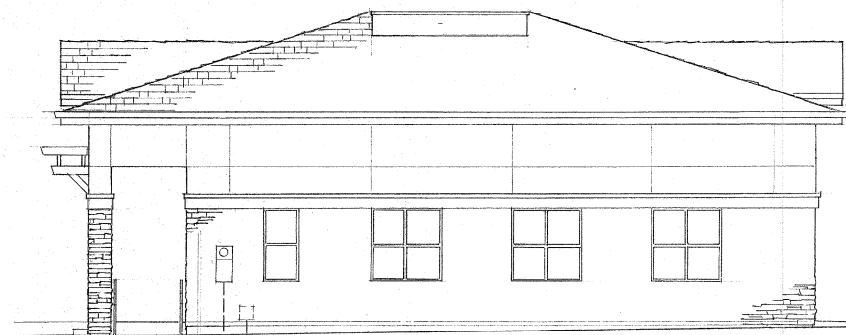
Attachment: 1240 41st Ave Project Plans (1735 : 1240 41st Avenue)



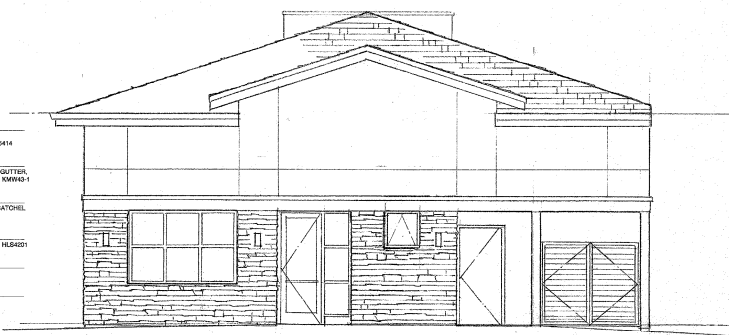
PROPOSED - NORTH ELEVATION
Scale: 1/4" = 1' - 0"



PROPOSED - WEST ELEVATION
Scale: 1/4" = 1' - 0"



PROPOSED - SOUTH ELEVATION
Scale: 1/4" = 1' - 0"

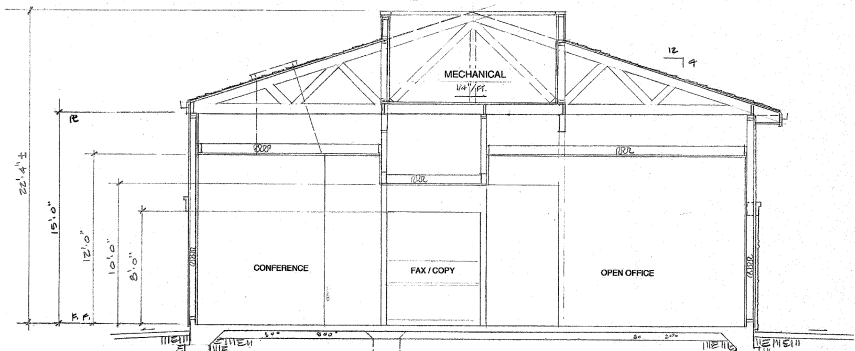


PROPOSED - EAST ELEVATION
Scale: 1/4" = 1' - 0"

- Roofing**
ASPHALT COMPOSITION SHINGLE ROOFING
SIA - PRESTIGE 1, HICKORY, 30 YR. USES (R-5414)
- Fascia / Gutter / Trim**
2x10 PWD FASCIA & TRIM, PAINTED 6" - 28 GA. GUTTER, PAINTED; KELLY-MOORE BRIGHT WHITE/ST. NANO 1
- Trellis**
4x8 PWD, PAINTED, KELLY-MOORE, LEATHER BAYCHEL KM68
- Wall**
STUCCO, PAINTED, KELLY-MOORE, ACORE WHITE, H5401
- Door & Window Sash**
ALL METALS, ALL FINES ALUMINUM
- Stone Veneer**
CORONADO, QUAD STACK, CARMEL MOUNTAIN

CONSTRUCTION SCHEDULE

FOUNDATIONS	CONCRETE SLABS: 5" thick concrete slab w/ #4 bars @ 24" o.c. each way, on 10 MIL Vapor Barrier on 6" crushed rock. CONCRETE MIX: Substitute Portland Cement with recycled flyash, 35% by volume, typical. Keep receipts for inspector verification. TREATED LUMBER: Substitute ACQ pressure treatment for CCA products, typical. FORM BOARDS: Clean and re-use for scaffolding, forms, blocking, etc... FORM RELEASE AGENT: Use Non-toxic soy based 0-VOC form release agent by BIO-GUARD CO. or Architect approved equal.	WINDOWS & EXT. GLASS DRs. Aluminum cash with DH, insulated Low-E glass, provide screens At all operable windows.
WALLS	3 coat stucco finish over two layers of grade "D" paper with wire lath per CBC or stone veneer over "TYPICAL" house wrap on 1/2" CDX plywood sheathing, nailed 10d @ 9" o.c. edges and 12" o.c. field, U.N.O., or 2x6 studs @ 16" o.c., with Fiberglass batt insulation R-19 (min.), 5/8" gypsum board interior finish, typical. Use low-VOC exterior/interior paints.	INSULATION EXT. WALLS R-19 (min.) Fiberglass batts INT. WALLS 3-1/2" sound batts ROOFS R-30 fiberglass batts
ROOF	Class B (min.) Asphalt Composition Shingle Roofing, install per mfg. specs over DCL layer 30 lb. felt over 3/8" CDX plywood sheathing nailed 10d @ 9" o.c. edges and 12" o.c. field, U.N.O., or 2x6 pre-manufactured trusses @ 24" o.c. with R-30 fiberglass batt insulation. Use plywood sheathing at all unsupported edges, typical. At Flat roof use: EDPM Single ply roofing	ROOF JACKS Provide neoprene gaskets and 26 ga. G.I. roof jack / rain cap, typical. All exhaust vents shall be located a min. of 4" from or 1" above all roof or wall openings per CMG. All plumbing vents shall be located a min. of 10" from or 3" above all roof or wall openings per CPC.
GUTTERS & DOWNSPOUTS	6" - 28 ga. G.I. gutters with 3" dia. downspouts to match existing. Downspouts are to deposit onto existing landscape areas to be absorbed on-site.	WALL PENETRATIONS Use weatherproofing wall jacks by QUICKFLASH or approved equal for plumbing, electrical and mechanical penetrations.
VALLEY & ROOF / WALL FLASHINGS	26 ga. G.I. where shown or required. Pan flash all ext. door sills with 26 ga. G.I. solder all joints, typical	PAINTS, STAINS, ADHESIVES & SEALERS Use Low / No VOC, water based products and solvent-free adhesives, typical.
		CABINETS & TRIM Use formaldehyde-free particle board and MDF by MEDITE or approved equal for all cabinets and trim applications.



PROPOSED - BUILDING SECTION
Scale: 1/4" = 1' - 0"

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RE-CONSTRUCTION PLANS FOR:
EXISTING OFFICE BUILDING DUE TO FIRE DAMAGE
1240 - 41st AVENUE
CAPITOLA, CALIFORNIA

PROPOSED - CONSTRUCTION SCHEDULE
1-12-17
1/4" = 1'-0"
MHL
1612
6

Attachment: 1240 41st Ave Project Plans (1735 : 1240 41st Avenue)

- A. HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE AT A CONSISTENT HEIGHT BETWEEN 34" MINIMUM AND 44" MAXIMUM ABOVE THE FLOOR. HINGED DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH/PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION.
- B. INTERIOR AND EXTERIOR THRESHOLDS SHALL BE NO HIGHER THAN 1/2 INCH ABOVE THE ADJACENT FLOOR LEVELS. EACH EXPOSED EDGE OF THRESHOLD IS REQUIRED TO BE BEVELLED OR SLOPED AT AN ANGLE NOT TO EXCEED 45 DEGREES SO THAT NO VERTICAL CHANGE OF ELEVATION EXCEEDS 1/4 INCH.
- C. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR THAT SHALL NOT BE MORE THAN 12 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. ALL LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS WHICH MAY HAVE A SLOPE NOT TO EXCEED 1/4 INCH PER FOOT.
- D. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. FOR EXTERIOR DOORS AND 8 LBS. FOR INTERIOR DOORS. SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MAXIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS.
- E. THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 1/8 INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- F. BARS, GRILLES, GRATES, OR SIMILAR DEVICES PLACED OVER EXIT DOORS, SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR ANY SPECIAL KNOWLEDGE OR EFFORT. SUCH BARS, GRILLES, GRATES, OR SIMILAR DEVICES SHALL BE EQUIPPED WITH AN APPROVED RELEASE DEVICE FOR USE BY THE FIRE DEPARTMENT ONLY ON THE EXTERIOR SIDE FOR THE PURPOSE OF FIRE DEPARTMENT EMERGENCY ACCESS, WHEN REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- G. DOOR DETAILS AND TYPES MAY NOT NECESSARILY SHOW ALL REQUIRED HARDWARE, SMOKE SEALS, ETC. REFER TO DOOR HARDWARE SCHEDULE AND SPECIFICATIONS FOR WEAR RESISTING, DOOR UPGRADES, OR SMOKE SEAL REQUIREMENTS.

GENERAL DOOR NOTES

LOCKSETS:

- L1 - PASSAGE (ND10C)
- L2 - PRIVACY (ND40S)
- L3 - OFFICE (ND30C)
- L4 - CLASSROOM (ND70CP)
- L5 - PANIC BAR
- L5.1 - PANIC BAR WITH SEPARATE DEADBOLT
- L6 - KEY CARD ACCESS

FINISH THROUGHOUT SHALL BE US230, ULOA.

- HINGES: 412 X 4 ULOA
- LOCKSETS: D SERIES X RHODES LEVER HANDLE
- CLOSERS: 7091 ALUM X 5H1
- PUSH PLATES: 47E X 29H
- PULL PLATES: 47E X 29H
- KICK PLATES: 2012 X 30 X BE. 50
- FLOOR STOPS: HAGER 24XF
- WALL STOPS: HAGER 25S
- THRESHOLD: 2005A X 8BWSRFP, ADA COMPLIANT
- GASKETING: 889W, INTERIOR DOORS

KEYING:

MASTER KEY ALL CYLINDERS AS DIRECTED

- SUPPLY 6 MASTER KEYS
- 3 KEYS PER LOCK

STAMP ALL PERMANENT KEYS "DO NOT DUPLICATE"
CONSTRUCTION KEY ALL CYLINDERS

- SUPPLY 6 CONSTRUCTION SETS
- 2 EXTRACTOR KEYS

REFER TO DOOR NOTES FOR ADDITIONAL INFORMATION

DOOR HARDWARE & NOTES

VERIFY NEW DOOR HARDWARE TO MATCH EXISTING BUILDING HARDWARE
PROVIDE DOOR HARDWARE SCHEDULE FOR APPROVAL PRIOR TO PURCHASE.

ALL LATCHES/TRA LOCKSETS SHALL BE LEVER TYPE SCHLAGE SPARTA STYLE, WITH 620 FINISH. FUNCTION TYPE PER SCHEDULE. ALL HARDWARE SHALL BE AT A CONSISTENT HEIGHT BETWEEN 34 INCHES MINIMUM TO 44 INCHES MAXIMUM ABOVE FLOOR FINISH AND OPERATE FROM INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. DOORS LISTED WITH EXISTING HARDWARE TO REMAIN SHALL BE LEVER TYPE AND SHALL MEET THESE CONDITIONS.

ALL DOORS SHALL HAVE A MINIMUM 6" CLEAR VERTICAL OPENING. HINGED DOORS SHALL OPEN TO MIN. 90 DEGREES FROM A CLOSED POSITION AND SHALL HAVE MIN 32" NET CLEAR WIDTH IN THAT 90 DEGREE POSITION. AT A PAIR OF DOORS, AT LEAST ONE LEAF SHALL HAVE A MINIMUM 32" NET CLEAR WIDTH WHEN OPENED TO AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.

WOOD DOORS WITH NEW PUSH/PULL HANDLES SHALL BE PROVIDED WITH STAINLESS STEEL, BRUSHED FINISH PUSH/PULL PLATES WITH ROUNDED CORNERS. DOORS WITH KICK PLATES SHALL BE PROVIDED WITH 1/2" HIGH FULL DOOR WIDTH WITH STAINLESS STEEL, BRUSHED FINISH KICK PLATES WITH ROUNDED CORNERS ON BOTH SIDES OF DOORS.

PANIC BARS SHALL HAVE CONCEALED VERTICAL RODS THAT LATCH INTO DOOR FRAME HEAD AND THRESHOLD. ACTIVATING DEVICE SHALL BE AT A CONSISTENT HEIGHT BETWEEN 34 INCHES MINIMUM TO 44 INCHES MAXIMUM ABOVE FLOOR FINISH, WITH UNLATCHING FORCE NOT TO EXCEED 15 POUNDS.

DOORS IN PAIRS MAY USE APPROVED AUTOMATIC FLUSH BOLTS (AFB) PROVIDED NO SURFACE MOUNTED HARDWARE IS USED ON THE LEAF HAVING THE AFB. UNLATCHING ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION, EXCEPT AS PROVIDED FOR IN THE IBC, SECTION 1009.10.6.

AUTOMATIC CLOSERS: THE MAXIMUM EFFORT TO OPERATE DOORS CANNOT EXCEED 6 POUNDS FOR INTERIOR AND EXTERIOR DOORS AND 10 POUNDS FOR REQUIRED FIRE RATED DOORS. SWEEP PERIOD OF THE CLOSER SHALL NOT BE LESS THAN 8 SECONDS FROM AN OPEN POSITION OR 70 DEGREES TO WITHIN 3" OF THE LATCH MEASURED TO THE LEADING EDGE OF DOOR. ALL EXISTING CLOSERS SHALL BE REPAIRED OR REPLACED TO MEET THESE REQUIREMENTS.

FLOOR OR LANDING SHALL NOT BE LOWER THAN 1/2" BELOW TOP OF DOOR THRESHOLD. CHANGES FROM LEVEL SHALL NOT EXCEED 1/4" THRESHOLD. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELLED WITH A MAX SLOPE OF 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL. REPAIR ANY EXISTING THRESHOLDS THAT DO NOT MEET THESE REQUIREMENTS.

ALL WOOD DOORS SHALL BE OF SOLID CORE CONSTRUCTION STAIN GRADE. PROVIDE SLIDERS IN DOOR FRAMES.

ALL DOORS SHALL HAVE STOPS. USE WALL STOP AS PRIMARY OPTION. CONSULT WITH ARCHITECT IF FIELD CONDITION DOES NOT PERMIT WALL STOP. DOOR STOPS SHALL NOT BE LOCATED IN THE PATH OF TRAVEL OR BEYOND 4" MAXIMUM FROM WALLS. DOORS SCHEDULED TO HAVE HOLD OPEN SHALL BE HAGER 2710 WITH US230 FINISH.

DOOR NOTES

RESTROOM SCHEDULE

- LW LAVATORY - KOHLER SONO WALL MOUNTED BATHROOM SINK K-8584, 10" WHITE WITH P-154P - K-8588 REFER TO MANUFACTURER'S GUIDE FOR RECOMMENDED ADA INSTALLATION. INSULATE HOT WATER AND DRAINPIES UNDER LAVATORY WITH SAFETY COVERS. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORY. FAUCET - KOHLER TRITON CENTERSET BATHROOM SINK FAUCET K-7305-6A
- WC WATER CLOSET - TOTO CT509N R01 COMMERCIAL FLUSHMETER HIGH EFFICIENCY TOILET, ELONGATED BOWL, W/ REQUIRED FITTINGS AND OPEN FRONT SOFT CLOSE SEAT, 1.28 GPF, FLOOR MOUNTED
- FD FLOOR DRAIN - RESTROOM FLOOR DRAIN WITH STRAINER COVER, PROVIDE AUTOMATIC PRIMER
- SI ACCESSIBILITY SIGN - TO SATISFY STATE OF CALIFORNIA TITLE 24 & ADA ACCESSIBILITY REQUIREMENTS

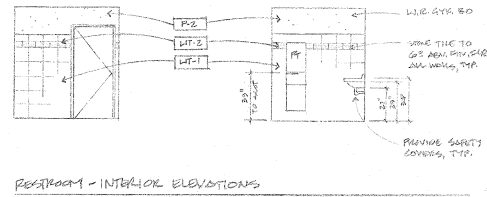
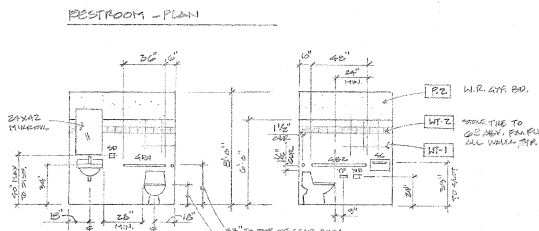
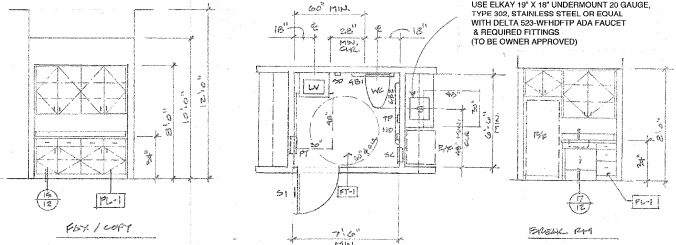
- NOTES:**
1. LOCATE CENTERLINE OF WATER CLOSET 18 INCHES FROM FINISH FACE OF WALL AND/OR PARTITION.
 2. PROVIDE KEYS HOSE BIBB IN RESTROOM UNDER LAVATORY WITH NONREMOVABLE BACKFLOW PREVENTION VALVE.
 3. PROVIDE SUBMITTALS ON ALL ITEMS

RESTROOM ACCESSORIES

- GB1 36" GRAB BAR - B-8008 X 36 MOUNT CENTERLINE @ +33" ABV. FIN. FLR.
- GB2 48" GRAB BAR - B-8006 X 48 MOUNT CENTERLINE @ +33" ABV. FIN. FLR.
- N0 SANITARY NAPKIN DISPOSAL - B-270 SURFACE MOUNTED
- PT PAPER TOWEL DISPENSER - B-4394 SEMI-RECESSED, HEIGHT OF PAPER TOWEL SLOT TO BE WITHIN +40" ABV. FIN. FLR.
- SC SEAT COVER DISPENSER - B-4221 SURFACE MOUNTED
- SD SOAP DISPENSER - B-822 SOAP DISPENSER SHALL OPERATE WITH LESS THAN 8 POUNDS OF FORCE
- TP TOILET PAPER HOLDER - B-2740 SURFACE MOUNTED

- NOTES:**
1. ALL CATALOG NUMBERS ARE AS MANUFACTURED BY BOBICK.
 2. MOUNT ALL ACCESSORIES AT HEIGHT REQUIRED BY TITLE 24 AND ADA ACCESSIBILITY REQUIREMENTS
 3. PROVIDE SUBMITTALS ON ALL ITEMS

NEW SINK & FAUCET:
USE ELKAY 19" X 18" UNDERMOUNT 20 GAUGE, TYPE 302, STAINLESS STEEL OR EQUAL WITH DELTA 633-WHDFTP ADA FAUCET & REQUIRED FITTINGS (TO BE OWNER APPROVED)



- Door Mounted Signage: (CBC 11B-216.8 & 11B-703.7.6)
 - a. Men: A 1/2" thick equilateral triangle with edge 12" long and vertex upward.
 - b. Women: A 1/2" thick circle and 12" in diameter.
 - c. Unisex: A 1/2" thick circle and 12" in diameter with a 1/2" thick triangle superimposed on the circle.

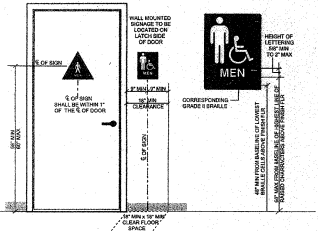


Note:
1. Signage shall contrast with the door, either light on a dark background or dark on a light background.
2. Pictograms and/or lettering are not required on door-mounted signage.

- Wall Signage: (CBC 11B-703.2 to 11B-703.6)
 - Information: Raised characters, pictorial symbols with Grade 2 Braille for permanent rooms and space of a building



Sign Installation Height and Location (CBC 11B-703.4)



GENERAL FINISH NOTES

- A. GENERAL CONTRACTOR TO ENSURE PROPER PREPARATION IS USED FOR ALL NEW FINISHES.
- B. FOLLOW MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION PROCEDURES AND MATERIALS.
- C. GENERAL CONTRACTOR TO PROVIDE SUBMITTAL OF EACH OF THE FINISHES LISTED IN THE SCHEDULE FOR APPROVAL PRIOR TO ORDERING.

INTERIOR FINISH SCHEDULE

REF.	MATERIAL	DESCRIPTION
FLOORING		
FT-1	FLOOR TILE	DALTILE, CREMA MARFIL CLASSICO #M722, POLISHED, SIZE 12" X 12", GROUT JOINT SIZE 1/8", USE GT-2
FT-2	CARPET	SHAW COLOR FRAME TILE ST081, COLOR 81505 MAGIC CARPET SHALL BE DIRECT GLUE-DOWN IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE SEAM SEALING. T CUTS ARE NOT ALLOWED.
FT-3	ENGINEERED WOOD FLOORING	MANUFACTURER & TYPE: TO BE OWNER APPROVED
GROUT		
GT-1	EPOXY GROUT	CUSTOM BUILDING PRODUCTS, #127 ANTIQUE LINEN
GT-2	EPOXY GROUT	CUSTOM BUILDING PRODUCTS, #982 BONE
WALL		
ALL PAINTING NUMBERS SHOWN ARE KELLY MOORE		
P-1	PAINT (WALLS & CEILING)	BENJAMIN MOORE DECORATOR'S WHITE CC-20 EGGSHELL SEMI-MATT FINISH
P-2	PAINT (RESTROOMS)	BENJAMIN MOORE DECORATOR'S WHITE CC-20 SEMI-GLOSS FINISH
WT-1	STONE TILE (RESTROOMS)	DALTILE, CREMA MARFIL CLASSICO #M722, POLISHED, SIZE 12" X 12", GROUT JOINT SIZE 1/8", USE GT-2
WT-2	STONE TILE (ACCENT)	DALTILE, EMPERADOR LIGHT CLASSIC BASKETWEAVE #M712, POLISHED, SIZE OF X 6", GROUT JOINT SIZE 1/8", USE GT-2
VINYL BASE: BURKE 4", VINYL TO BE OWNER APPROVED		
MILLWORK		
PL-1	PLASTIC LAMINATE	WILSONART LAMINATE, KENSINGTON MAPLE 10776-80
DOORS:		
WS-1	DOORS	MOHAWK, FPC-5, PAINT GRADE, 20 MIN RATED, FRAME FINISH: CLEAR ANODIC COATING 10" FRAME OR EQUAL TO BE OWNER APPROVED
COUNTERTOPS & SPLASH		
PLASTIC LAMINATE ON FORMALDEHYDE FREE PARTICLE BOARD AND/OR MDF MANUFACTURER & TYPE: TO BE OWNER APPROVED		
CABINETS:		
FLAT FLUSH, PLASTIC LAMINATE ON FORMALDEHYDE FREE PARTICLE BOARD AND/OR MDF MANUFACTURER & TYPE: TO BE OWNER APPROVED		
INTERIOR STOREFRONT WINDOWS & DOORS:		
TYPE: US ALUMINUM / 1 3/4" X 4" CENTER GLAZING SYSTEM #1 SINGLE PANE, CLEAR, TEMPERED		
ALUM. FRAME FINISH: #90 CLEAR ANODIC COATING		
NOTES:		
PROVIDE SAMPLES OF ALL MATERIALS AND COLORS TO ARCHITECT / OWNER FOR REVIEW AND APPROVAL.		
VERIFY ALL CATALOG NUMBERS.		

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RE-CONSTRUCTION PLANS FOR:
EXISTING OFFICE BUILDING DUE TO FIRE DAMAGE
1240 - 41 ST AVENUE
SANTA CRUZ, CALIFORNIA

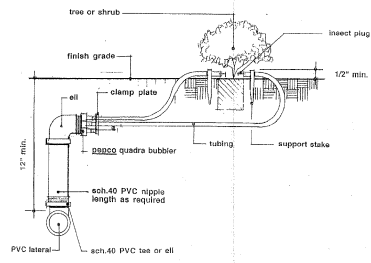
11/12/17
1/4" = 1'-0"
1/8" = 1'-0"
1/16" = 1'-0"

Attachment: 1240 41st Ave Project Plans (1735 : 1240 41st Avenue)

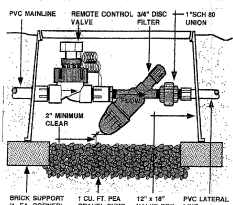
Drip Irrigation Notes

1. Ensure larger 1/2" drip tubing 1' below grade with 7" or 11" U-shaped stakes 3 feet on center or closer so that the tubing can be loaded easily, but does not show if the mulch gets trampled away. Cover tubing with soil and install manual flush valves at each of tubing and mark them so they can be found easily.
2. Run larger tubing close to plants to minimize length of smaller 1/4" tubing. Secure emitters on 1/2" tubing at plant root balls. When necessary run short lengths of 1/4" tubing from emitters to other sides of plant root balls. Install stakes on 1/4" tubing at 2' on center and cover tubing with 1" of soil plus mulch.
3. As the plants and plant rootball increase in size, the locations of the emitters may need to be adjusted so they are evenly spaced over the rootball.
4. Install pressure compensating emitters (with similar difference in flow between 10 PSI and 40 PSI) at each plant on root ball (right at stem). Use Agrifac PC Plus (pressure compensating emitters). Use the ones that 1/4 tubing can be connected to. Other emitters may have a higher discharge rate at a steep rising larger pipe sizes.

- Better schedule**
- One 2 GPH emitter at small shrubs (average size)
 - Three 2 GPH emitters at medium shrubs
 - Three 3 GPH emitters at large shrubs
 - Along additional 1 GPH emitters (12) on 2 foot x 2 foot grid in planting area under future tree canopy
 - With shrubs that have multiple emitters, put some over rock ball (on right on stem) and some out under future canopy. Space emitters evenly in root zone area.
 - Trees will usually be on a separate valve and have an adjustable 2 GPH bubbler. If they are combined on the same valve with drip on shrubs they are to have 2 adjustable maximum short radius spray nozzles that will irrigate the area under the canopy of the trees.



4 Quadra Bubbler



5 REMOTE CONTROL VALVE WITH DISC FILTER SECTION - NO SCALE

Nonpressure Pipe Sizing Guide

- For runs of pipe 100 feet or less in length from the valve to the furthest emitter in the run use the following guidelines
- 1-1 GPH flow use 3/4" size
 - 2-3 GPH flow use 1" size
 - 3-12 GPH flow use 1-1/4" size
 - 13-30 GPH flow use 1-1/2" size
 - 31-50 GPH flow use 2" size
- When total length of run between valve and last emitter exceeds 100 feet pipe sizes are increased sooner at lower flows based on pressure loss velocity of 3 ft/sec in pipe. Do not exceed more than 5 psi friction loss between valve and furthest emitter in the run. Use Agrifac PC Plus (pressure compensating emitters) for nonpressure irrigation runs up thru 1-1/2" size. 3/4-40 PVC is used for nonpressure irrigation.

PLANTING NOTES:

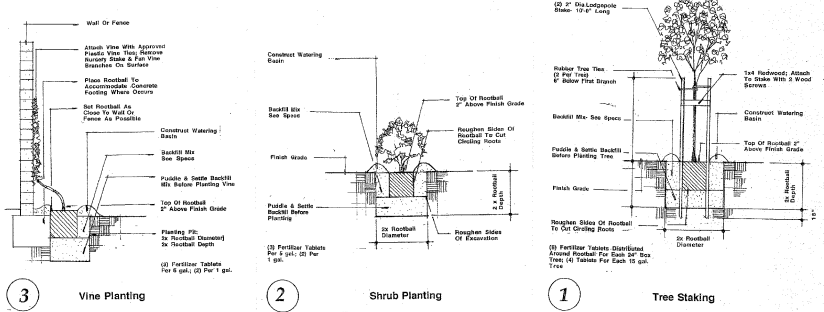
1. Circles shown represent the approximate mature size of the plant.
2. Contractor shall be responsible for adequate erosion control measures during construction.
3. Care shall be taken to avoid construction activity and/or staging under the drip line of existing trees in order to prevent soil compaction, root or tree damage. All work to be done under trees shall be by hand.
4. No plant shall be planted in a drainage swale regardless of its position on the plan.
5. FINISH GRADING: Fill all planter areas to a depth of 6 inches. Break up or remove all compacted layers of soil, rocks larger than 1 inch in diameter, and all detritus material from planter areas. Finish grade all areas to a smooth, even surface free of abrupt changes in grade. Make minor grading changes as required to insure positive drainage (1% minimum). Slope areas greater than 3% gradient and not be filled.
6. SOIL PREPARATION: Thoroughly incorporate the following amendments into the top 4 inches of all areas to be planted, except where indicated otherwise. Amounts given are per 1,000 square feet.
 1. 4 cubic yards of nitrogen stabilized shavings.
 2. 2 cubic yards of Nitro-Chance or equivalent.
 3. 4 pounds of all purpose fertilizer (16-8-4).
7. No plant shall be installed until a fully automatic irrigation system, covering all planting areas, has been installed, tested and is fully operational.
8. PLANTING OF TREES, SHRUBS AND VINES: Unless noted otherwise:
 - All trees larger than 15 g.c. size shall be planted per detail.
 - All trees 15 g.c. size and smaller shall be planted per detail.
 - All shrubs shall be planted per detail.
 - All vines shall be planted per detail.
 - All planting holes shall receive the following backfill mix:
 1. 60% soil of the site.
 2. 20% nitrogen stabilized reduced shavings.
 3. 20% nitro-chance or equal (acid loving plants to receive peat moss).
 4. Fertilizer tablets (Agriform 21 gram, 20-10-5) or equal, applied per manufacturer's recommendations.
9. Contractor shall guarantee all small trees, shrubs, vines, groundcover and turf to live and grow in an acceptable condition for a period of 90 days from the date of installation complete. Contractor shall also guarantee all trees 15 g.c. size and larger for a period of one year from the date of installation.
10. Upon completion of planting operations, contractor shall apply an approved pre-emergent herbicide (Bonstar or equal) as used control per manufacturer's specifications. In addition, a 2 inch layer of fir bark fines shall be installed over the finish grade of all planter areas.
11. MAINTENANCE PERIOD: Contractor shall maintain the site for a period of 90 calendar days at acceptance by owner. Maintenance shall include weekly mowing of turf, seeding of all turf and groundcover areas including slopes; removal of all trash and debris from planter areas and hardscape.

PRELIMINARY PLANT SCHEDULE

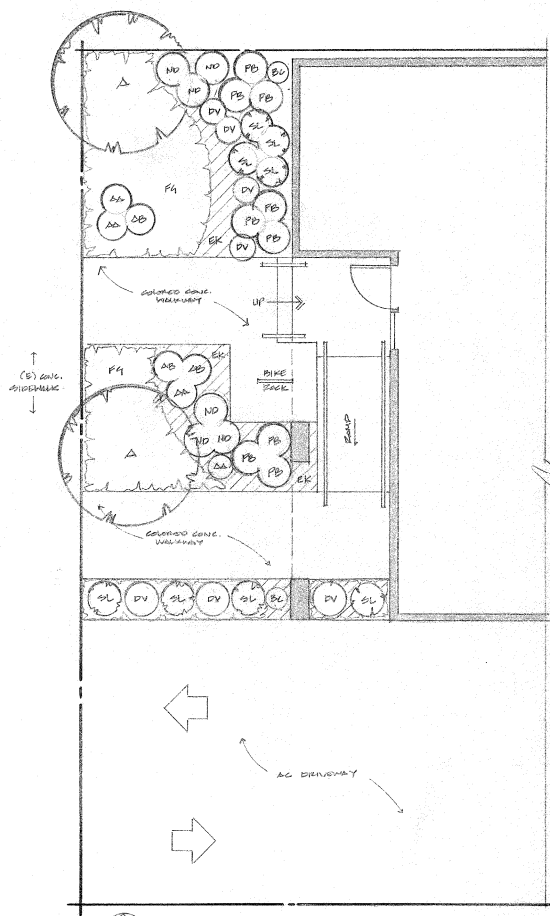
SYM	BOTANICAL NAME	COMMON NAME	SIZE	FUNCTION
TREES				
A	Lagerstroemia l. 'Muskegoe'	Crape Myrtle	24" Box	Med. Ht. Flowering & Fall Color Tree
SHRUBS				
AA	Agave attenuata	Agave	7 g.c.	Bold Leaf Succulent
AB	Agave 'Blueglow'	Agave	7 g.c.	Bold Leaf Succulent
PB	Polytaea 1 'Pottii Butterflies'	Sweet Pea Bush	5 g.c.	Flowering Med. Ht. Shrub
SL	Salvia leucantha	Mexican Sage	5 g.c.	Flowering Med. Ht. Shrub
ND	Nandina domestica	Heavenly Bamboo	5 g.c.	Med. Ht. Shrub
DV	Dietes vegeta	Fortnight Lily	5 g.c.	Flowering Med. Ht. Shrub
VINES				
BC	Bignonia cherei	Blood Red Trumpet Vine	5 g.c.	Flowering Vine
GROUNDCOVERS				
FG	Festuca glauca	Common Blue Fescue	1 g.c.	Low Groundcover Plant @ 30" o.c.
EK	Erigeron karwinskianus	Mexican Daisy	1 g.c.	Low Groundcover Plant @ 30" o.c.

IRRIGATION NOTES:

1. INSTALL A FULLY AUTOMATIC Drip IRRIGATION SYSTEM COVERING ALL PROPOSED PLANTING AREAS. IRRIGATION SYSTEM SHALL BE IN COMPLIANCE WITH CITY OF CARPINTERIA WATER EFFICIENT LANDSCAPE REQUIREMENTS
2. IRRIGATION CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANT WATERING NEEDS AS WEATHER OR SOIL CONDITIONS CHANGE.
3. WEATHER BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S).



3 Vine Planting 2 Shrub Planting 1 Tree Staking



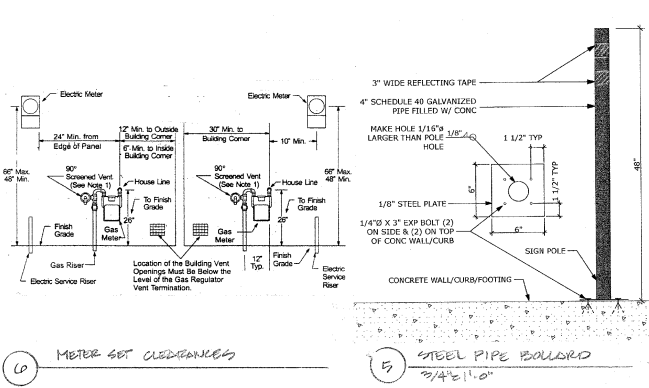
LANDSCAPE PLAN Scale: 1/4" = 1'-0"

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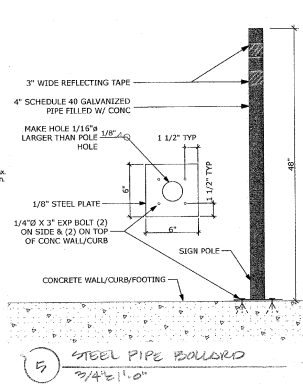
RE-CONSTRUCTION PLANS FOR EXISTING OFFICE BUILDING DUE TO FIRE DAMAGE
1240 - 41 ST AVENUE
CARPINTERIA, CALIFORNIA

11.12.17
1/4" = 1'-0"
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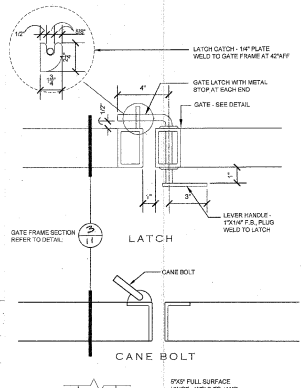
Attachment: 1240 41st Ave Project Plans (1735 : 1240 41st Avenue)



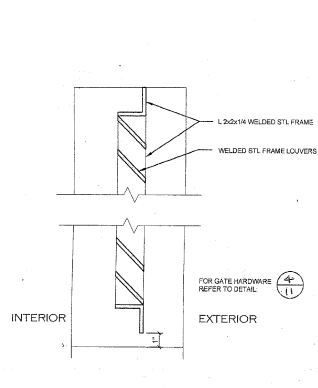
6 METER SET CLEARANCES



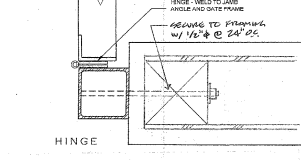
5 STEEL PIPE BOLLARD
3/4\"/>



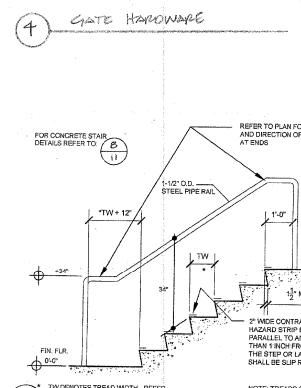
4 GATE HARDWARE



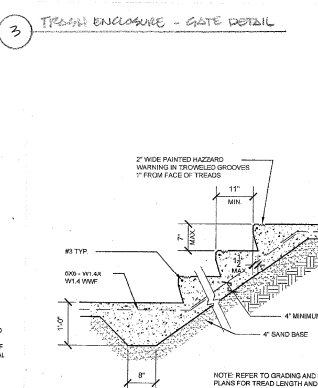
3 TRASH ENCLOSURE - GATE DETAIL



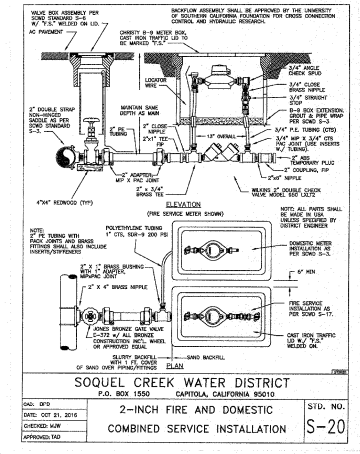
2 BACKFLOW PREVENTION ASSEMBLY



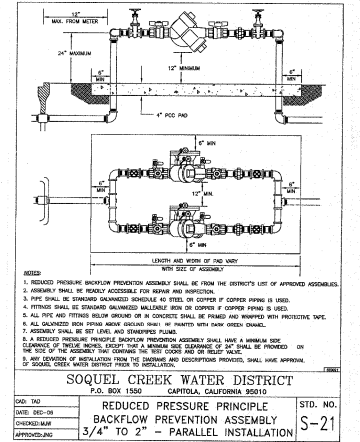
9 EXTERIOR STAIRS



8 SITE STAIR



1 FIRE SERVICE & WATER METER DETAIL



7 BACKFLOW PREVENTION ASSEMBLY

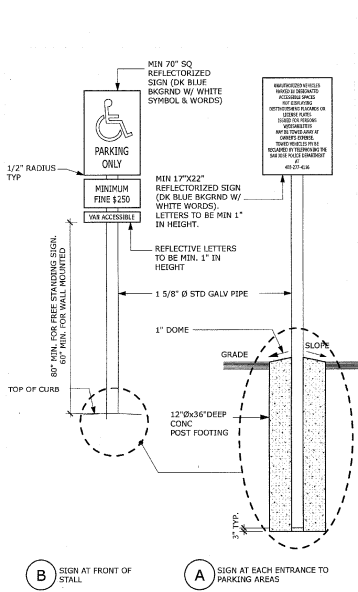
Michael Helm, AIA Architect & Associates
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RE-CONSTRUCTION PLANS FOR:
EXISTING ORCE BUILDING DUE TO FIRE DAMAGE
1240 - 41st AVENUE
CAPITOLA, CA 95010

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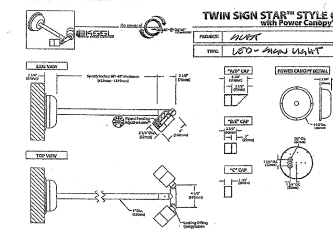
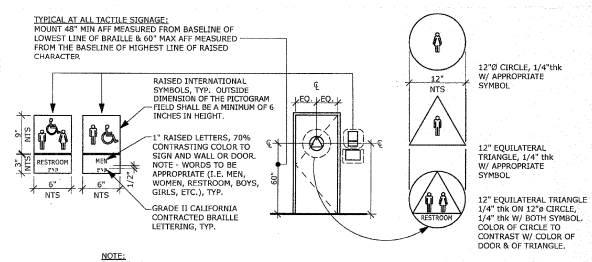
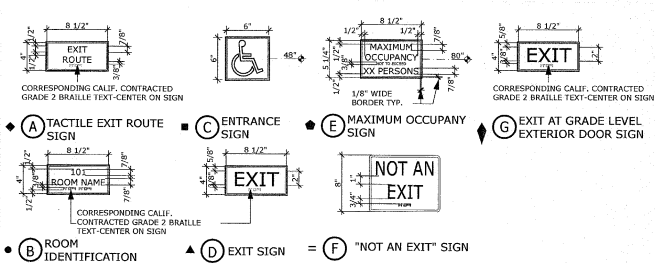
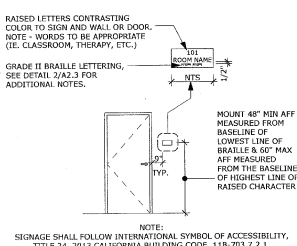
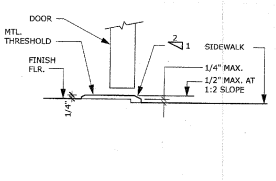
11

Attachment: 1240 41st Ave Project Plans (1735 : 1240 41st Avenue)

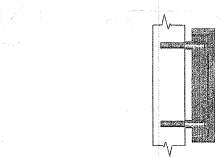


PARKING SIGN REQUIREMENTS
 SCALE: 1/4" = 1'-0"

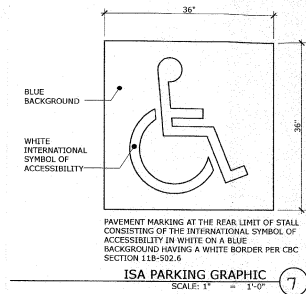
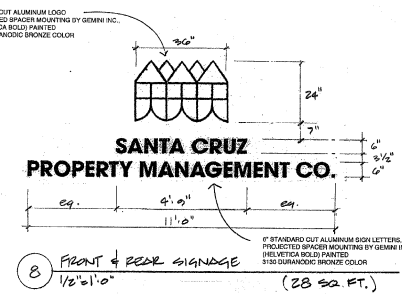
- NOTE:**
- PROVIDE DOOR IDENTIFICATION SIGNAGE ON WALL ADJACENT TO THE LATCH SIDE OF THE DOOR W/ BRAILLE 118-703.3, PROPORTIONS 118-703.2.4, CONTRAST (NON-RAISED CHARACTERS) 118-703.5.1, RAISED CHARACTERS 118-703.2 AND PICTOGRAMS 118-703.6
 - INSTALLATION HEIGHT AND LOCATION PER 118-703.4. SEE DETAIL 4/ , U.N.O. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE INCLUDING DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT.
 - RAISED CHARACTERS - SHALL COMPLY WITH 118-703.2 AND SHALL BE DUPLICATED IN BRAILLE COMPLYING WITH 118-703.3. CHARACTER HEIGHT 5/8" MIN TO 2" MAX. RAISED 1/32" ABOVE BACKGROUND, UPPERCASE, SANS SERIF. CHARACTERS CANNOT BE ITALIC, OBLIQUE, SCRIPT, HIGHLY DECORATIVE, OR OTHER UNUSUAL FONTS.
 - BRAILLE SPECIFICATION PER 118-703.3:
 TO BE CALIFORNIA CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHERE BRAILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTION OF THESE STANDARDS. DOTS SHALL BE 1/10 IN (2.5mm) ON CENTER IN SAME CELL, W/ 3/10 IN (7.6mm) SPACE BETWEEN CORRESPONDING DOTS IN ADJACENT CELL. DOTS SHALL BE RAISED A 0.025" (0.6mm) TO 0.037" (0.9mm) ABOVE THE BACKGROUND. DOMES SHALL BE DOME OR ROUNDED.
 - ALL SIGNS TO BE 1/4" THK. ACRYLIC PLASTIC
 - ANCHOR SIGN TO WALL W/ EXPOSED TAMPER RESISTANT SCREWS.
 - SEE SPECIFICATIONS FOR SIGN TYPE AND LOCATION.
 - ALL CHARACTERS AND BACKGROUNDS OF ALL SIGNS SHALL HAVE A NON-GLARE FINISH.
 - CHARACTERS ON ALL SIGNS SHALL CONTRAST 70% WITH BACKGROUND.
 - SIGNS TO HAVE COLOR WHICH CONTRASTS W/ SURFACE TO WHICH THEY ARE MOUNTED.
 - NAME OF ROOM SHALL ALWAYS BE BELOW ROOM NUMBER, BRAILLE ALWAYS BELOW THE ROOM NAME.
 - FOR SIGNAGE MOUNTING HEIGHTS SEE DETAIL 4/
 - ROOM IDENTIFICATION TEXT TO BE APPROVED BY OWNER PRIOR TO MAKING OF SIGNS.
 - FRONT ENTRY DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS.



B-K LIGHTING, INC., Twin Sign Star, Style C With Power Canopy, (typical at 2 locations)
 ST-LED-022-WPL-A9-BLP-12-B-38-C
 PO-2L10Q-120



Projected Spacer Mounting
 Spacers are set in adhesive cement. Pre-cut spacers are inserted between the letter and the mounting surface.



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RE-CONSTRUCTION PLANS FOR:
 EXISTING OFFICE BUILDING DUE TO FIRE DAMAGE
1240 - 41ST AVENUE
 CAPITOLA, CALIFORNIA

Attachment: 1240 41st Ave Project Plans (1735 : 1240 41st Avenue)

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STAFF REPORT

TO: PLANNING COMMISSION
 FROM: COMMUNITY DEVELOPMENT
 DATE: FEBRUARY 2, 2017
 SUBJECT: **115 Saxon Avenue #16-115 036-131-02**

Design Permit to remodel an existing non-conforming residence and addition of 324 square feet, located in the R-1 (Single-Family Residential) Zoning District. This project is in the Coastal Zone but does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: Brian Wiese & Diane Krigel

Representative: Derek Van Alstine, filed: 6/2/16

APPLICANT PROPOSAL

The applicant is proposing to remodel and construct a 324 square foot addition to the first floor of an existing two-story residence at 115 Saxon Avenue. The existing two-story home is non-conforming to the rear and side yard setback restrictions, as well as parking requirements. The property is located in the R-1 (Single-Family Residential) zoning district.

BACKGROUND

The Architectural and Site Review Committee reviewed the application on August 10th, 2016, and provided staff with the following comments:

Building Official, Brian Van Son: informed the applicant that the egress window on the south side of the building is too close to property line and a firewall is required on the rear and south side walls and eaves.

Public Works Representative, Danielle Uharriet: asked for existing and proposed impervious and pervious surface areas to be identified on the site plan and that the full street right-of-way be shown on the site plan.

Local Architect, Frank Phanton: appreciated the design.

Landscape Architect, Megan Bishop: had no comments.

City Planner, Ryan Safty: asked the applicant to update the north elevation to show the missing window and submit a non-conforming structural calculation sheet to show if the improvement work will/will not exceed 80% of the existing value of the home.

Following the Architectural and Site Review hearing, the applicant placed the design permit application on hold and applied for a building permit to construct a new foundation under the existing residence. On January 9th, 2017, the applicant resubmitted plans for the remodel and addition work which addressed the comments generated at the Architectural and Site Review hearing.

Site Planning and Zoning Data

The following table outlines the zoning code requirements for development in the R-1 (Single Family Residential) Zoning District relative to the application.

R-1 (Single Family Residential) Zoning District

Development Standards			
Building Height	R-1 Regulation		Proposed
	25 ft.		23 ft.
Floor Area Ratio (FAR)			
Lot Size	4,000 sq. ft.		
Maximum Floor Area Ratio	54% (Max 2,160 sq. ft.)		
Existing First Story Floor Area	912 sq. ft.		
Existing Covered Porch / Raised Deck Area <i>150 sq. ft. allowance (§17.15.100.B.6)</i>	410 sq. ft. (-150 sq. ft.) = 260 sq. ft.		
Existing Second Story Floor Area	923 sq. ft.		
Existing Residence Total Area	2,095 sq. ft.		
Proposed First Story Floor Area	1,236 sq. ft.		
Proposed Covered Porch / Raised Deck Area <i>150 sq. ft. allowance (§17.15.100.B.6)</i>	53 sq. ft. (-150 sq. ft.) = 0 sq. ft.		
Proposed Second Story Floor Area	923 sq. ft.		
Proposed TOTAL FAR	2,159 sq. ft. (53.9%)		
Yards (setbacks are measured from the edge of the public right-of-way)			
Corner lot? If yes, update regulations for corner lots			No
	R-1 Regulation		Proposed
Front Yard 1st Story	15 feet		43 ft. from right-of-way
Front Yard 2nd Story	20 feet		49 ft. from right-of-way
Side Yard 1st Story	10% lot width	Lot width 40 4 ft. min.	6 ft. - 4 inch from property line - north * 4 inch from property line - south
Side Yard 2nd Story	15% of width	Lot width 40 6 ft. min	14 ft. from property line - north * 4 inch from property line - south
Rear Yard 1st Story	20% of lot depth	Lot depth 100 20 ft. min.	*1 ft. from property line
Rear Yard 2nd Story	20% of lot depth	Lot depth 100 20 ft. min	*1 ft. from property line
Encroachments (list all)	Side and rear setbacks are existing non-conforming		
Parking			
	Required		Proposed
Residential (from 2,001 up to 2,600 sq. ft.)	3 spaces total 1 covered		* 2 spaces total * 0 covered

	2 uncovered	* 2 uncovered (Note: Less than 10% increase in FAR. Parking exception applies)
Underground Utilities: required with 25% increase in area		Not required, 3% addition

* Denotes existing non-conformities

DISCUSSION

The applicant is proposing to remodel an existing two-story single-family residence and add a new room, front entry room, and covered porch at 115 Saxon Avenue. The existing 2,095 square foot two-story residence contains a 912 square foot first floor, a 923 square foot second floor, a 210 square foot raised deck, a 100 square foot second story deck, and a 100 square foot covered porch below the second story deck (Attachment 1). The applicant is proposing to remodel and add onto the existing home. The remodel includes removal of the raised deck area to construct a 228 square foot “rumpus room” in its place, attached to the existing first floor. The existing covered porch would be enclosed to create a new 96 square foot entry room, and the deck above would be removed and replaced with a sloped roof. In front of the new entry room, the applicant is proposing a 53 square foot covered entry porch. All new addition work meets setback requirements. The plans also include moving the kitchen downstairs, replacing the “mechanical room” on the first floor with a bathroom, and moving the bedrooms upstairs.

The applicant is also proposing to update the exterior of the home. The existing exterior materials are vertical siding, horizontal siding, and stucco. The applicant is proposing to re-side the entire home with shingle siding along the front façade, a mix of shingle siding and horizontal siding along the side elevations, and horizontal siding along the rear. The application calls for two new small windows on the southern elevation, and new windows within the “rumpus room”. The new covered entry porch along the front of the home would have a gabled roof with two support pillars on either side of the front door. The entry porch would have shingle roofing to match the existing residence, and the “rumpus room” and front entry room would have a plasticized roof coating.

Non-conforming Structure

The existing structure is considered non-conforming in that it does not meet setbacks and parking requirements. The 4,000 square foot property is required to have a 20-foot rear yard setback, a four-foot side yard setback to the first floor, and a six-foot side yard setback to the second floor. The existing home is only setback one foot from the rear property line and four inches from the south-side property line.

Pursuant to the Capitola Municipal Code, a non-conforming structure may be altered only if the valuation of the new improvement work does not exceed 80% of the present fair market value of the structure (§17.27.070). The project valuation does not exceed the 80% limitation (Attachment 2).

The property also does not meet current parking standards. The existing 2,095 square foot residence is required to have three parking spaces on-site, one of which must be covered. The existing property has two, tandem uncovered parking spaces in the front yard. The code requires that current parking standards be brought into compliance when the existing floor area is increased by ten percent (17.15.130.E). The existing floor area is proposed to be increased by three percent.

Unpermitted Garage Conversion

Shortly after public hearing notices were mailed, a neighboring property owner contacted staff to inquire if the property owner would correct their unpermitted garage conversion. Staff was unaware of the alleged garage conversion, but upon further research discovered a 1985 permit (Attachment 3) which required previous property owners to remove an unpermitted second dwelling unit and to convert the space back to a garage. It is unclear if the garage was ever restored, but the former garage is occupied by living space today.

Neither staff nor the applicant have found any evidence which demonstrates that the garage was permitted to be converted to living space, although it appears plausible that the former garage has been used as living space by multiple owners spanning 30+ years. Notwithstanding, in the absence of contrary information, staff considers the living space within the former garage to be a non-conforming condition which must either be properly permitted or converted back to a garage. Accordingly, staff recommends that the project be conditioned to remedy the non-conforming parking situation (Condition of Approval #4). Within Condition of Approval #4, the applicant is required to convert the living space back to a garage within the proposed building footprint. The applicant may also request a continuance of the application to revise the plans to comply with current parking standards.

CEQA

Section 15303(a) of the CEQA Guidelines exempts the construction of one single-family residence in a residential zone. This project involves a remodel and addition work to an existing two-story single-family residence in the R-1 (Single-Family Residential) Zoning District. No adverse environmental impacts were discovered during review of the proposed project.

RECOMMENDATION

Staff recommends the Planning Commission review the application and **either** continue the application to review an updated design with adequate onsite parking or **approve** project application #16-115, based on the findings and conditions of approval.

CONDITIONS OF APPROVAL

1. The project approval is for the remodel and addition to an existing, two-story home at 115 Saxon Avenue. The project consists of construction of an interior and exterior remodel, as well as an addition of 324 square feet. The 324 square foot addition results in a 3% increase in Floor Area Ratio (FAR). The maximum FAR for the 4,000 square foot property is 54% (2,160 square feet). The total FAR of the project is 53.9% with a total of 2,159 square feet of floor area, compliant with the maximum FAR within the zone. The proposed project is approved as indicated on the final plans reviewed and approved by the Planning Commission on February 2nd, 2017, except as modified through conditions imposed by the Planning Commission during the hearing.
2. Prior to construction, a building permit shall be secured for any new construction or modifications to structures authorized by this permit. Final building plans shall be consistent with the plans approved by the Planning Commission. All construction and site improvements shall be completed according to the approved plans.
3. At time of submittal for building permit review, the Conditions of Approval must be printed in full on the cover sheet of the construction plans.

4. Prior to issuance of building permit, the applicant shall submit revised plans to the satisfaction of the Community Development Director that include one covered parking space within a garage within the proposed footprint of the structure.
5. At the time of submittal for building permit review, Public Works Standard Detail Storm Water Best Management Practices (STRM-BMP) shall be printed in full and incorporated as a sheet into the construction plans. All construction shall be done in accordance with Public Works Standard Detail Storm Water Best Management Practices (STRM-BMP).
6. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or exterior appearance of the structure shall require Planning Commission approval.
7. Prior to issuance of building permit, all Planning fees associated with permit #16-115 shall be paid in full.
8. Prior to issuance of a building permit, the applicant must provide documentation of plan approval by the following entities: Santa Cruz County Sanitation Department, Soquel Water District, and Central Fire Protection District.
9. Prior to issuance of building permits, a drainage plan, grading, sediment and erosion control plan, shall be submitted to the City and approved by Public Works. The plans shall be in compliance with the requirements specified in Capitola Municipal Code Chapter 13.16 Storm Water Pollution Prevention and Protection.
10. Prior to issuance of building permits, the applicant shall submit a stormwater management plan to the satisfaction of the Director of Public Works which implements all applicable Post Construction Requirements (PCRs) and Public Works Standard Details, including all standards relating to low impact development (LID).
11. Prior to any land disturbance, a pre-site inspection must be conducted by the grading official to verify compliance with the approved erosion and sediment control plan.
12. Prior to any work in the City road right of way, an encroachment permit shall be acquired by the contractor performing the work. No material or equipment storage may be placed in the road right-of-way.
13. During construction, any construction activity shall be subject to a construction noise curfew, except when otherwise specified in the building permit issued by the City. Construction noise shall be prohibited between the hours of nine p.m. and seven-thirty a.m. on weekdays. Construction noise shall be prohibited on weekends with the exception of Saturday work between nine a.m. and four p.m. or emergency work approved by the building official. §9.12.010B
14. Prior to a project final, all cracked or broken driveway approaches or street edge shall be replaced per the Public Works Standard Details and to the satisfaction of the Public Works Department. All replaced driveway approaches shall meet current Accessibility Standards.
15. Prior to issuance of a Certificate of Occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Community Development

Director. Upon evidence of non-compliance with conditions of approval or applicable municipal code provisions, the applicant shall remedy the non-compliance to the satisfaction of the Community Development Director or shall file an application for a permit amendment for Planning Commission consideration. Failure to remedy a non-compliance in a timely manner may result in permit revocation.

16. This permit shall expire 24 months from the date of issuance. The applicant shall have an approved building permit and construction underway before this date to prevent permit expiration. Applications for extension may be submitted by the applicant prior to expiration pursuant to Municipal Code section 17.81.160.
17. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
18. Upon receipt of certificate of occupancy, garbage and recycling containers shall be shielded and placed out of public view on non-collection days.

FINDINGS

A. The application, subject to the conditions imposed, secures the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the project. The project, with the conditions imposed, secures the purpose of the Zoning Ordinance, General Plan, and Local Coastal Plan. The proposed addition area meets all zoning code requirements.

B. The application will maintain the character and integrity of the neighborhood.

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the application for remodel and addition to an existing two-story residence. The remodeled home, with the conditions imposed, will maintain the character and integrity of the neighborhood. The proposal will update the exterior façade and remove existing, raised deck space. The proposed updated home will maintain the character of the depot hill neighborhood.

C. This project is categorically exempt under Section 15303 of the California Environmental Quality Act and is subject to Section 753.5 of Title 14 of the California Code of Regulations.

Section 15303(a) of the CEQA Guidelines exempts the construction of one single-family residence in a residential zone. This project involves the remodel and addition to an existing two-story single-family residence in the R-1 (Single-Family Residential) Zoning District. No adverse environmental impacts were discovered during review of the proposed project.

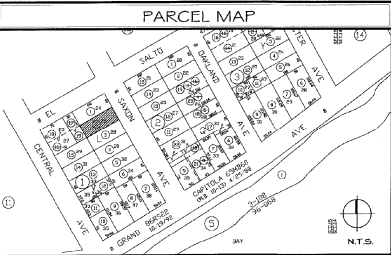
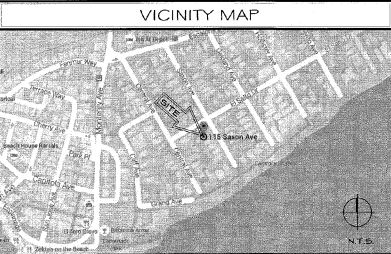
ATTACHMENTS:

1. Project Plans
2. 1985 Design Permit Property Record
3. Non-conforming Construction Cost Breakdown

Prepared By: Ryan Safty

Assistant Planner

WIESE-KRIGEL RESIDENCE



STRUCTURAL DATA					
SETBACKS		REQUIRED	PROPOSED		
FRONT YARD	1st STORY	15'-0"	47'-9"		
	2nd STORY	20'-0"	56'-5"		
REAR YARD	1st STORY	20'-0"	21'-10" (ADDITION)		
	2nd STORY	20'-0"	EXISTING		
SIDE YARD	1st STORY	4'-0" (L) * (R)	1'-3" (L) * 6'-3" (R)		
	2nd STORY	6'-0" (L) * (R)	1'-3" (L) * 1'-3" (R)		
HEIGHT		25'-0"	20'-14"		
FLOOR AREA RATIO		LOT SIZE	MAX (54%)	PROPOSED (53.96%)	
	HABITABLE SPACE	4,000 sq.ft.	2,100 sq.ft.	2,159 sq.ft.	
	DECK OVER 30' AND/OR COVERED PORCH		< 150 sq.ft. >	NA	91.2 sq.ft.
	DECK/COVERED PORCH CREDIT				1,235 sq.ft.
(E)	1st STORY	912 sq.ft.			
(E)	2nd STORY	923 sq.ft.			
(E)	TOTAL	1,835 sq.ft.			2,147 sq.ft.
(P)	1st STORY	1,236 sq.ft.			
(P)	2nd STORY	923 sq.ft.			
(P)	TOTAL	2,159 sq.ft.			2,233 sq.ft.
					NA
					923 sq.ft.
					2,159 sq.ft.
PARKING		REQUIRED	PROPOSED		
		3 SPACES, ONE OF WHICH MUST BE COVERED	2 UNCOVERED		
	TOTAL	3 SPACES	2 SPACES		

* THERE IS A CREDIT OF 150 sq.ft. FOR FIRST FLOOR COVERED PORCHES AND DECKS > 30'

BUILDING INFORMATION

PROJECT DESCRIPTION:
REMODEL OF EXISTING NON-CONFORMING, TWO STORY 2,147 SQ. FT. SINGLE FAMILY DWELLING AND AN ADDITION OF 222 SQ. FT.

PROJECT ADDRESS:
115 SAXON AVE
CAPITOLA, CA 95010

PARCEL NUMBER:
036-131-02

ZONING DESIGNATION:
R1

OCCUPANCY CLASSIFICATION:
R-3

CONSTRUCTION TYPE:
TYPE V-B

CODE NOTE:
THESE PLANS CONFORM TO THE 2013 CALIFORNIA RESIDENTIAL, BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODE. STRUCTURAL ENGINEERING SHALL CONFORM TO 2015 CALIFORNIA BUILDING CODE (I.E., 2013 IBC, IRC, UMC, UPC, AND 2015 NCE) AS AMENDED BY THE STATE OF CALIFORNIA.

CONTACTS

OWNER:
BRIAN WIESE & DANIELLE KRIGEL
101 GRAND AVENUE, #13
CAPITOLA, CA 95010
(415) 297-2627
(530) 369-0933

PROJECT DESIGNER:
DEREK VAN ALSTINE RESIDENTIAL DESIGN, INC.
DEREK VAN ALSTINE
1530 SEASIDE AVE SUITE 200
SANTA CRUZ, CA 95062
PH: (651) 426-0400
FAX: (651) 426-0446
derek@vanalstine.com

LANDSCAPE ARCHITECT:
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ELLEN COOPER
612 WINDSOR STREET
SANTA CRUZ, CA 95062
PH: (651) 426-6045
FAX: (651) 426-6045

SURVEYOR:
ERIK ANDERSON & ASSOCIATES
OLIN EDWARDS
1512 SEASIDE AVE.
SANTA CRUZ, CA 95062
PH: (651) 426-1796
FAX: (651) 426-1795

STRUCTURAL ENGINEER:
REDWOOD ENGINEERING
LEONARD WILLIS, P.E.
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SANTA CRUZ, CA 95062
PH: (651) 426-0444
FAX: (651) 426-0446
LEONARD@REDWOODENGINEERING.NET

DRAWING INDEX

BUILDING DESIGN	
T1	TITLE SHEET
T2	FLOOR AREA DIAGRAM
SURVEY	
A1	EXISTING SITE PLAN
A2	LOWER LEVEL EXISTING/DEMOLITION PLAN
A3	UPPER LEVEL EXISTING/DEMOLITION PLAN
A4	EXISTING EXTERIOR ELEVATIONS
A5	PROPOSED SITE PLAN
A6	PROPOSED LOWER LEVEL FLOOR PLAN
A7	PROPOSED UPPER LEVEL FLOOR PLAN
A8	PROPOSED ROOF PLAN
A9	PROPOSED EXTERIOR ELEVATIONS

DEREK VAN ALSTINE
RESIDENTIAL DESIGN INC.
1535 SEASIDE AVENUE SUITE 200 SANTA CRUZ CALIFORNIA
ART15174740 AND DRAWING PERMIT 15174740

DVRD
REGISTERED DESIGNER
2015 EXPIRES 12/31/2015
ALL RIGHTS RESERVED

WIESE-KRIGEL RESIDENCE
115 SAXON AVENUE
CAPITOLA, CA 95010

DATE: 03G-13-102

ISSUE DESCRIPTION:

REVISIONS:

DATE: SEPT. 30, 2016

REVISION DEVELOPER:

DATE: OCT. 14, 2016

PLANNING SUBMITTA:

BUILDING SUBMITTA:

REVISIONS:

DATE: NOV. 15, 2016

ARC COMMENT:

DATE: JAN. 6, 2017

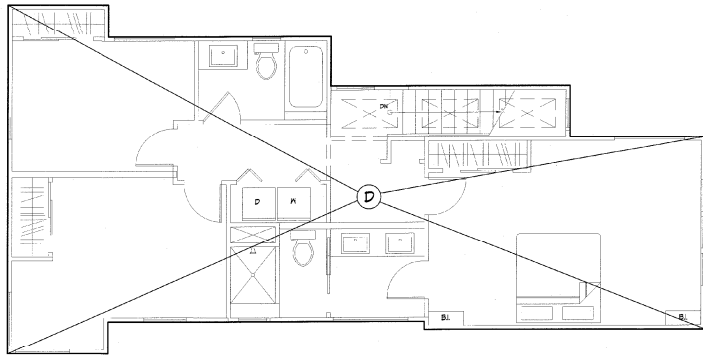
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TITLE SHEET

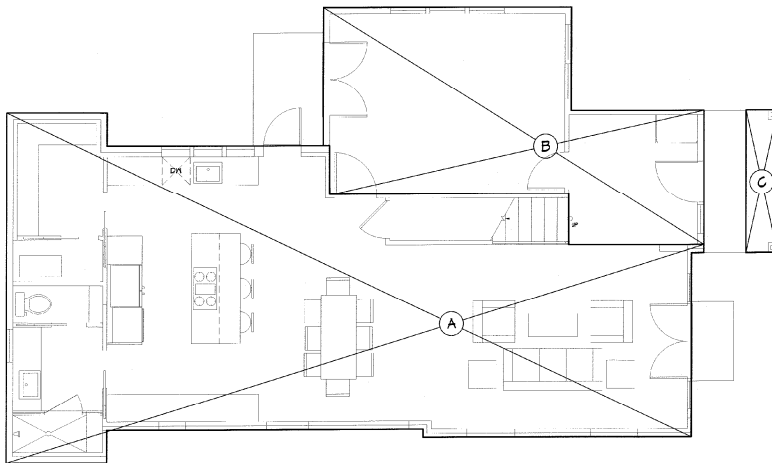
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NOT FOR CONSTRUCTION

Attachment: Project Plans (1738 : 115 Saxon Avenue)



2 UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"

SQUARE FOOTAGE DIAGRAM	
LOWER FLOOR:	AREA:
(A) (E) LOWER LEVEL	112 SF.
(B)	ADDITION
	524 SF.
	SUB-TOTAL
	1,236 SF.
COVERED PORCHES:	AREA:
(C) COVERED PORCH	53 SF.
	COVERED PORCH CREDIT (-150 SF.)
	SUB-TOTAL
	0 SF.
UPPER FLOOR:	AREA:
(D) (E) UPPER LEVEL	423 SF.
	SUB-TOTAL
	423 SF.
	TOTAL
	2,154 SF.

MAX FLOOR AREA ALLOWED (54%):
4,000 SF. (9,461) = 2,160 SF.
PROPOSED FLOOR AREA : 2,154 SF.

DEREK VAN ALSTINE
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1135 SE BRIDGET AVENUE SUITE 200 SANTA CRUZ, CALIFORNIA
(531) 426-9400 PHONE (531) 426-9445 FAX

DVRD
DESIGN REVIEW BOARD
1000 N. 1ST ST. SUITE 100
SANTA ANA, CA 92701
714.241.1111

WIESE-KRIGEL RESIDENCE
115 SAXON AVENUE
CAPITOLA, CA 95010

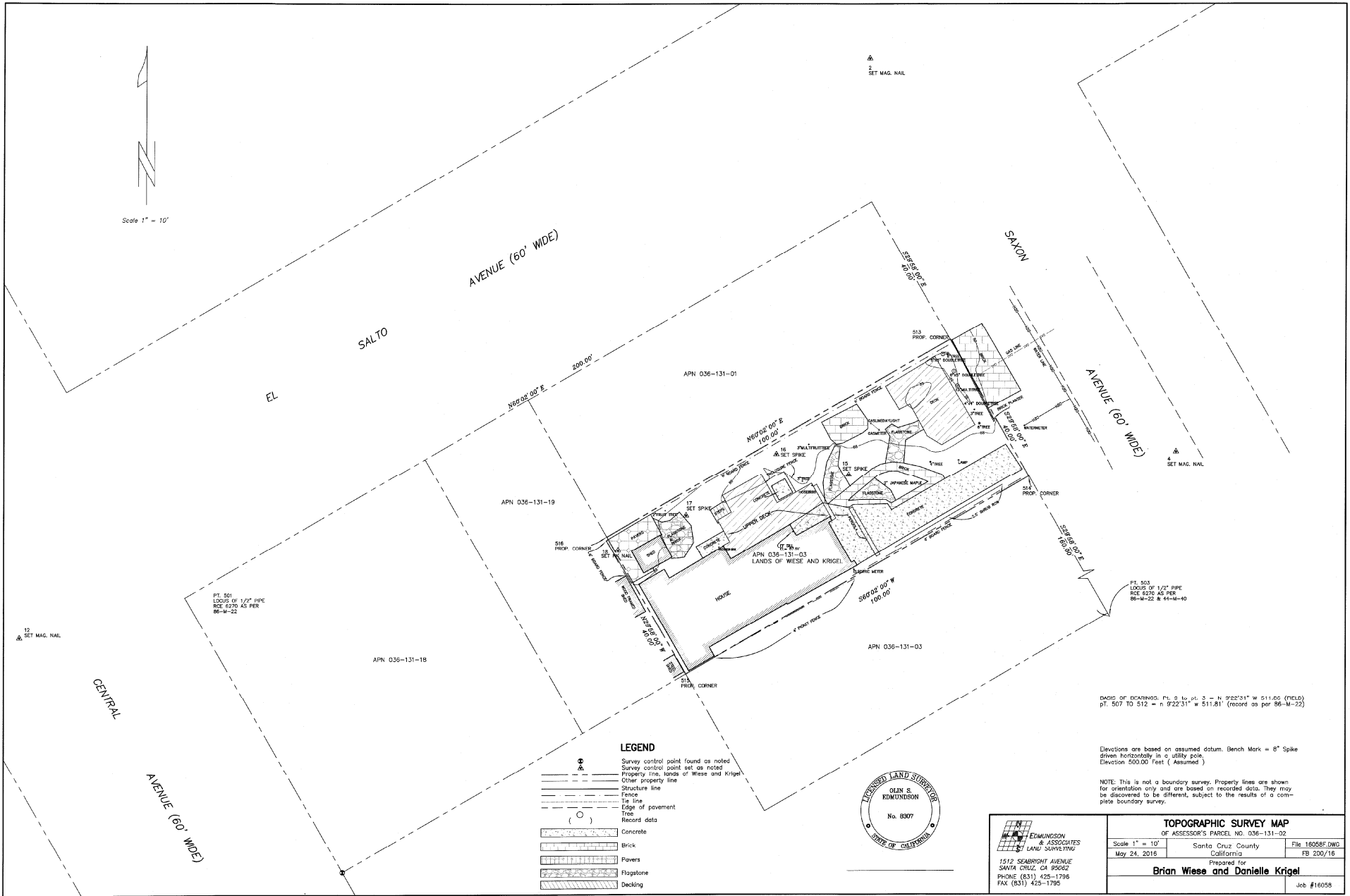
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		SCHEMATIC DESIGN
	SEPT. 20, 2016	DESIGN DEVELOPMENT
	OCT. 14, 2016	PLANNING SUBMITTAL
		BUILDING SUBMITTAL
		REVISIONS
	NOV. 15, 2016	ARC COMMENTS
	JAN. 6, 2017	PLANNING REV.

FLOOR AREA DIAGRAM

T2

Attachment: Project Plans (1738 : 115 Saxon Avenue)

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Attachment: Project Plans (1738 : 115 Saxon Avenue)

DEREK VAN ALSTINE
RESIDENTIAL DESIGN INC.
1135 SERRAPOST AVENUE SUITE 202, SANTA CRUZ, CALIFORNIA
(011) 426-8601 PHONE (011) 426-8466 FAX

DVRD
DIVERSIFIED VENTURE RESOURCES DESIGN
1200 COWBOY BLVD
ALL RIGHTS RESERVED

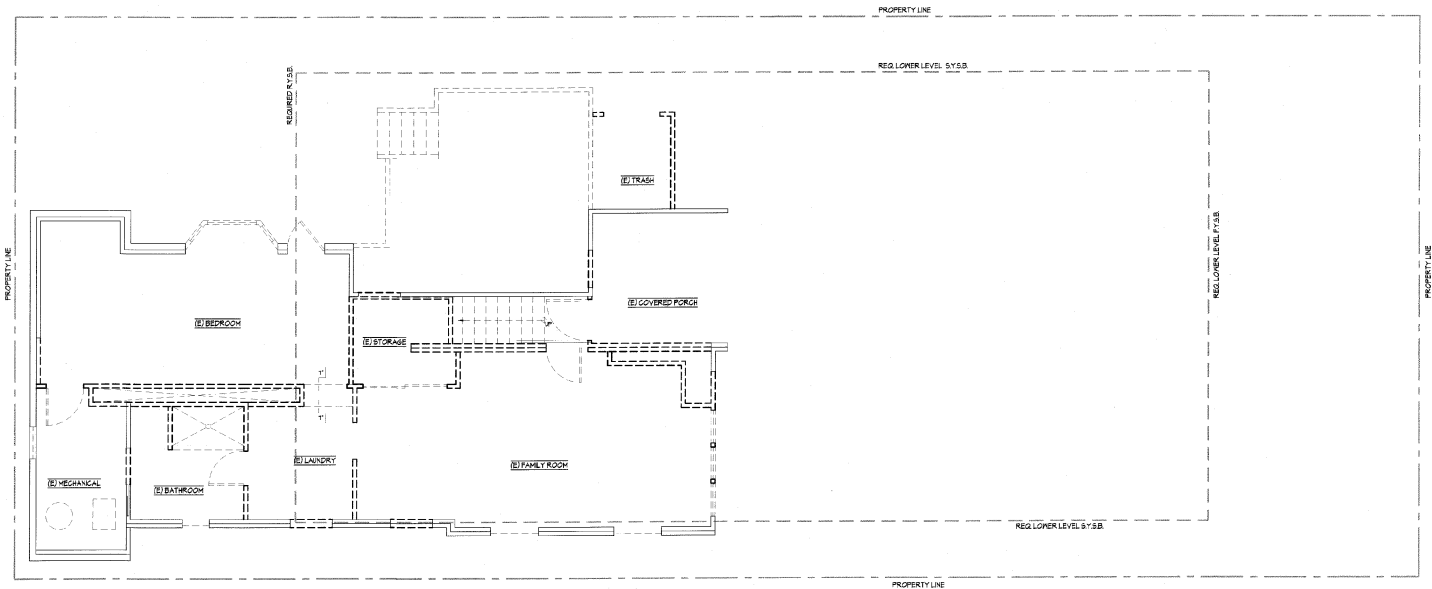
WIESE KRIGEL RESIDENCE
115 SAXON AVENUE
CAPITOLA, CA 95010

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DESIGN DEVELOPMENT	OCT. 14, 2016
PLANNING SUBMITTAL	
BUILDING SUBMITTAL	
REVISIONS	
NOV. 15, 2016	ARC COMMENTS
JAN. 6, 2017	PLANNING REV5

Attachment: Project Plans (1738 : 115 Saxon Avenue)

LOWER LEVEL DEMOLITION PLAN

A2



1 LOWER LEVEL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND

	NEW 2x4 STUD WALL
	NEW 2x4 STUD WALL
	EXISTING WALLS TO BE REMOVED
	EXISTING WALLS TO REMAIN

NOT FOR CONSTRUCTION

1/18/2017 11:44:11 AM

DEREK VAN ALSTINE
RESIDENTIAL DESIGN INC.
1155 SEABRIGHT AVENUE SUITE 202 SANTA CRUZ CALIFORNIA
(831)426-9010 PHONE (831)426-9486 FAX

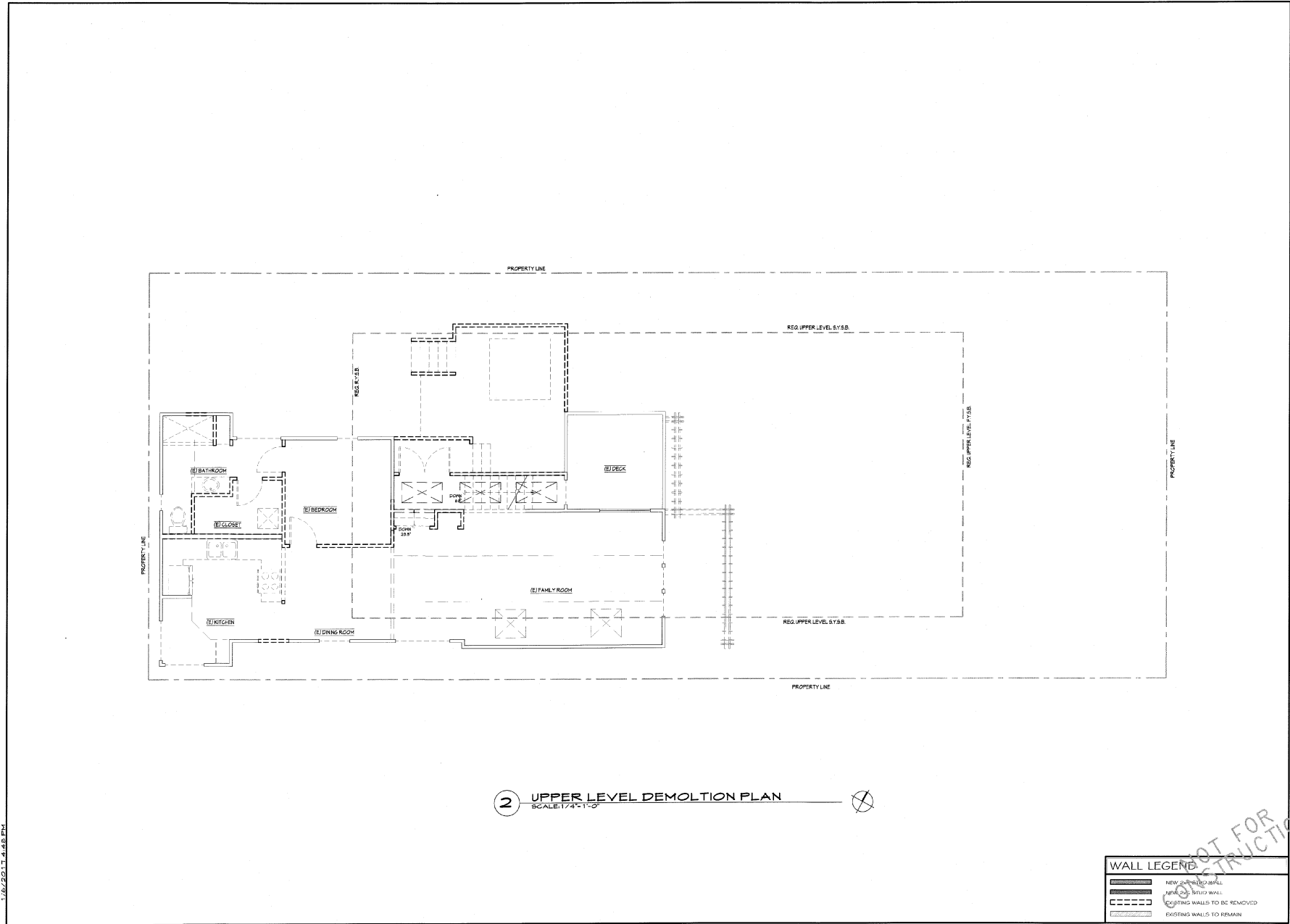
DVRD
DESIGN REVIEW BOARD
220 UNIVERSITY
ALL RIGHTS RESERVED

WIESE-KRIGEL RESIDENCE
115 SAXON AVENUE
CAPITOLA, CA 95010

DATE	DATE
ISSUE DESCRIPTION	
SCHMATIC DESIGN	SEPT. 30, 2016
DESK DEVELOPMENT	OCT. 14, 2016
PLANNING SUBMITTAL	
BUILDING SUBMITTAL	
REVISIONS	
NOV. 15, 2016	ARC COMMENTS
JAN. 6, 2017	PLANNING REFS

Attachment: Project Plans (1738 : 115 Saxon Avenue)

UPPER LEVEL DEMOLITION PLAN
FLOOR PLAN
A3



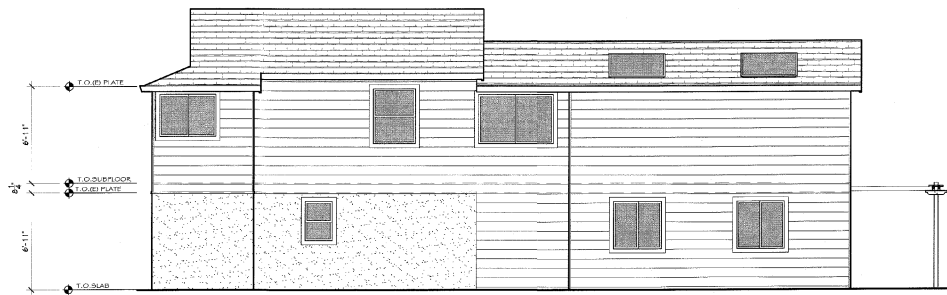
2 UPPER LEVEL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND

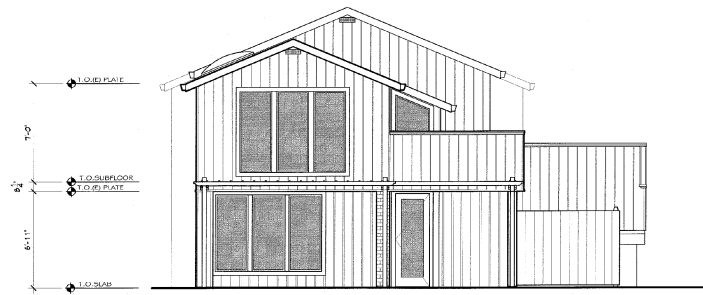
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	EXISTING WALLS TO REMAIN

NOT FOR CONSTRUCTION

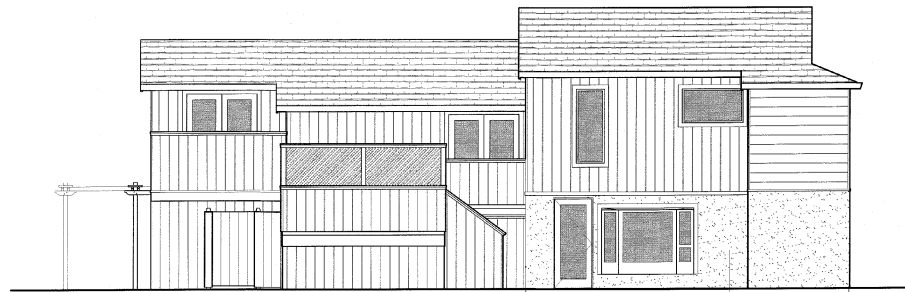
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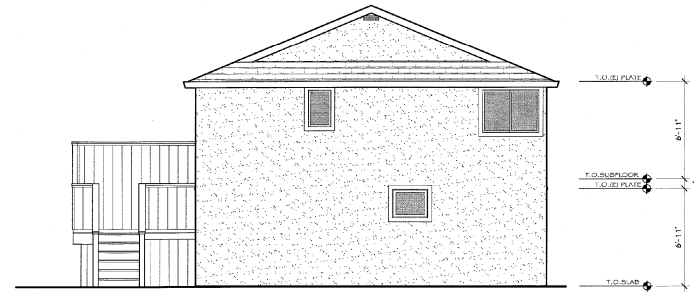
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SCALE: 1/4" = 1'-0"



1 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

DEREK VAN ALSTINE
RESIDENTIAL DESIGN INC.
1533 SHAWBURY AVENUE SUITE 202, SANTA CRUZ, CALIFORNIA
(831) 426-5400 PHONE (831) 426-5446 FAX

DVRD
DESIGN RESIDENTIAL
1533 SHAWBURY AVENUE SUITE 202, SANTA CRUZ, CALIFORNIA
(831) 426-5400 PHONE (831) 426-5446 FAX

WIESE-KRIGEL RESIDENCE
115 SAXON AVENUE
CAPITOLA, CA 95010

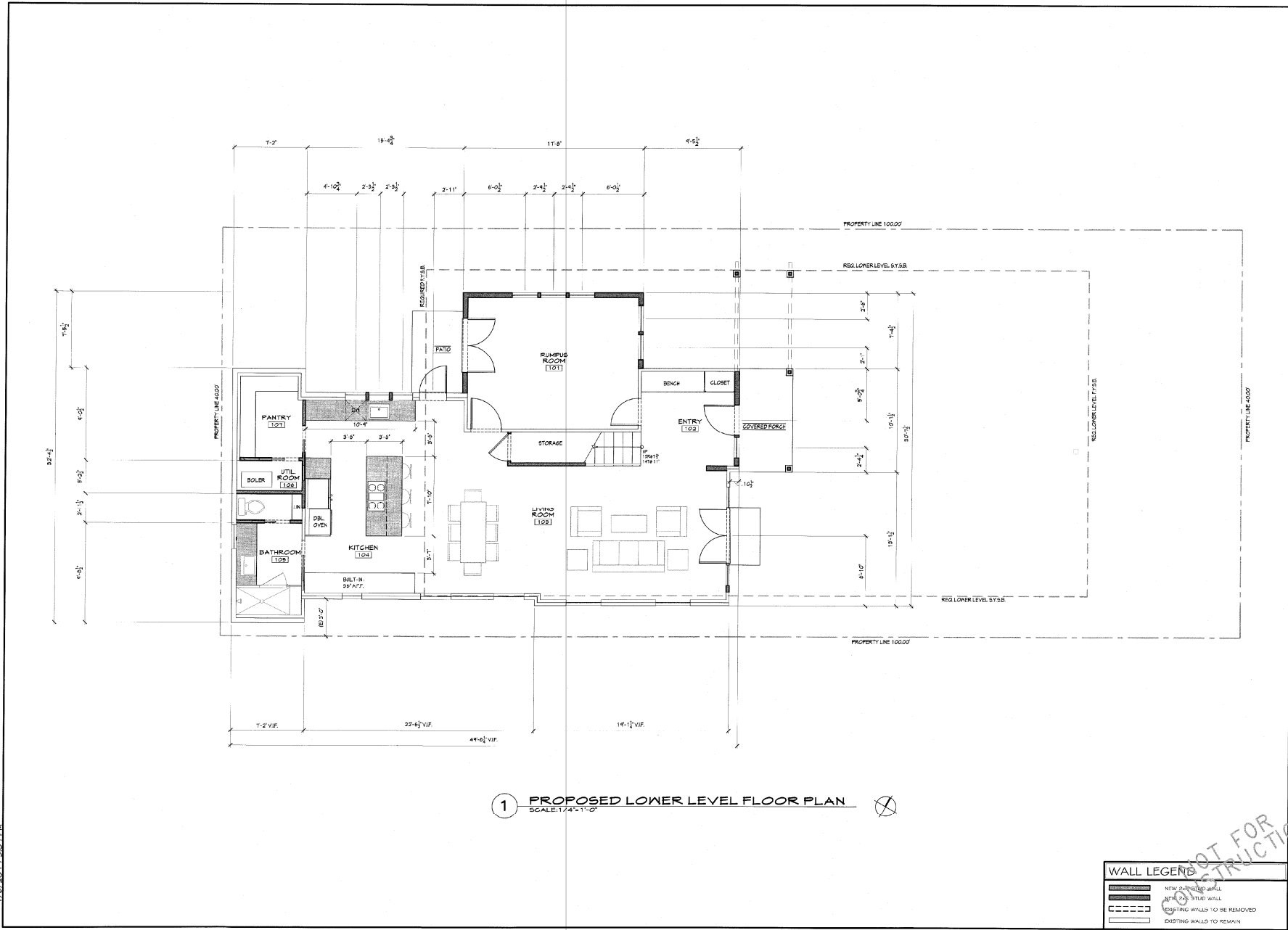
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DESIGN DEVELOPMENT	OCT. 14, 2016
PLANNING SUBMITTAL	
BUILDING SUBMITTAL	
REVISIONS	
NOV. 15, 2016	ARC COMMENT
JAN. 6, 2017	PLANNING REV

EXISTING EXTERIOR ELEVATIONS

A4

Attachment: Project Plans (1738 : 115 Saxon Avenue)

NOT FOR CONSTRUCTION



DEREK VAN ALSTINE
RESIDENTIAL DESIGN INC.
1315 SHARHIGHT AVENUE SUITE 100, SAN JOAQUIN, CALIFORNIA
(916) 268-6400 PHONE (916) 456-4465 FAX

DVRD
Derek Van Alstine Residential Design
2016 CONTRACT
ALL RIGHTS RESERVED

WIESE-KRIGEL RESIDENCE
115 SAXON AVENUE
CAPITOLA, CA 95010

DATE: 03/6/13-10/2

ISSUE DESCRIPTION
SCHEMATIC DESIGN
SEPT. 30, 2014
DESIGN DEVELOPMENT
OCT. 14, 2014
PLANNING SUBMITTAL
BUILDING SUBMITTAL
REVISIONS:
NOV. 15, 2016
ANS. COMMENTS
JAN. 6, 2017
PLANNING REVS

PROPOSED LOWER LEVEL FLOOR PLAN
A6

Attachment: Project Plans (1738 : 115 Saxon Avenue)

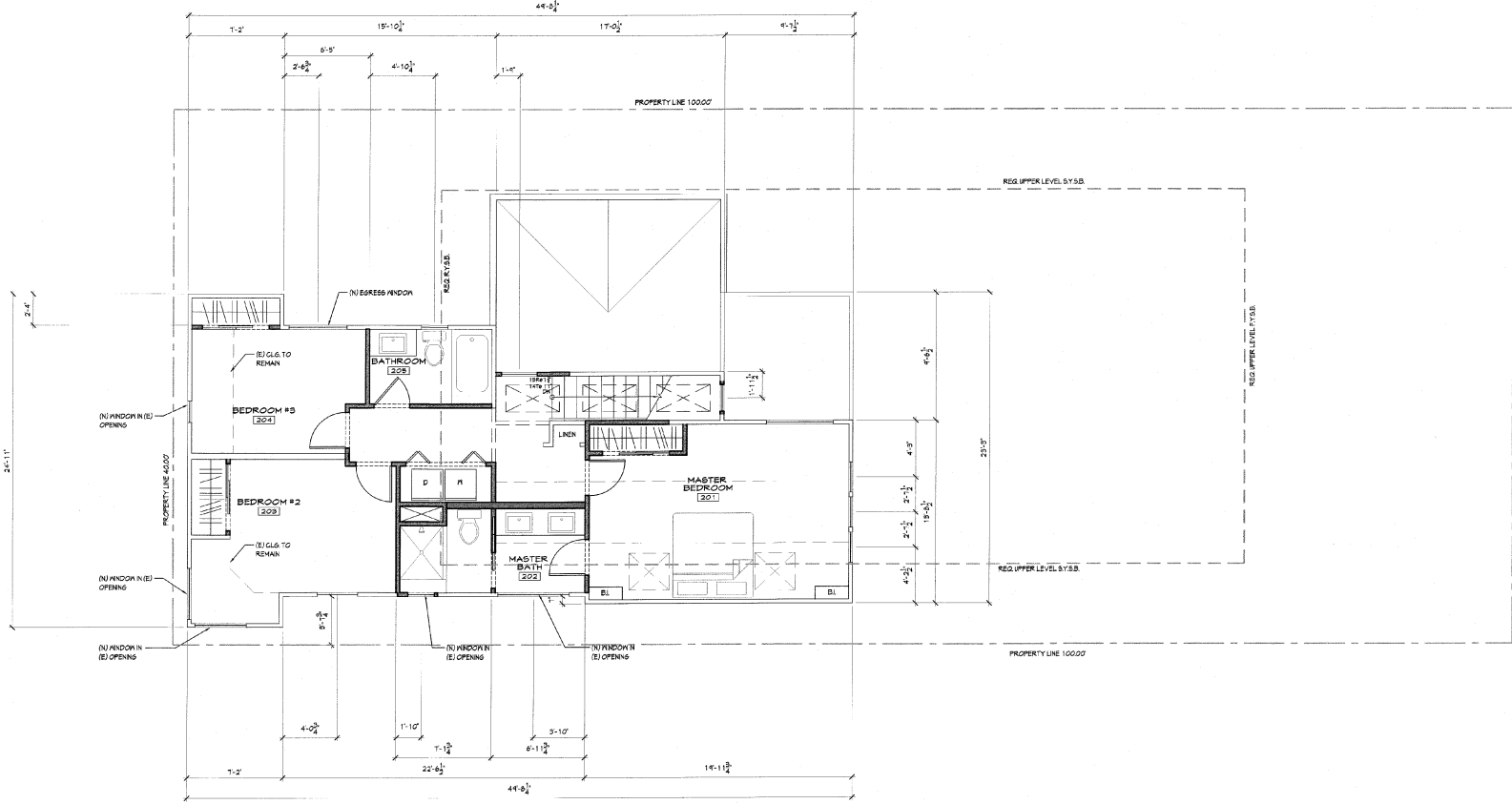
DEREK VAN ALSTINE
RESIDENTIAL DESIGN INC.
1335 SERRAPOST AVENUE SUITE 200, SANTA CRUZ, CALIFORNIA
(817) 288-8840 PHONE (817) 288-8846 FAX

DVRD
DATE: 10/15/2016
DESIGNER: [REDACTED]
PROJECT: 1738 : 115 SAXON AVENUE

WIESE-KRIGEL RESIDENCE
115 SAXON AVENUE
CAPITOLA, CA 95010

DATE:	08.13.10
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ISSUE DESCRIPTION:	DESIGN DEVELOPMENT
DATE:	OCT. 14, 2016
ISSUE DESCRIPTION:	PLANNING SUBMITTAL
DATE:	
ISSUE DESCRIPTION:	BUILDING SUBMITTAL
DATE:	
ISSUE DESCRIPTION:	REVISIONS
DATE:	NOV. 15, 2016
ISSUE DESCRIPTION:	ARC COMMENTS
DATE:	JAN. 6, 2017
ISSUE DESCRIPTION:	PLANNING REVS

Attachment: Project Plans (1738 : 115 Saxon Avenue)



1 PROPOSED UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND

[Solid line]	NEW 2" EXTERIOR WALL
[Dashed line]	NEW 2" STUD WALL
[Dotted line]	EXISTING WALLS TO BE REMOVED
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PROPOSED
UPPER LEVEL
FLOOR PLAN
A7

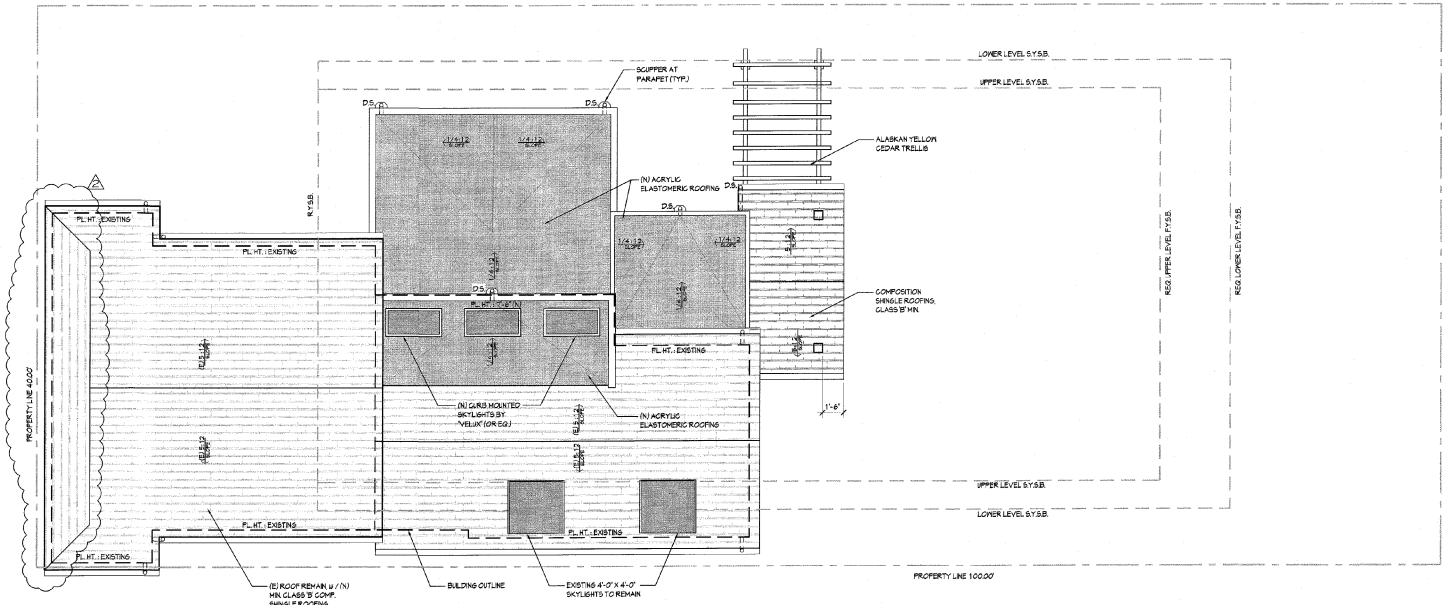
DEREK VAN ALSTINE
RESIDENTIAL DESIGN INC.
1535 SERRAPOST AVENUE SUITE 100, SANTA CRUZ, CALIFORNIA
(03) 428-4400 PHONE (03) 428-4466 FAX

DVRD
DESIGN REVIEW BOARD

WIESE-KRIGEL RESIDENCE
115 SAXON AVENUE
CAPITOLA, CA 95010

DATE	03-01-18-102
ISSUE DESCRIPTION	SCHEMATIC DESIGN
DATE	SEPT. 30, 2016
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DATE	OCT. 14, 2016
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BUILDING SUBMITTAL	
REVISIONS	NOV. 15, 2016
ARC COMMENT	
PLANNING REVS	JAN. 6, 2017

Attachment: Project Plans (1738 : 115 Saxon Avenue)



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

PROPOSED ROOF PLAN
A8

DEREK VAN ALSTINE
RESIDENTIAL DESIGN INC.
1133 SEABRIGHT AVENUE SUITE 200 SANTA CRUZ, CALIFORNIA
(817)426-8480 PHONE (817)426-8486 FAX

DVRD
DESIGN REVIEW BOARD

WIESE-KRIGEL RESIDENCE
115 SAXON AVENUE
CAPITOLA, CA 95010

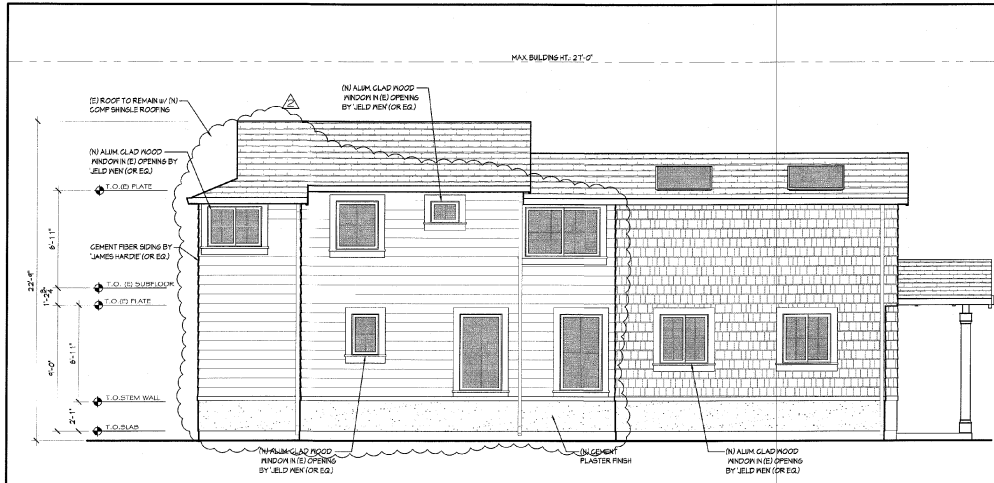
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DESIGN DEVELOPMENT	OCT. 14, 2016
PLANNING SUBMITTAL	
BUILDING SUBMITTAL	
REVISIONS	NOV. 15, 2016
ARC COMMENT	JAN. 6, 2017
PLANNING REVS	

PROPOSED EXTERIOR ELEVATIONS

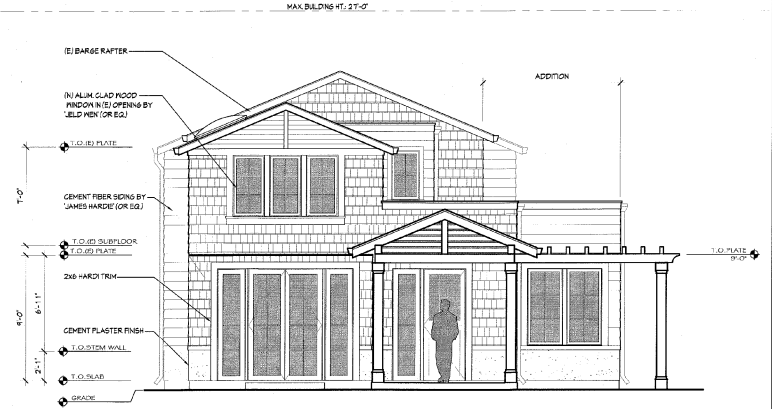
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Attachment: Project Plans (1738 : 115 Saxon Avenue)

NOT FOR CONSTRUCTION



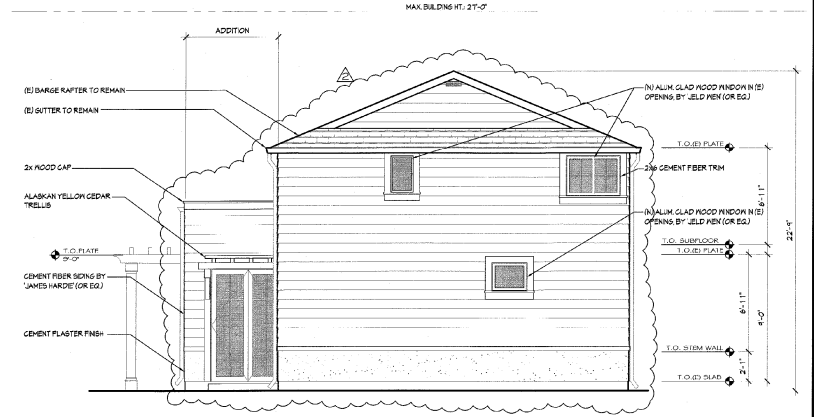
2 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

1/6/2017 11:51:11 AM

APPLICATION CONTROL SHEET

LOCATION OF CASE 115 Saxon Avenue CASE NO(S) AS/85-211
 OWNER'S NAME Ardith Porter & Beth Taylor APN 36-131-02
 MAILING ADDRESS 115 Saxon Ave, Capitola 95010 PHONE (408) 476-7185
 APPLICANT'S REPRESENTATIVE Washington-Jensen Assoc. PHONE (408) 475-4284
 MAILING ADDRESS P.O. Box 235, Capitola 95010 COASTAL ZONE -YES NO

PERTINENT FACTS _____

PLAN CHECK _____ BY: _____ APPLICATION RECEIVED _____ BY: _____
 FINAL INSPECTION _____ BY: _____ SUPPLEMENTAL DATA REQ. _____ BY: _____
 LANDSCAPE BOND _____ BY: _____ APPLICATION COMPLETE _____
 CONSULTATION WITH _____ HEARING DATES - A/S _____ P/C _____ C/C _____
 RESP. AGENCY _____ BY: _____ ARCHAEOLOGICAL RECONNAISSANCE- YES _____ NO _____
 FINAL MAP _____ BY: _____

ACTION	PUBLIC NOTICES	ARCH & SITE	PLANNING COMM.	CITY COUNCIL	COASTAL COMM.
Approved	_____	_____	_____	_____	_____
Denied	_____	_____	_____	_____	_____
Withdrawn	_____	_____	_____	_____	_____
Cont'd to	_____	_____	_____	_____	_____

REFERRED TO:	Sent:	Reply Received:
Water Dept.	_____	_____
Fire Dept.	_____	_____
Public Wrks.	_____	_____
Police Dept.	_____	_____
Bldg. Insp.	_____	_____
Soils Conserv.	_____	_____
City Attry	_____	_____
City Manager	_____	_____
P.G. & E.	_____	_____
P.T. & T.	_____	_____
Sonic Cable	_____	_____
School Dist.	_____	_____
Post Office	_____	_____
Water Qual.	_____	_____
Caltrans	_____	_____
County Plng	_____	_____
Coastal Co.	_____	_____
Owner/Rep.	_____	_____
Arch/Engineer	_____	_____
Staff	_____	_____

ENVIRONMENTAL REVIEW	
1. Application Complete _____	
2. Initial Study Completed (30 day max. from #1) _____	
3. Categorical Exemption, Class _____	
4. Determination of EIR/Neg. Declaration (45 day max. from #1) _____	
5. Notice of Preparation sent to Resp. Agencies _____	
6. <u>NEGATIVE DECLARATION</u>	7. <u>E I R</u>
Neg. Dec. Compl't (30 day max. from #4) _____	Contract signed _____
Neg. Dec. Posted Advt'd _____	Draft Compl'td. _____
Neg. Dec. Adopted (105 day max from #1) _____	(240 days of #1) _____
	Notice of Compl. sent _____
	Advt'd. Review _____
	Final Draft Cmpl't _____
	EIR Certified (1 yr from #1) _____
-8- Notice of Determination Sent _____	

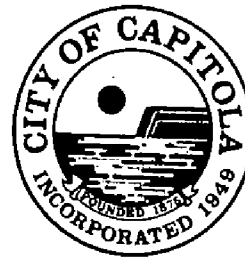
COASTAL REVIEW
 _____ Standard - Public hearing reqd.
 _____ Exempt. Class _____
 _____ Exemption filed: Date: _____ By: _____
 _____ May be appealed to Coastal Comm.
 _____ Cannot be appealed to Coastal Comm.

Attachment: 1985 Design Permit Property Record (1738 : 115 Saxon Avenue)

CITY OF CAPITOLA

420 CAPITOLA AVE.
CAPITOLA, CA 95010
(408) 475-7300

**CAPITOLA PLANNING
COMMISSION
SPEED LETTER**



DATE: 11-27-85

TO:

Washington & Jensen & Associates
P.O. Box 235
Capitola, CA 95010

Re: Application 0AS/85-211

IS BEING PLACED ON THE PLANNING COMMISSION AGENDA FOR DECEMBER 5TH, 1985

Planning Commission meetings are held in the City Hall Council Chambers, 420 Capitola Ave., Capitola, California. The meeting starts at 7:00 P.M. If you have any questions or require additional information, please feel free to call 475-7300.

ANOTHER COPY OF THIS FORM WILL BE SENT TO YOU AFTER THE MEETING INDICATING THE PLANNING COMMISSION'S ACTION

DATE: 12-10-85

The above matter was presented to the Planning Commission on DECEMBER 5TH, 1985 and was:

Filed for Public Record ^{*}Approved Denied Deferred to Planning Commission Meeting of

Referred to:

- For Action in Accordance with your Request
- For Report and Further Consideration by the Planning Commission
- For Further Processing
- Copy of Action Enclosed

^{*}Approved subject to the following condition: 1. A standard deed restriction shall be entered into by Applicant to specify that this property is in the R-1 District (Single Family Residential) and is not suitable for multi-family living.

BARBARA O'CONNELL

PLANNING SECRETARY

SEND BLUE COPY TO SENDER UPON RECEIPT OF COMMUNICATION. SEND WHITE COPY AFTER COUNCIL MEETING; CANARY SENT ONLY IF ACTION WAS DEFERRED AND AFTER FINAL ACTION; FILE PINK COPY.

Attachment: 1985 Design Permit Property Record (1738 : 115 Saxon Avenue)

S T A F F R E P O R T

MEETING OF 12/5/85
 APPLICATION #AS/85-211
 APPLICANTS NAME: WASHINGTON & JENSEN & ASSOC OWNER: ARDITH PORTER
 SITE: 115 SAXON AVENUE APN 36-131-02
 GENERAL PLAN DESIGNATION: RESIDENTIAL ZONING: R-1
 ENVIRONMENTAL STATUS: CATEGORICALLY EXEMPT
 APPLICATION FOR: ARCH & SITE REVIEW TO BRING NON-CONFORMING USE INTO
CONFORMANCE WITH THE ZONING ORDINANCE

DISCUSSION:

This application does not involve any exterior modification, however, requires Arch & Site Review for change in use. The unit was illegally converted to two units prior to the present owners purchase. This application brings the residence back into conformance by the elimination of the second kitchen and the illegal garage conversion.

STAFF RECOMMENDATION:

Approve with the condition that the unit shall be a single family residence with one kitchen.

STAFF REPORT

MEETING OF 12/5/85

APPLICATION #AS/85-211

APPLICANTS NAME: WASHINGTON & JENSEN & ASSOC

OWNER: ARDITH PORTER

SITE: 115 SAXON AVENUE

APN 36-131-02

GENERAL PLAN DESIGNATION: RESIDENTIAL

ZONING: R-1

ENVIRONMENTAL STATUS: CATEGORICALLY EXEMPT

APPLICATION FOR: ARCH & SITE REVIEW TO BRING NON-CONFORMING USE INTO CONFORMANCE WITH THE ZONING ORDINANCE

DISCUSSION:

This application does not involve any exterior modification, however, requires Arch & Site Review for change in use. The unit was illegally converted to two units prior to the present owners purchase. This application brings the residence back into conformance by the elimination of the second kitchen and the illegal garage conversion.

STAFF RECOMMENDATION:

Approve with the condition that the unit shall be a single family residence with one kitchen.

Cond.
① Before a building permit is issued a deed restriction shall be recorded stating that this is a single family structure.

*Approved
of 3-1*

Attachment: 1985 Design Permit Property Record (1738 : 115 Saxon Avenue)

APPLICATION FOR: FILL OUT SECTION FEES

DEPARTMENT OF PLANNING



CITY OF CAPITOLA
420 CAPITOLA AVENUE
CAPITOLA, CA 95010
(408) 475-7300

Arch & Site Permit	1,2,3	\$ 50 ⁰⁰
Use Permit	1,2,3	
Variance	1,2,3,8	
Zoning Change	1,6	
Signs	1,2,9	
Fence Permit	1, 10	
Landmark Alteration	1,2,3,5	
Grading Information	1,4	
Relocation Permit	1,2,7	
Coastal Permit	11	
Environmental Questionnaire		
Archaeological Reconnaissance		
TOTAL FEE		50 ⁰⁰

ENVIRONMENTAL ASSESSMENT

Phase I - Exempt

- () No Significant Impact () Emergency Exclusion
() Categorically Exempt () Administrative Exclusion

Phase II - Not Exempt

- () Will require Phase II Questionnaire

Date: _____ By: _____

Administrative Use Only

APPLICATION # AS/85-211

DATE 11/25/85

Taken By: SCR

PLEASE PRINT OR TYPE

1 ADDRESS OF PROJECT 115 Saxon Avenue
ASSESSOR'S PARCEL NO. 36-131-02 ZONE R-1 COASTAL ZONE _____
DESCRIPTION OF PROJECT Partial remodel of existing residence

"I hereby state that the foregoing statements and all data, information and evidence submitted herewith in all respects, to the best of my knowledge and belief, true and correct. I further certify that I will comply with the permit if it is granted and used."

PROPERTY OWNER Ardith Porter & Beth Taylor REPRESENTATIVE Chuck Roberts, Architect
MAILING ADDRESS 115 Saxon Avenue MAILING ADDRESS WASHINGTON, JENSEN & ASSOCIATES
Capitola, CA P.O. BOX 235
ZIP 95010 ZIP CAPITOLA
TELEPHONE (408) 476-7185 TELEPHONE (408) CALIFORNIA 95010 475-4284

SIGNATURE Ardith A. Porter SIGNATURE Charles Roberts

Any decision made on this proposal can be appealed within ten (10) calendar days of the date of the action.

APPLICATION DATA

2 LOT SIZE (Dimensions) 40' X 100' NO CHANGES IN EXIST. AREAS
TOTAL LAND AREA 4,000 SQ.FT. TOTAL FLOOR AREA 1,910 SQ.FT.
HEIGHT OF BUILDINGS: Stories 2 Feet 22 PROPOSED FLOOR AREA 1,910 SQ.FT.
(Principal) 2 22 BUILDING COVERAGE 970 SQ.FT.
(Accessory) N.A. N.A. PAVED IMPERVIOUS AREA 850 SQ.FT.
OF OFF-STREET PARKING SPACES 3

USABLE OPEN SPACE PER FAMILY UNIT 2,500 SQ.FT. (See Sec.17.18.160 for Definition)

Attachment: 1985 Design Permit Property Record (1738 : 115 Saxon Avenue)

PLAN SPECIFICATIONS

3

WITH EACH APPLICATION, INCLUDE SEVEN (7) COMPLETE COPIES OF THE SITE AND BUILDING PLANS INDICATING THE FOLLOWING INFORMATION AND DATA. ALL PLANS SHALL BE PREPARED TO SCALE.

- 1) Name of the person or firm preparing the plans, for whom drawn, and the date.
- 2) North point; the top of the paper is usually north.
- 3) Scale: usually 1/8"=1', or 1"=20' site plan; and 1/4"=1' for building plans.
- 4) Site plan is to include:
 - a) Dimensions of the lot.
 - b) Building locations and their relationship to each other and the lot lines.
 - c) Locations of all existing features; buildings, trees, etc..
 - d) Parking, drives, entrances, and all paved areas for auto, pedestrian, and bicycle circulation.
 - e) Topography, existing and proposed - REQUIRED on all slopes over 10% - All topographic maps must be prepared by a registered civil engineer, licensed surveyor, or other licensed professional.
 - f) Drainage and erosion control plan - provide specifications.
- 5) Landscaping; list size, type, and number of plants, include irrigation system.
- 6) Signs and graphics.
- 7) Elevations: all four (4) sides, to scale and dimensioned, showing stairs, ramps, elevators, down spouts, flues, fans, and roof equipment (including solar panels).
- 8) Screening of mechanical equipment and trash and utility facilities.
- 9) Materials; i.e., texture, color, finish of fencing, walls, roof, balcony, etc.
- 10) Any other information which will indicate the character of the design as well as its aesthetics, effect, and compatibility with neighboring properties and uses.
- 11) A statement of energy-conserving features proposed for the project. Such features may include, but are not limited to, use of solar panels for domestic hot water or space heating, passive solar building design, insulation beyond that required under State law, insulated windows, or solar shading devices.

The applicant shall be responsible for the completeness and accuracy of all forms and supporting material submitted in connection with any application.

GRADING INFORMATION

4

TWO (2) SETS OF GRADING PLANS SHALL BE SUBMITTED, CONTAINING THE FOLLOWING INFORMATION:

- 1) Scale - drawings shall be at a scale of 1" = 100' or less, such as 1" = 50'.
- 2) Contour Interval - The contour interval shall be two (2) feet for slopes up to 20% and five (5) feet for slopes over 20%.
- 3) Indication of Cut and Fill - Cuts will be indicated on two prints with a light red shading surrounded by a black line. Fills will be indicated with a light blue shading surrounded by a black line. Location of borrow pit and disposal site shall be clearly shown.
- 4) Contours - The existing contours, prior to any proposed regrading, will be shown by means of a broken line. Proposed new grading will be shown by means of a solid contour line.
- 5) Drainage - Changes in direction or concentrations which may involve adjacent properties will be clearly indicated along with the manner of collection where pads or flat spaces are shown; arrows will be applied showing the direction of drainage flow.
- 6) Cross section - typical cross sections will be shown on the principal sheet or on an attached sheet. Such cross sections should show clearly, for typical areas, the existing slopes and, with crosshatching, the new slopes.

LANDMARK ALTERATIONS

5

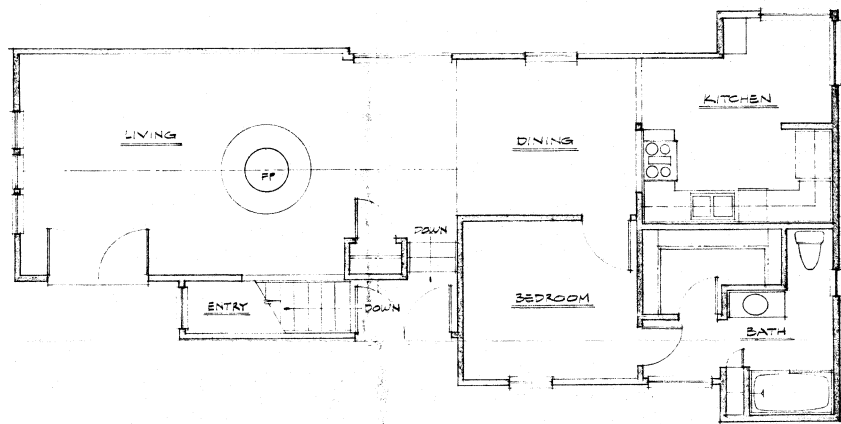
1) Proposed work, i.e., demolition, addition, remodeling, etc. : _____

2) Condition of structure: _____

3) Justification of work: _____

4) Other Information: _____

5) Photos (must be submitted with application and site plan). _____



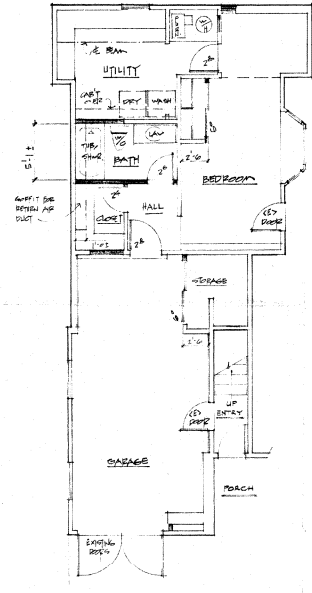
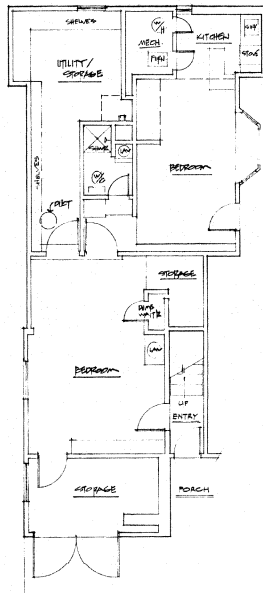
LEVEL 2 FLOOR PLAN
 1/4" = 1'-0" 1940 #

NOTE: PLAN SHOWN IS EXISTING: NO CONSTRUCTION WILL BE DONE AT LEVEL 2.



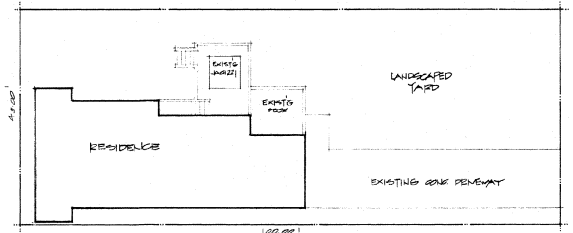
	LEVEL 2 FLOOR PLAN		PORTER - TAYLOR RESIDENCE 115 SAXON AVENUE CAPITOLA, CALIFORNIA A.P. N° 30-131-02	WASHINGTON & JENSEN DESIGNING & CONSULTING CIVIL & STRUCTURAL ENGINEERS 4590 Garnet Street - (P.O. Box 239) Capitola, California 95010 Phone (408) 475-4284	APPROVED <i>Charles Taylor</i> BY GED. WASHINGTON C. E. 5039 STRUCTURAL 489 CARL MARVIN JENSEN C. E. 19,803
	SCALE: 1/4" = 1'-0"	DATE: 11-19-85			
	DRAWN BY: <i>CK</i>	JOB NO. 85172			

Attachment: 1985 Design Permit Property Record (1738 : 115 Saxon Avenue)



LEGEND

(Symbol)	New wall
(Symbol)	Existing wall
(Symbol)	Existing



#AS/85-211
XX

WASHINGTON JENSEN & ASSOCIATES
Architects - Engineers - Planners
115 SAXON AVE. CARLETON, CALIFORNIA 94501
Tel: 925/255-8888 Fax: 925/255-8889

RENOVEL KITCHEN & BATH
115 SAXON AVE. CARLETON, CALIFORNIA 94501
DATE: 08/21/85 DRAWN BY: [Signature]

2

Attachment: 1985 Design Permit Property Record (1738 : 115 Saxon Avenue)

115 Saxon Ave

CONSTRUCTION COST BREAKDOWN PER Section 17.72.070

Existing Building Costs:

Existing residence:	1,836 square feet	
	@ \$200.00/square foot	\$367,200.00
Existing deck:	410 square feet	
	@ \$25.00/square foot	\$10,250.00
Total Existing Value:		\$377,450.00
80% of Total Existing Value		\$301,960.00

New Construction Costs:

New living space:	324 square feet	
	@ \$200.00/square foot	\$64,800.00
New porch:	50 square feet	
	@ \$25.00/square foot	\$1,250.00

Remodel Costs:

Interior Remodel of Existing Residence:	1,843 square feet	
	@ \$100.00/square foot	\$184,300.00

Total Construction/Remodel Cost: \$250,350.00 (66%)

Attachment: Non-conforming Construction Cost Breakdown (1738 : 115 Saxon Avenue)



STAFF REPORT

TO: PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT

DATE: FEBRUARY 2, 2017

SUBJECT: **Zoning Code Update All Properties within Capitola**

Continuation of Comprehensive Update to the City of Capitola Zoning Code (Municipal Code Chapter 17).

The Zoning Code serves as the Implementation Plan of the City's Local Coastal Program and therefore must be certified by the Coastal Commission.

Environmental Determination: Addendum to the General Plan Update EIR
 Property: The Zoning Code update affects all properties within the City of Capitola.

Representative: Katie Cattan, Senior Planner, City of Capitola

BACKGROUND: On January 9, 2017, an updated draft zoning code and zoning map was published which incorporates all edits received from the Planning Commission and City Council during 2016. The Planning Commission edits that were accepted by the City Council have been incorporated into the draft zoning code in black. The City Council recommended revisions are shown in red. The draft code also includes revisions made by City staff to improve clarity and non-policy revisions requested by Coastal Commission staff. Staff revisions are shown in blue. The draft code, zoning map, and previous staff reports with attachments are available online at: <http://www.cityofcapitola.org/communitydevelopment/page/zoning-code-update>. Hardcopies of the draft code are available to the public at City Hall and the Capitola Library.

DISCUSSION: Staff compiled the *Remaining Zoning Code Issues* report that highlights nine remaining zoning code issues that must be addressed prior to adoption (Attachment 1). The first item, the Zoning Map and Vacation Rental (VR) Overlay boundary, will be the focus of the February 2, 2017 meeting. The report includes an overview of the zoning map changes made by the Planning Commission and City Council and a table that identifies the proposed modifications to the zoning map.

During the 2016 review, the Planning Commission recommended expanding Vacation Rental overlay along Capitola Avenue to Riverview Avenue, excluding the commercial property at 401 Capitola Avenue and the Fire Station. At the time of City Council review, additional public comment was received requesting that the zone be further expanded to include 501 Beulah (Attachment 3) and all properties along Capitola Avenue to Bay Avenue. The City Council directed staff to present the requests to the Planning Commission for a recommendation prior to their consideration.

Additional maps/areas referenced within the draft code include: Environmentally Sensitive Areas map, the Geologic Hazards map, the Archaeological/Paleontological Sensitivity Areas shown in the Local Coastal Program Resource Map, and the Coastal Appeal and Jurisdiction Map. These additional maps have been digitized and are included as attachments. It should be noted that Coastal Commission staff have indicated that they will not endorse or certify the City's version of the Coastal Appeal and Jurisdiction Map and would consider the map to be an unofficial illustration. The new map is a digitized copy of the 1991 Coastal Commission certified map boundaries. Coastal staff explained that they plan to update the Coastal Appeal and Jurisdiction Map with the best resources available during their review of the updated Implementation Plan and reiterated that the boundary could change based on new information. A disclaimer is on the new map was provided by Coastal staff to clarify their position.

Next steps

The Planning Commission will begin discussion on issues two through nine during their special meeting on February 16, 2017. The current draft zoning code will remain available for public review and comment until a final draft is prepared and released for public review. In accordance with City Council direction, the final draft code will be available for a 60-day public review and comment period prior to initiation of adoption hearings.

CEQA: An Addendum to the General Plan Update Environmental Impact Report (EIR) has been prepared and will be included in the packet during final recommendation to City Council.

RECOMMENDATION: Accept the staff presentation, provide direction on the draft zoning map, associated resource maps, and vacation rental overlay, and continue the public hearing to February 16, 2017 special meeting.

ATTACHMENTS:

1. Remaining Zoning Code Issues
2. Zoning Map_8.5x11_Updated011117
3. Letter from 502 Beulah Drive
4. Environmentally Sensitive Areas Map_Updated011117
5. Geologic Hazard Map_Updated011117
6. Coastal Map_Without Permit Jurisdiction_Updated011117
7. Archaeological Sensitivity Map
8. Staff Revisions to Draft Zoning Code

Prepared By: Katie Herlihy
Senior Planner

Remaining Zoning Code Issues

For January 9, 2017 Draft



On January 9, 2017, Capitola published an updated draft zoning map and draft zoning code that incorporated all Planning Commission and City Council recommendations made in 2016. Staff identified 9 remaining issues for discussion that are summarized within this document.

Remaining Zoning Code Issues | 2017

Topic 1: Zoning Map and TRO Boundary

Overview: The zoning map has been updated to be consistent with the General Plan Land Use Map, reflect existing land uses, and to correct errors within the existing map. Zoning Districts have been updated to match those in the new zoning code. New changes that took place during the Planning Commission and City Council review of the draft map include:

- The Visitor Server zone is now solely an overlay zone with the base zone removed. The map in figure 17.28-1 has been updated to reflect this change. Each property in the VS overlay has a base zone (CC, R-1, etc.) with a green hatch for the VS overlay.
- The TRO boundary was expanded along Capitola Avenue to Riverview Avenue. Additional requests were made by a member of the public to include properties along Capitola Avenue to Bay Avenue and to consider the property at 502 Beulah Drive. **Discussion Requested.**

Staff has identified the proposed modifications to the zoning map in the table below. **Staff is requesting direction on the draft zoning map.**

Zoning Map Changes from Existing Zoning Map to Draft October 6, 2016 Zoning Map

	Location	Existing Zoning	New Zoning	Comments
1	Entire Map	Automatic Review		Removed AR
2	Capitola Road between 41 st and Wharf	Community Residential (CR)	Mixed Use Neighborhood (MU-N)	Removed CR, CN, and PO zones.
3		Neighborhood Commercial (CN) & Professional Office (PO)	Community Commercial (CC)	
4	41 st Avenue north of Capitola Road, Clares Street and Autoplaza Drive	Community Commercial (CC)	Regional Commercial (C-R)	General Plan implementation
5	3945 Melton Street	Single-Family (R-1)	Community Commercial (CC)	Informed owner. Supports change
6	519 Capitola Avenue	Single-Family (R-1)	MU-N	Informed owner. Supports change
7	822 Kennedy Drive parcel behind church	P/OS	Single-Family (R-1)	Developed within CUP
8	4800 and 4820 Opal Cliff	Single-Family (R-1)	RM-M	Annexed in 1963 as multi family.
9	3865, 3883, 3895 Brommer Street	Community Commercial (CC)	RM-M	Request from residents to be rezoned.
10	Parcels behind 2078 Wharf Road (Riverview of Capitola Condos)	AR/RM-LM	P/OS	Open Space behind condos.
11	Rispin on Wharf Road	AR/VS/R	VS/P/OS	Previously approved PD never developed.

Remaining Zoning Code Issues | 2017

12	620 El Salto	VS	R-1 with VS Overlay	Monarch Cove Inn
13	720 El Salto	VS/R-1	Single-Family (R-1)	Removed VS overlay
14	709 Escalona Drive	VS/R-1	Single-Family (R-1)	Removed VS overlay
15	1465 38 th Avenue extending to Capitola Road nad 3720 Capitola Road to 38 th Avenue	Neighborhood Commercial (CN)	Community Commercial (CC)	General Plan Implementation
16	720 Hill Street – hotel	Multi-family Medium Density (RM-M)	Community Commercial (CC) with AH overlay	Identified as AH site in housing element
17	502 Beulah	Mobile Home (MH)	Single-Family (R-1)	General Plan Implementation
18	405 and 407 Capitola Avenue and 410 Riverview	Neighborhood Commercial (CN)	Community Facility (CF)	Fire Station
19	1911 42 nd Avenue	Multi-family Medium Density (RM-M)	Planned Development (PD)	Pearson Ct. Established PD
20	Two parcels in the park at the end of Riverview Drive	Public Facilities (PF)	Public Open Space (P/OS)	Open Space
21	719 Capitola Ave – just north of Bay	Multi-Family Medium Density (RM-M)	Mixed Use Neighborhood (MU-N)	Existing Commercial Donut Station
22	500 Plum Street	Professional Office (PO)	Mixed Use Neighborhood (MU-N)	Removed PO zone.
23	City Owned Parcel behind 401 Monterey Avenue (Noble Gulch Park)	Multi-family Low Density (RM-LM)	Public Open Space (P/OS)	Open Space
24	401 Monterey Avenue	Multi-family Low Density (RM-LM)	Single Family (R-1)	Existing Single-Family home. Lot size does not meet minimum site area per dwelling for more than one unit.
25	3640 Capitola Road	Public Facilities (PF)	Community Commercial (CC)	Privately owned utility.
26	250 Monterey (Inn at Depot Hill)	Visitor Serving (VS)	Single-Family (R-1) V/S overlay	All VS is overlay

Topic 2: Height Exceptions in the Mixed Use Village (MU-V)**Section 17.20.030:** Height Exceptions in the Mixed Use Village.

Page: 20-5

MU-V zone height: 27 Feet

Overview: City Council recommended changes to the height exception to allow up to 30 feet with a maximum plate height of 26 feet and no habitable space above the plate line. The ongoing monitoring of interior habitable space would be challenging to enforce. During the City Council discussions, the understood purpose for prohibiting habitable space was to prevent breaks within the roof slope with habitable space design features, such as dormers.

Staff recommends combining Height Exceptions 1 & 3 to identify one height exception limit (30 or 33 ft), require a minimum 5:12 roof pitch to qualify for a height exception, and replace prohibition of habitable space with a prohibition on breaks in the roof slope. **Staff is requesting direction on height exceptions in the central village.**

Planning Commission Recommendation:

- B. ~~MU-V~~ Height Exceptions.** The following exceptions are permitted to the maximum permitted height in the MU-V zoning district as shown in Table 17.20-2:
1. Up to 30 feet for habitable space with a roof pitch of at least 5/12. See Figure 17.20-1.
 2. Projections for non-habitable decorative features and structures as allowed by Section 17.48.030.C

City Council Recommendation:

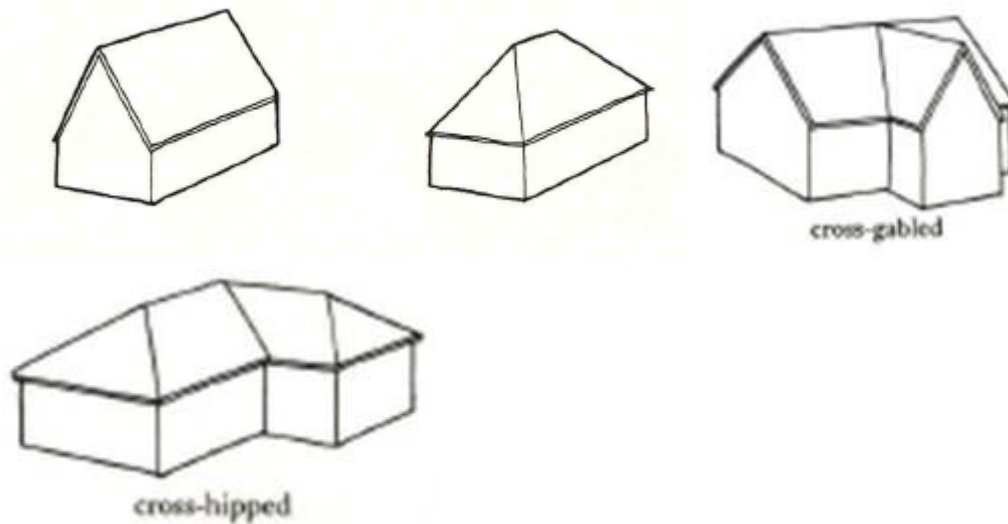
- B. Height Exceptions.** The following exceptions are permitted to the maximum permitted height in the MU-V zoning district as shown in Table 17.20-2:
1. Up to 30 feet for a structure with a minimum 5:12 roof pitch. See Figure 17.20-1.
~~Up to 30 feet for habitable space with a roof pitch of at least 5/12. See Figure 17.20-1.~~
 2. Projections for non-habitable decorative features and structures as allowed by Section 17.48.030.C. ~~Projections for non-habitable decorative features and structures as allowed by Section 17.48.030.C~~
 - 2-3. Up to 33 feet for pitched roof with a maximum plate height of 26 feet and no habitable space above the plate line.

Staff Recommended Amendment:

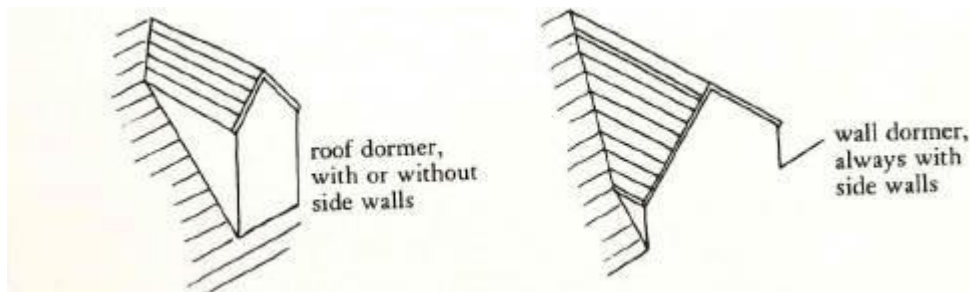
Height Exceptions: The following exceptions are permitted to the maximum permitted height in the MU-V zoning district as shown in Table 17.20-2:

1. Up to 33 feet for gabled or hipped roof with a minimum 5:12 roof pitch and a maximum plate height of 26 feet. There shall be no breaks in the roof slopes for dormers, windows, doors, and decks."
2. Projections for non-habitable decorative features and structures as allowed by Section 17.48.020.C.

Allowable pitched roof designs:



Prohibited within roof slope:



Topic 3: Zone Height Exceptions and City Wide Height Exceptions

Mixed Use Village Height Exceptions

Section: 17.20.030

Page: 20-5

City-Wide Height Exceptions

Section: 17.48.020.B

Page: 48-2

Overview: As discussed in topic 1, there are height exceptions for specific scenarios within the Mixed Use Village. There are also City-wide height exceptions identified in Table 17.48-1 on page 48-2. During the discussion on mixed use village height exceptions, it was not discussed whether or not the city wide exceptions were intended to be in addition to the exceptions to zone height. Staff added a clarifying statement to 17.48.020.B to specify that the city-wide exceptions may not be combined with increased height allowance allowed within specific zoning districts as specified in Part 2. **Staff is requesting feedback on the edit to ensure the edit reflects the intent of the Planning Commission.**

B. Height Exceptions. Buildings may exceed the maximum permitted height in the applicable zoning district as shown in Table 17.48-1. These exceptions are measured from the maximum permitted zoning district height. They are not measured from the increased height allowed within specific zoning districts as specified in Part 2 (Zoning Districts and Overlay Zones).

Note: Height exceptions in Table 17.48-1 below add detail to height exceptions in Section 17.81.070 of the existing Zoning Code.

TABLE 17.48-1: ALLOWED PROJECTIONS ABOVE HEIGHT LIMITS

Structures Allowed Above Height Limit	Maximum Coverage	Maximum Projection Above Height Limit
Non-habitable decorative features including spires, belfries, cupolas, domes and other similar architectural elements	10% of roof area	3 ft. in the R-1 zoning district; 6 ft. elsewhere
Skylights	20% of roof area	1 ft.
Chimneys not over 6 feet in width	10% of roof area	3 ft. in R-1 zoning district; 6 ft. elsewhere
Flagpoles not over 8 inches in diameter	N/A	3 ft. in R-1 zoning district; 6 ft. elsewhere
Photovoltaic panels and thermal recovery systems	No restriction	4 ft.
Wind energy systems	No restriction	40 ft.
Building mounted telecommunications facilities	See Chapter 17.104	

Remaining Zoning Code Issues | 2017

Topic 4: Land-Use Changes in the Regional Commercial District

Section: 17.24.020

Page: 24-2

Overview: The City Council requested three significant changes be made to this table. First, the City Council requested that single-family dwellings be added to identify that they are prohibited. Second, the Council directed staff to prohibit multi-family dwellings in the regional commercial zone. Lastly, within a residential mixed use development in the regional commercial zone, the Council prohibited residential uses on the first story. The last two changes significant changes that will require all residential development to have commercial on the first story within the regional commercial zoning district. **Staff is requesting feedback on the change to ensure the draft code reflects direction requested.**

Planning Commission Recommendation:

Key	Zoning District			Additional Requirements
	C-C	C-R	I	
P Permitted Use				
A Administrative Permit required				
M Minor Use Permit required				
C Conditional Use Permit required				
- Use not allowed				
Residential Uses				
Multi-Family Dwellings	C	C [5]	-	
Residential Mixed Use	C	C	-	17.24.040+40

[5] Permitted only on a mixed use site with the residential use secondary to the primary commercial uses on the site. Residential uses on the site are limited to less than 50 percent of the floor area of buildings on the site. Residential uses shall be located and designed to maintain a primarily commercial character and function on the site.

City Council Recommendation:

Residential Uses				
<u>Single-Family Dwellings</u>	=	=	=	
Multi-Family Dwellings	C	C [5]	-	
Residential Mixed Use	C	C [7]	-	Section 17.24.040

[7] Residential uses are prohibited on the first story.

Attachment: Remaining Zoning Code Issues (1732 : Zoning Code Update)

Topic 5: Office Uses in the Regional Commercial Zoning District**Table:** 17.24-2**Page:** 24-4

Overview: City Council directed staff to prohibit all Office Uses in the ground floor of the Regional Commercial zoning district (C-R). This is a major change that will make numerous existing office uses located in established office buildings legal, non-conforming. As written, a vacant office space within an office building would be subject to Section 17.92.060: Non-conforming Use of Structures. A change in ownership, tenancy, or management of a nonconforming use shall not affect its legal nonconforming status. If the office use is vacant (discontinued) for 90 consecutive days, the use shall not be reestablished and may be replaced only by a conforming use. After 90 days, the vacant space could not be leased with a new office use. Staff recommends that office uses in existing office buildings (utilized exclusively for office space) be allowed to continue until such time that the office building is redeveloped or removed. **Staff request discussion to confirm the City should prohibit all first-floor office spaces on the ground floor in the C-R zoning district.**

Planning Commission Recommendation:

C. Office Uses in the C-C and C-R Zoning Districts. In the C-C and C-R zoning districts, permits required for office uses, including professional, medical, banks, financial institutions and governmental offices, are shown in Table 17.24-2.

TABLE 17.24-2: PERMITTED OFFICE USES IN THE C-C AND C-R ZONING DISTRICTS

Location and Size of Office Use	C-C Zoning District	C-R Zoning District
Conversion of a retail use to an office use	N/A	C
Ground floor, less than 5,000 sq. ft.	P	C
Ground floor, 5,000 sq. ft. or more	C	C
Upper floor above a ground floor	P	P
Located within a multi-tenant site in which the office space is not located within a storefront and is setback from the front façade.	P	P

City Council Recommendation:**TABLE 17.24-2: PERMITTED OFFICE USES IN THE C-C AND C-R ZONING DISTRICTS**

<u>Key</u>		
<u>P</u> Permitted Use		
<u>A</u> Administrative Permit required		
<u>M</u> Minor Use Permit required		
<u>C</u> Conditional Use Permit required		
<u>-</u> Use not allowed		
Location and Size of Office Use	C-C Zoning District	C-R Zoning District
Conversion of a retail use to an office use	N/A	☹
Ground floor, less than 5,000 sq. ft.	P	☹
Ground floor, 5,000 sq. ft. or more	C	☹
Upper floor above a ground floor	P	P
Located within a multi-tenant site in which the office space is not located within a storefront and is setback from the front façade.	P	☹P

Staff Recommendation

Staff recommends adding a note to the table that office uses in existing office buildings (used exclusively for office space) be allowed to continue until such time that the office building is redeveloped or removed.

Topic 6: Pending Review of Coastal Commission edits

Overview: The California Coastal Commission staff reviewed the original Draft Zoning Code and provided preliminary feedback. The feedback ranges from minor edits to larger policy issues. During the initial draft zoning code review in 2016, the Planning Commission did not make a recommendation on the Coastal Overlay chapter to the City Council. Within the 2017 draft zoning code, City staff inserted Coastal Commission edits which do not fundamentally affect policy or which are minor in nature into the draft code. These changes are shown in blue throughout the code. The majority of the Coastal Commission suggested revisions were Chapter 17.44. Staff presented these edits to the City Council on October 13, 2016. The Council directed staff to return to the Planning Commission for a recommendation on the changes. **Staff requests direction on the Coastal Commission edits.**

Remaining Zoning Code Issues | 2017

Topic 7: Allowed Projections and Encroachments into Setbacks

Section: 17.48.030 C and D

Page: 48-2 to 48-4

Overview: The draft code includes a variety of setbacks for different projections and encroachments into the setback areas. Staff recommends slight modifications to setbacks to create consistency based on the possible impacts to neighbors. The following tables groups similar features and structures that have similar effects. The draft code standards are in black. **All staff recommended changes are in red.**

Architectural Design Elements (bay windows, front porch) that are encouraged with minimal setback.

	Encroachment into Setback				Minimum Distances from Property Lines
	Front	Rear	Interior Side	Exterior Side	
ROOF PROJECTIONS					
Cornices, eaves, canopies, and similar roof projections	4 ft	4 ft	2 ft	2 ft	All: 3 ft
WALL PROJECTIONS					
Bay windows, balconies, sills, fireplaces, chimneys, and similar wall projections	2 ft	2 ft	2 ft	2 ft	All: 3 ft
ENTRIES					
Stairways and fire escapes or similar features	4 ft Not allowed	6 ft 4 ft	½ of required setback No max	4 ft Not allowed	Front: Not allowed Interior side: 3 ft Exterior side: Not allowed Rear: 5 ft
At grade flatwork such as concrete paving and patios	No max	No max	No max	No max	All sides: No minimum
Landing Places, Patios, and Decks 18 inches or less above grade	No max	No max	No max	No max	Front and Exterior Side: 5 ft Interior Side and Rear: 3 ft
Open and unenclosed entry porches and decks 19 to 30 inches above grade.	4 ft	6 ft	½ of required setback	4 ft	Front: 10 ft Exterior side: 5 ft Interior Side: 3 ft Rear: 5 ft
Covered entry porch and decks 19 to 30 inches above grade including roof and roof overhang.	5 ft	Not Applicable	Not Applicable	4 ft	Front: 10 ft Exterior side: 5 ft Interior Side and Rear: Not Applicable
Wheelchair ramps and similar features for the disabled	No max	No max	No max	No max	No minimum

Attachment: Remaining Zoning Code Issues (1732 : Zoning Code Update)

Remaining Zoning Code Issues | 2017

Decorative Features such as a trellis and planter boxes are encouraged with minimal setbacks from property lines. Specificity has been added to trellis structures to ensure that trellis structures in the front yard will not be enclosed to ensure a trellis cannot be utilized as a fence feature well above the fence height allowance of 42 inches. The draft code standards are in black. **All staff recommended changes are in red.**

	Encroachment into Setback				Minimum Distances from Property Lines
	Front	Rear	Interior Side	Exterior Side	
DECORATIVE FEATURES					
Trellis Structure up to 10 ft in height that is open on all sides and arbors with a minimum of 2 open sides utilized over a walkway.	No max	No max	No max	No Max	No Minimum Staff Note: Limit trellises in the front yard to no walls. Could be utilized as high fence.
Trellis Structure up to 10 ft in height that is open on at least three sides, and the walls of the structure are 50 percent transparent.	No Max Not Allowed	No max	No max	No Max Not Allowed	Rear and Interior Side: No Minimum Front and Exterior Side: Not allowed.
Planter boxes and masonry planters with a maximum height of 42 inches.	No max	No max	No max	No Max	No Minimum
Landscape features, such as water fountain or statue , up to a maximum height of 6 ft that does not enclose the perimeter of the property.	No max	No max	No max	No max	All sides: 5 foot minimum

Attachment: Remaining Zoning Code Issues (1732 : Zoning Code Update)

Remaining Zoning Code Issues | 2017

Entertainment Features are typically social and should not be located right on a property line due to possible impacts of noise. They also are not normally allowed within a front setback or side yard setbacks. The draft code standards are in black. **All staff recommended changes are in red.**

	Encroachment into Setback				Minimum Distances from Property Lines
	Front	Rear	Interior Side	Exterior Side	
ENTERTAINMENT FEATURES:					
Hot Tubs	Not allowed	No max	Not allowed	Not allowed	Rear: 2 5 ft All other: Not allowed
Pools	Not allowed	No max	Not allowed	Not allowed	Rear: 5 ft minimum All other: Not allowed
Fire pits up to 30 inches in height	No max	No max	No max	No Max	All Sides: 5 ft minimum
Outdoor kitchens. The kitchen may include gas, electric and plumbing, except electric connections must be less than 200 volts and drain size may not exceed that allowed for a mini bar. Includes Pizza Ovens.	Not allowed	No max	Not allowed	Not allowed	Rear Yard: 2 5 ft minimum All other sides: Not allowed

Structures and Equipment not permanently attached to the ground are allowed within setback areas. Rain harvest tanks are encouraged and therefore allowed within side and rear yard setbacks. Mechanical equipment may have noise and visual impacts to a neighbor; therefore, are prohibited from the front and exterior side yard and have required setbacks within the interior side yard and rear yard. The draft code standards are in black. **All staff recommended changes are in red.**

	Encroachment into Setback				Minimum Distances from Property Lines
	Front	Rear	Interior Side	Exterior Side	
OTHER STRUCTURES AND EQUIPMENT					
Children's play equipment, movable dog house, movable trach enclosures, and similar moveable objects	No max	No max	No max	No max	All sides: No minimum
Rain harvest tanks that do not exceed 8 ft in height	Not allowed	No max	No max	No max	Front Yard: Not Allowed. All sides: No minimum
Screened mechanical equipment including hot water heaters and HVAC units.	No max Not Allowed	No max	No max	No Max Not Allowed	No minimum Rear and Interior Side Yard: 3 ft

Attachment: Remaining Zoning Code Issues (1732 : Zoning Code Update)

Remaining Zoning Code Issues | 2017

Topic 7b: Setbacks for Accessory Structures and Accessory Dwelling Units

Section: 17.52.020

Page: 52- 2

Section: 17.74.050 and 060

Page: 74 - 5

Overview: The zoning code allows accessory structures and accessory dwelling units in setback areas. The setbacks in the draft code are consistent between the two allowed structures, requiring increased setbacks as the accessory structure increases in height. **Staff is not requesting direction on this item. Staff included this item anticipating that questions would arise relative to the setback discussion in Topic 7.**

	Encroachment into Setback				Minimum Distances from Property Lines
	Front	Rear	Interior Side	Exterior Side	
ACCESSORY STRUCTURES & DETACHED GARAGE 17.52					
Accessory structure less than 8 ft. in height, 80 sf or less, no plumbing	Same as primary	No max	No max	No max	All Sides: No minimum
Accessory Structures 8 to 15 ft. in height in SF zone	Same as primary structure	No max	No max	No max Same as primary structure	Front: Same as primary structure Interior and Exterior Sides: 3 ft. Rear: 3 ft.
Detached Garage	None	No max	No max	No max	Front: 40 ft Interior and Exterior Sides: 3 ft. Rear: 3 ft.
Accessory Structure in MF Residential	None	No max	No max	No max	Front: Same as primary Structure Interior and Exterior Side: 3 ft. Rear: 3 ft.

Attachment: Remaining Zoning Code Issues (1732 : Zoning Code Update)

Remaining Zoning Code Issues | 2017

	Encroachment into Setback				Minimum Distances from Property Lines [2]
	Front	Rear	Interior Side	Exterior Side	
Accessory Dwelling Units					
Detached Accessory Dwelling Units – One Story (15 ft. Height or less)[1]	None	No Max	No Max	None	Front: Same as required for primary residence Interior Side: 5 ft Exterior Side: Same as required for primary residence Rear: 8 ft
Detached Accessory Dwelling Units (15-22 ft. height)	None	No Max	No Max	None	Front: Same as required for primary residence Interior Side: 5 ft Exterior Side: Same as required for primary residence Rear: 10 ft
Attached Accessory Dwelling Units	Same as primary residence	Same as primary residence	Same as primary residence	Same as primary residence	Front, Rear, Exterior Side and Interior Side: Same as primary residence Above garage: 5 ft [3]

Notes:

- [1] Maximum height of 12 feet when accessory dwelling unit is 10 feet or less from property line.
 [2] No setback is required for an existing garage that is converted to an accessory dwelling unit.
 [3] Minimum 5-foot setback for accessory dwelling units constructed above a garage.

Topic 8: Accessory Dwelling Units (previously Secondary Dwelling Units)**Chapter:** 17.74**Page:** 74-1 through 74-9

Overview: This chapter establishes standards for the location and construction of accessory dwelling units consistent with the State of California Government Code Section 65852.2 as amended within AB2299. The chapter has been modified extensively since the original 2016 draft to comply with recent State legislation. Major changes include new terminology, new definitions, new standards for attached, detached, and internal accessory dwelling units, new parking allowances and waivers, and increased minimum size of 1,200 square feet.

Topic 9: Non-Conforming Structures**Section:** 17.92.080**Page:** 92-6

Overview: The City Council requested that staff edit Table 17.92 to clarify the new thresholds. Staff updated the description of the thresholds and added examples for each. **Staff request discussion on the updated table.**

Planning Commission Recommendation:**TABLE 17.92-1: ALLOWED MODIFICATIONS TO NONCONFORMING STRUCTURES**

Project Affecting a Nonconforming Structure	Permit Required [1]
Nonstructural repairs, maintenance, and interior alterations	None
Structural repairs, modifications, and additions that do not alter or affect the nonconforming aspect of the structure	None
Structural repairs, modifications, and additions that alter or affect the nonconforming aspect of the structure	Conditional Use Design Permit
Structural repairs, modifications, and additions that increase or exacerbate the nonconforming aspect of the structure	Variance
Replication of a single-family dwelling per 17.92.070.D	Conditional Use Design Permit
Recreation of an involuntarily damaged or destroyed structure	None

Notes:

[1] The proposed project may require permits and approvals for other reasons not related to its nonconforming status. For example, additions or enlargements to a single-family dwelling often requires a Design Permit.

Remaining Zoning Code Issues | 2017

City Council Recommendation:

TABLE 17.92-1: ALLOWED MODIFICATIONS TO NONCONFORMING STRUCTURES

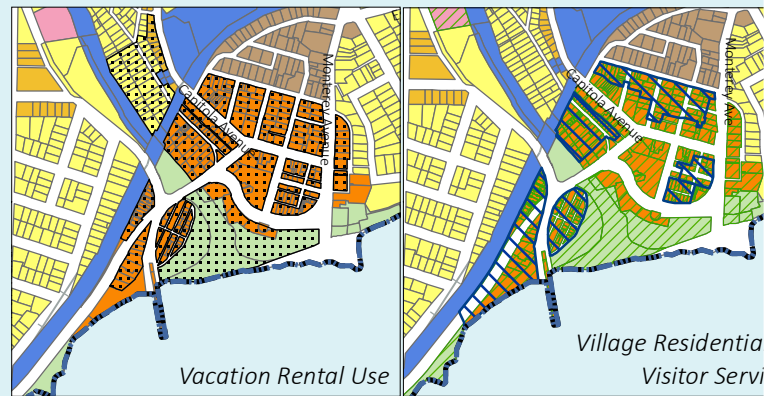
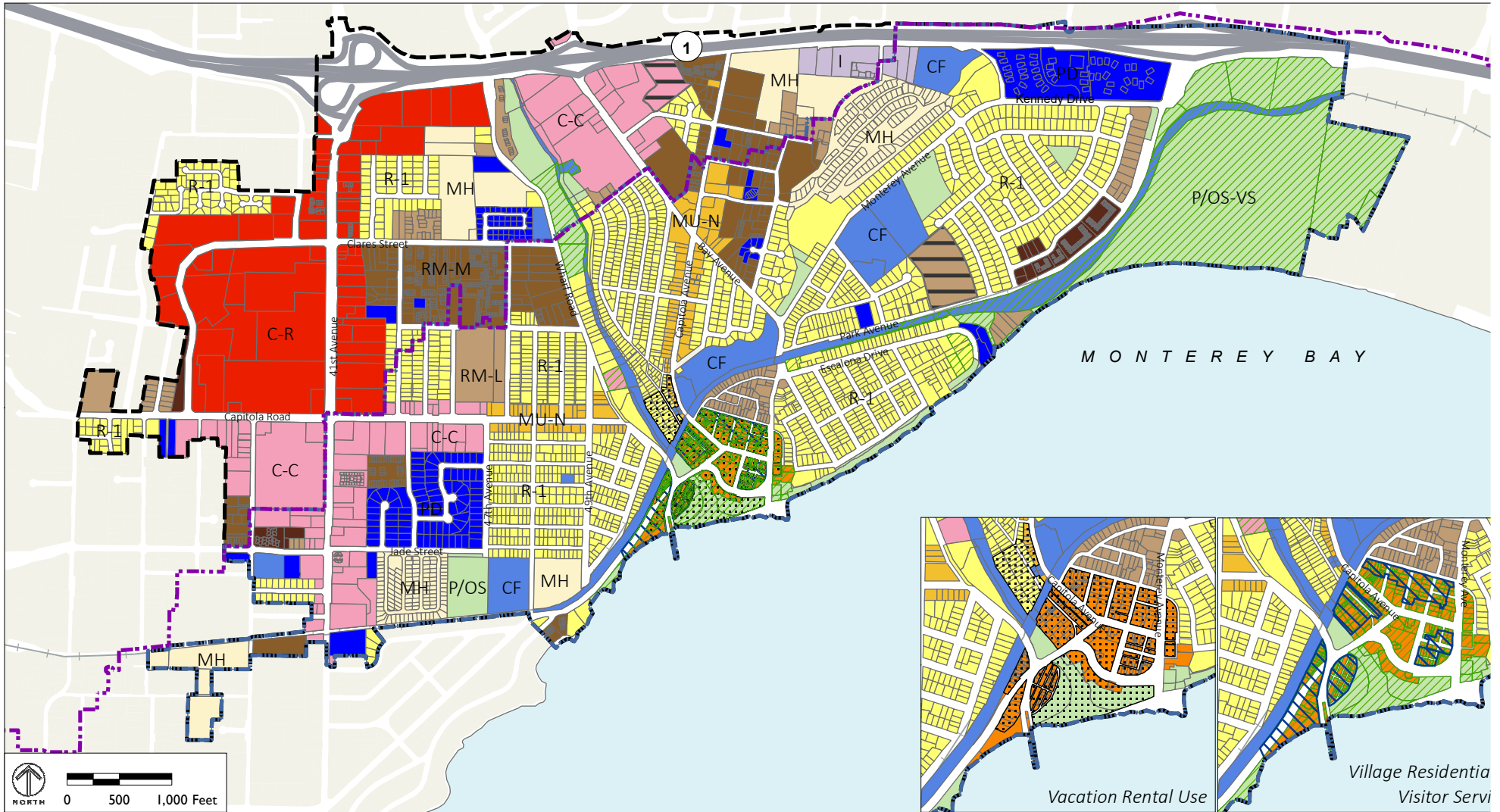
Project Affecting a Nonconforming Structure	Example	Permit Required [1]
Interior Nonstructural repairs, maintenance, and interior -alterations	<u>Interior renovations to a room within a portion of a building located within a required setback area</u>	None
Exterior Structural repairs, modifications, and additions that do not alter or affect the nonconforming aspect of the structure	<u>Adding floor area to a home with an existing roof that exceeds the maximum building height where the addition complies with the maximum building height and all other applicable standards</u>	None
Exterior Structural repairs <u>and</u> modifications and additions that alter or affect the nonconforming aspect of the structure <u>[2]</u>	<u>Rebuilding an existing building wall within a required setback area with no increase in floor area</u>	Design Permit
Exterior Structural repairs, modifications, and additions that increase or exacerbate the nonconforming aspect of the structure	<u>Adding floor area to a portion of an existing room within a required setback area</u>	<u>Design Permit and Variance</u>
Replication Reconstruction of a single-family dwelling per 17.92.070.D	<u>See 17.92.080.C</u>	Design Permit
Recreation of an involuntarily damaged or destroyed structure	<u>Rebuilding a home destroyed by a fire to match the destroyed home</u>	None

Notes:

[1] The proposed project may require permits and approvals for other reasons not related to its nonconforming status. For example, additions or enlargements to a single-family dwelling often requires a Design Permit.

[2] ~~Repairs and replacement of exterior finishes such as roofs and exterior siding are allowed without a Design Permit.~~

CITY OF CAPITOL
ZONING CODE UPDATE



Residential Zoning Districts

- R-1 - Single-Family Residential
- RM-L - Multi-Family Residential, Low Density
- RM-M - Multi-Family Residential, Medium Density
- RM-H - Multi-Family Residential, High Density
- MH - Mobile Home Park

Mixed-Use Zoning Districts

- MU-V - Mixed Use Village
- MU-N - Mixed Use Neighborhood

Commercial and Industrial Zoning Districts

- C-R - Regional Commercial
- C-C - Community Commercial

I - Industrial

- I - Industrial

Other Zoning Districts

- P/OS - Parks and Open Space
- CF - Community Facility
- PD - Planned Development

Overlay Zones*

- AHO - Affordable Housing Overlay
- CZ - Coastal Zone
- VRU - Vacation Rental Use
- VR - Village Residential
- VS - Visitor Serving

City Limit

- Santa Cruz Coastal Zone Boundary

Source: ESRI, 2017; PlaceWorks, 2017

*See Local Coastal Program Habitats Map for boundaries of Environmentally Sensitive Habitats Area Overlay Zone.

Attachment: Zoning Map_8.5x11_Updated011117 (1732 : Zoning Code Update)

Cattan, Katie (kcattan@ci.capitola.ca.us)

From: conniesmith2@comcast.net
Sent: Friday, October 14, 2016 2:23 PM
To: City Council; PLANNING COMMISSION; Goldstein, Jamie (jgoldstein@ci.capitola.ca.us)
Subject: Transient Vacation Overlay & 502 Beulah Dr.

Good afternoon Mayor, Council, Commission & Manager -

Thank you for welcoming my input at last night's meeting. I rather inarticulately expressed our family's history and desire regarding inclusion of 502 Beulah Dr. in your expanded short term rental plan. I hope that you will take the time to read the following and fully consider our request.

As many of you know, my parents, Mark and Kathleen Sullivan, became members of the vibrant Capitola community 60 years ago when they purchased 502 Beulah as their first home. Capitola was truly their happy place. In their retirement, little gave them as much pleasure as giving back to their beloved community via my father, Mark's, service on the Arts Commission and my mom, Kathleen's, volunteerism with the Capitola Museum. Some of you may recall my dad attending every Council meeting for years (and not badgering you all too much!), and my mom being a sounding board for Council Members and Chief Escalante. My parents were definitely part of what has made Capitola so fabulous: dedicated, selfless citizens. Their love for Capitola is further underscored by both their home (which to many heralds their arrival into the village, with its quintessential coastal cottage charm) and their express wish that we keep 502 Beulah in the family so that their kids and grandkids can enjoy and support the very community they helped build and protect.

I came to you last night (after my mom's passing on 9/25) to request on our family's behalf that you consider adding the Sullivan home to your expanded transient rental overlay. Our inclusion would allow us to keep the home in the family and facilitate a property use consistent with the immediate community. We hope to have 9 month tenants during the academic year (grad student & family, ideally), and short term rentals during the summer which would generate sufficient income for us to pay the mortgage and allow the flexibility for 4-6 weeks of family use each summer.

Your current expansion plan contemplates inclusion of residences on Capitola Ave from the trestle up to Riverview. 502, directly across from Riverview & with more lot line on Capitola Ave than Beulah, is within this zone but on the other side of the street. When my folks first came to Capitola, they had a creek for a backyard and a few homes nearby. Now, 502 sits as an island at a busy intersection with parking lots behind, city buildings flanking, & a restaurant and salon across the street. There isn't much residential neighborhood to impact with this change in use. Still, mitigating potential negative impacts are the facts that 502 has two on-site parking spaces as well as a street space immediately in front, and it's "surrounded" by police (in a good way!) so occupants would stay in line. Additionally, because of the tremendous pride our family takes in the home, we would be vigilant in our screening of potential tenants (whether long or short term) thereby greatly reducing any risk of nuisance.

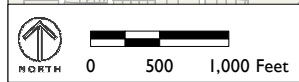
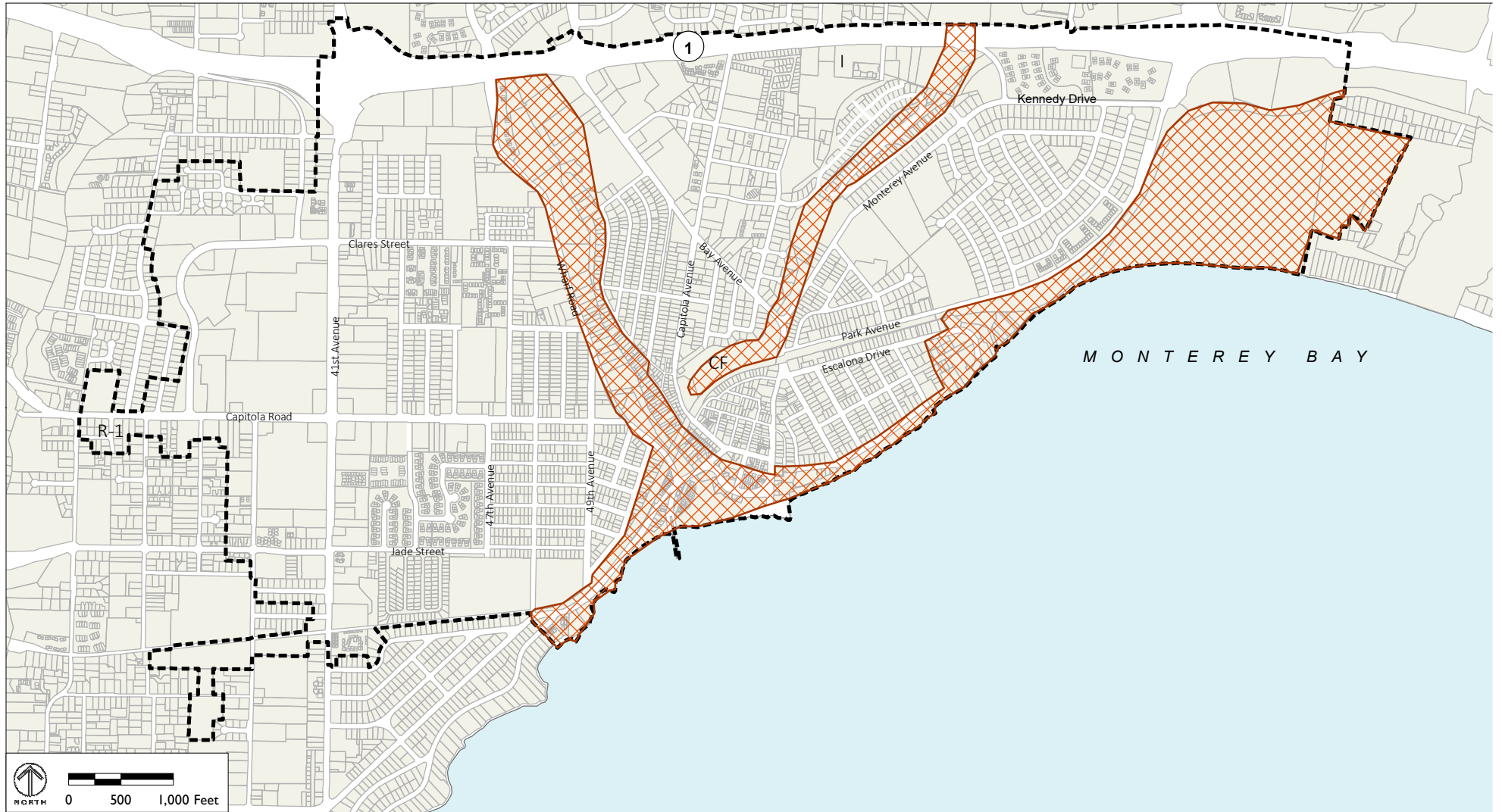
Please let me know if I can provide any further information to assist you in considering our request. Please also advise as to next steps in this zoning amendment process.



We are profoundly grateful for the support and collegiality many of you shared with our parents over the years. They each left this earth still embracing Capitola as their happy place, and we hope to do the same.

Kind regards,
Connie Sullivan Smith
650-704-9650

Attachment: Letter from 502 Beulah Drive (1732 : Zoning Code Update)

CITY OF CAPITOL
ZONING CODE UPDATE

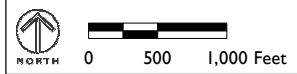


-  Environmentally Sensitive Habitat
-  City Limit

Source: ESRI, 2017; PlaceWorks, 2017

Attachment: Environmentally Sensitive Areas Map_Updated011117 (1732 : Zoning Code Update)

CITY OF CAPITOL
ZONING CODE UPDATE

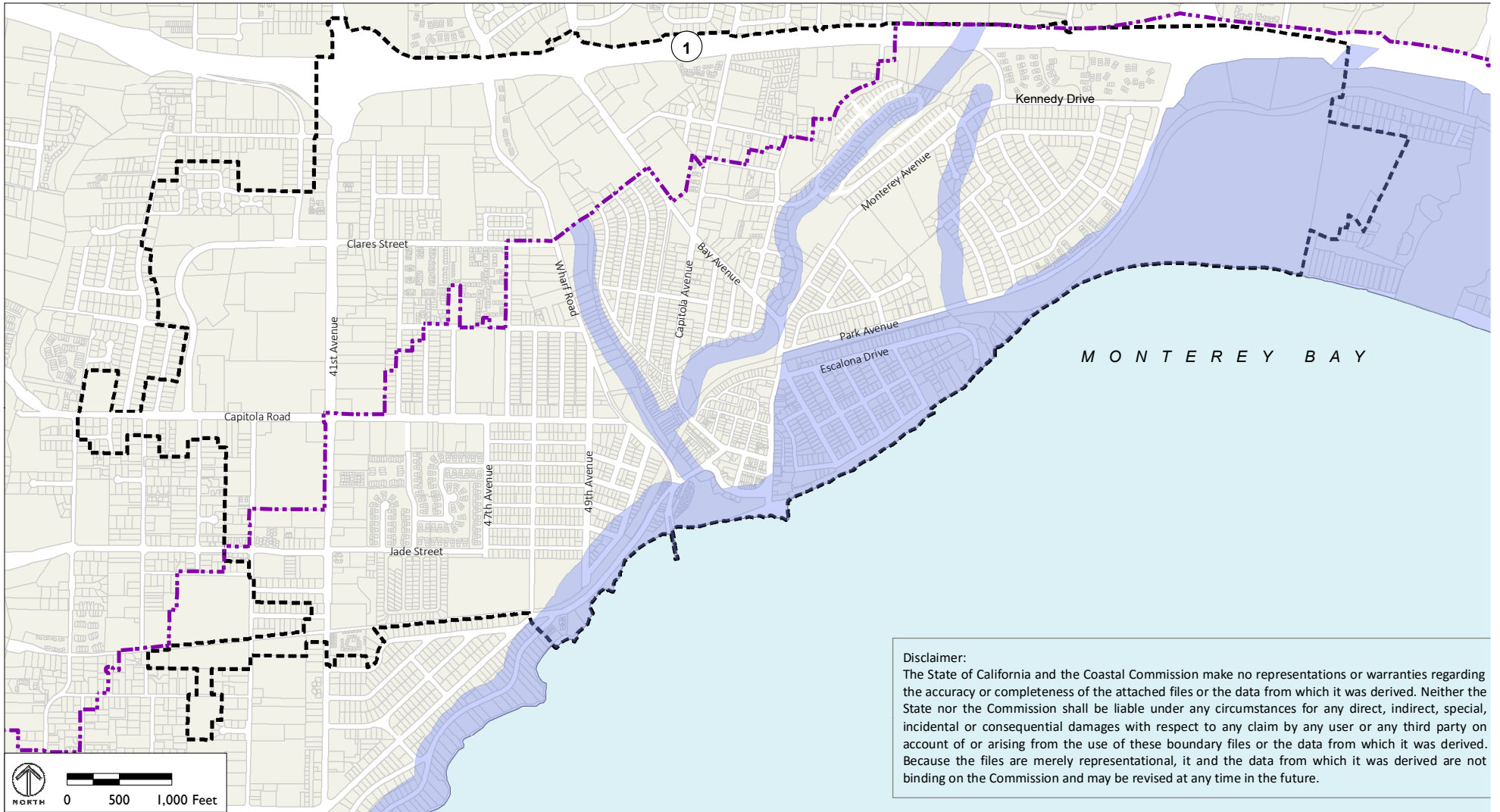


- Geological Hazard
- City Limits
- Land Parcels

Source: ESRI 2017; PlaceWorks, 20

Attachment: Geologic Hazard Map_Updated011117 (1732 : Zoning Code Update)

CITY OF CAPITOL
ZONING CODE UPDATE



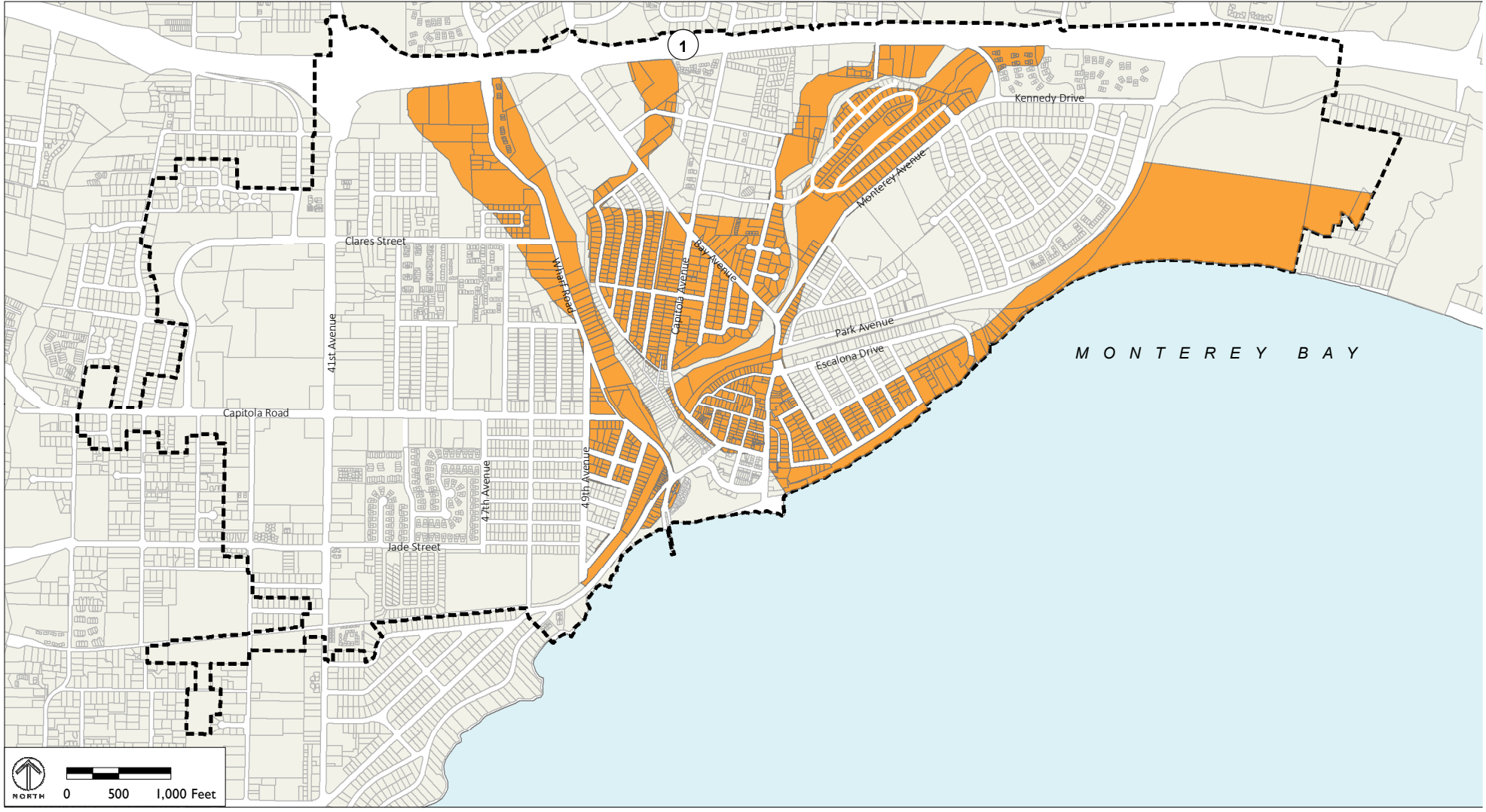
Disclaimer:
 The State of California and the Coastal Commission make no representations or warranties regarding the accuracy or completeness of the attached files or the data from which it was derived. Neither the State nor the Commission shall be liable under any circumstances for any direct, indirect, special, incidental or consequential damages with respect to any claim by any user or any third party on account of or arising from the use of these boundary files or the data from which it was derived. Because the files are merely representational, it and the data from which it was derived are not binding on the Commission and may be revised at any time in the future.

Source: ESRI, 2017; PlaceWorks, 2017

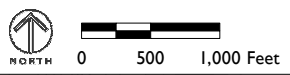
- Santa Cruz Coastal Zone Boundary
- Coastal Zone Appeal Jurisdiction Boundary
- City Limit

Attachment: Coastal Map_Without Permit Jurisdiction_Updated011117 (1732 : Zoning Code Update)

CITY OF CAPITOL
ZONING CODE UPDATE



Attachment: Archaeological Sensitivity Map (1732 : Zoning Code Update)



High Sensitivity Prehistoric Resources

City Limit

Source: ESRI, 2017; PlaceWorks, 2017

Staff Revisions to Draft Zoning Code (January 9, 2017)

The 2017 Draft Zoning Code includes all staff edits in blue. The majority are minor edits to grammar, spelling, and references. The following list includes edits made by staff that are quantitative and/or qualitative in nature that should be brought to Planning Commission and City Council’s attention but do not required additional direction, unless requested.

1. Table 17.24-1. Page 24-3.

Change: Added Vehicle Sales Display Room with a note that a Vehicle Sales Display Room may not exceed 5,000 square feet in size.

<u>Vehicle Sales Display Room [8]</u>	<u>P</u>	<u>P</u>	<u>=</u>	
<u>[8] Maximum 5,000 square feet.</u>				

2. Section: 17.24.030.D.4. Page 24-6.

Change: Added exception to increased setback standards for narrow lots.

1. Setbacks. The minimum setback from the residential property line shall be 15 feet for interior side yards and 20 feet for rear yards. For lots less than 100 feet wide, the Planning Commission may allow a reduced side yard setback upon finding that potential impacts to adjacent residential properties have been adequately minimized through enhanced building and landscape design.

3. Section: 17.48.040.B.6 Page: 48-5

Change: The draft code combined deck requirements with trellis requirements including the provision that they be open on three sides. The enclosure of three sides should not have been applied to decks and patios. Staff split the exceptions to separate the decks and patio standards from the trellis and porte-cocheres to avoid confusion.

6. For all uses, the following features are excluded from the floor area calculation:

- a. ~~Covered or uncovered decks, patios, trellises, and similar outdoor spaces which are open on at least three sides, not including carports.~~
- b. Covered or uncovered decks; and patios.
- c. Trellises, porte-cocheres not more than 10 feet in height, and similar outdoor space which are open on at least three sides, not including carports.

4. Chapter: 17.52 Page: 52-2

Change: The building official reviewed the maximum width of a detached garage (21-feet) and suggested that the width should be increased by two feet to accommodate a two car garage

with ample structural supports on both ends. Interior parking spaces are required to be ten feet wide, twenty-foot wide for two spaces.

	Single-Family Residential Zoning Districts	Multi-Family Residential Zoning Districts	Additional Standards
Height, Maximum			
Structure	15 ft. [1]	15 ft.	Section 17.52.020.B.2
Top of Wall Plate	9 ft.	9 ft.	
Width, Maximum	23 4 ft. for detached garages; None for other accessory structures	None	

5. Section 17.56.030 and 040 Page 56-3

Change: Added grading monitoring requirements for unexpected discovery of archaeological or paleontological resources.

17.56.030 Grading Monitoring Requirement

The Community Development Director may require grading monitoring by a qualified archaeologist or paleontologist for any project which involves grading into native soils within an area identified as having a moderate to high potential to support archaeological or paleontological resources. Archaeological and paleontological monitors shall be commissioned by the City and paid for by the project applicant.

17.56.040 Unexpected Discovery of Archaeological or Paleontological Resources

If archaeological or paleontological resources are discovered during grading or construction activities, all work must immediately cease and the project applicant or their designated representatives must immediately contact Community Development Department staff to initiate a resource evaluation by a qualified archaeologist or paleontologist, as appropriate. Work shall not resume until the qualified archaeologist or paleontologist determines that no significant resources are present or until appropriate avoidance and/or mitigation measures have been implemented to the satisfaction of the Community Development Director.

6. Section 17.60.030 Page 60-2

Change: Added note to see 17.96.050 Intersection sight distance for fences on corner lots.

Note:

[1] See Section 17.96.050 (Intersection Sight Distance) for addition corner lot fence requirements.

Staff Revisions to Draft Zoning Code | 2017

7. Section 17.60.030.B Page 60-2

Change: The Planning Commission added an exception for fences or walls used as landscape feature to exceed the fence height limit. Staff deleted this from this section and added it to chapter 17.48.030.D: Allowed Encroachments in Setback Areas an allowance for landscape features up to 6 feet in height.

Deleted 17.60.030.B:

~~B. Fences and Walls as Landscape Feature. A fence or wall used as a landscape feature which does not enclose the perimeter of the property may exceed the height limits in side and rear setback areas shown in Figure 17.60-1 up to a maximum of 6 feet.~~

Added to 17.48.030.D.10:

10. Landscape features up to a maximum height of 6 feet which does not enclose the perimeter of the property

8. Section: 17.76.020.C.1.b Page: 76-2

Change: Expansion of an eating or drinking establishment. This new standard allows eating and drinking establishments to expand slightly within the existing building footprint or outdoor dining without providing additional parking. The Planning Commission and City Council discussions were focused on the Central Village. Staff added the stipulation that this standard only applies within the mixed use village.

C. Expansions and Enlargements.

1. Nonresidential Use.

- a. Where an existing structure with a nonresidential use is expanded or enlarged, additional parking is required to serve only the expanded or enlarged area, except as allowed by subparagraph b below.
- b. Within the Mixed Use Village (MU-V) zoning district, an eating and drinking establishment may expand by 20 percent of the existing floor area of the business without providing additional parking. Permitted expansions include modification of the internal building layout to enlarge the dining area, additions to the size of the business within an existing building footprint, and new outdoor dining areas.