



# AGENDA

## CAPITOLA PLANNING COMMISSION

### Thursday, April 1, 2021 – 7:00 PM

Chairperson            Mick Routh  
Commissioners        Courtney Christiansen  
                                 Ed Newman  
                                 Susan Westman  
                                 Peter Wilk

#### **NOTICE OF REMOTE ACCESS ONLY:**

In accordance with the current Order from Santa Cruz County Health Services and Executive Order regarding social distancing, the Planning Commission meeting will not be physically open to the public and in person attendance cannot be accommodated.

#### **To watch:**

1. Online <http://capitolaca.igmp2.com/Citizens/Default.aspx>
2. Spectrum Cable Television channel 8
3. Zoom Meeting (link and phone numbers below)

#### **To participate remotely and make public comment:**

1. Send email:
  - a. As always, send additional materials to the Planning Commission via [planningcommission@ci.capitola.ca.us](mailto:planningcommission@ci.capitola.ca.us) by 5 p.m. the Wednesday before the meeting and they will be distributed to agenda recipients.
  - b. During the meeting, send comments via email to [publiccomment@ci.capitola.ca.us](mailto:publiccomment@ci.capitola.ca.us)
    - Identify the item you wish to comment on in your email's subject line. Emailed comments will be accepted during the Public Comments meeting item and for General Government / Public Hearing items.
    - Emailed comments on each General Government/ Public Hearing item will be accepted after the start of the meeting until the Chairman announces that public comment for that item is closed.
    - Emailed comments should be a maximum of 450 words, which corresponds to approximately 3 minutes of speaking time.
    - Each emailed comment will be read aloud for up to three minutes and/or displayed on a screen.
    - Emails received by [publiccomment@ci.capitola.ca.us](mailto:publiccomment@ci.capitola.ca.us) outside of the comment period outlined above will not be included in the record.
2. Zoom Meeting (Via Computer or Phone)
  - a. Please click the link below to join the meeting:
    - <https://us02web.zoom.us/j/84957611096?pwd=ZG1qMVcxeldyTnJ6c2x1T3p2cFI4Zz09> (link is external)
    - If prompted for a password, enter 060975
    - Use participant option to "raise hand" during the public comment period for the item you wish to speak on. Once unmuted, you will have up to 3 minutes to speak
  - b. Dial in with phone:

- Before the start of the item you wish to comment on, call any of the numbers below. If one is busy, try the next one
- **1 669 900 6833**
- **1 408 638 0968**
- **1 346 248 7799**
- **1 253 215 8782**
- **1 301 715 8592**
- **1 312 626 6799**
- **1 646 876 9923**
- Enter the meeting ID number: **849 5761 1096**
- When prompted for a Participant ID, press #
- Press \*6 on your phone to “raise your hand” when the Chairman calls for public comment. It will be your turn to speak when the Chairman unmutes you. You will hear an announcement that you have been unmuted. The timer will then be set to 3 minutes.

## REGULAR MEETING OF THE PLANNING COMMISSION - 7 PM

*All correspondences received prior to 5:00 p.m. on the Wednesday preceding a Planning Commission Meeting will be distributed to Commissioners to review prior to the meeting. Information submitted after 5 p.m. on that Wednesday may not have time to reach Commissioners, nor be read by them prior to consideration of an item.*

*All matters listed on the Regular Meeting of the Capitola Planning Commission Agenda shall be considered as Public Hearings.*

### 1. ROLL CALL AND PLEDGE OF ALLEGIANCE

### 2. ORAL COMMUNICATIONS

#### A. Additions and Deletions to Agenda

#### B. Public Comments

*Short communications from the public concerning matters not on the Agenda. All speakers are requested to print their name on the sign-in sheet located at the podium so that their name may be accurately recorded in the Minutes.*

#### C. Commission Comments

#### D. Staff Comments

### 3. APPROVAL OF MINUTES

#### A. Planning Commission - Regular Meeting - Mar 4, 2021 7:00 PM

### 4. CONSENT CALENDAR

*All matters listed under "Consent Calendar" are considered by the Planning Commission to be routine and will be enacted by one motion in the form listed below. There will be no separate discussion on these items prior to the time the Planning Commission votes on the action unless members of the public or the Planning Commission request specific items to be discussed for separate review. Items pulled for separate discussion will be considered in the order listed on the Agenda.*

#### A. 1400 47th Avenue #21-0038 APN: 034-064-20

Design Permit for a second-story addition to a nonconforming single-family residence located within the R-1 (Single-Family Residential) zoning district.  
This project is in the Coastal Zone but does not require a Coastal Development Permit.  
Environmental Determination: Categorical Exemption  
Property Owner: Steven Thompson  
Representative: Stephen Thompson, Filed: 02.04.2021

#### B. 4850 Topaz Street #20-0501 APN: 034-066-06

Design Permit for a remodel of an existing three-story single-family residence, including the conversion of third-story conditioned space into deck, located within the R-1 (Single-Family Residential) zoning district.  
This project is in the Coastal Zone but does not require a Coastal Development Permit.  
Environmental Determination: Categorical Exemption  
Property Owner: Rod Sockolov  
Representative: Kim Carpenter, Filed: 12.02.20





**APPEALS:** The following decisions of the Planning Commission can be appealed to the City Council within the (10) calendar days following the date of the Commission action: Conditional Use Permit, Variance, and Coastal Permit. The decision of the Planning Commission pertaining to an Architectural and Site Review Design Permit can be appealed to the City Council within the (10) working days following the date of the Commission action. If the tenth day falls on a weekend or holiday, the appeal period is extended to the next business day.

All appeals must be in writing, setting forth the nature of the action and the basis upon which the action is considered to be in error, and addressed to the City Council in care of the City Clerk. An appeal must be accompanied by a five hundred dollar (\$500) filing fee, unless the item involves a Coastal Permit that is appealable to the Coastal Commission, in which case there is no fee. If you challenge a decision of the Planning Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this agenda, or in written correspondence delivered to the City at, or prior to, the public hearing.

**Notice regarding Planning Commission meetings:** The Planning Commission meets regularly on the 1<sup>st</sup> Thursday of each month at 7 p.m. in the City Hall Council Chambers located at 420 Capitola Avenue, Capitola.

**Agenda and Agenda Packet Materials:** The Planning Commission Agenda and complete Agenda Packet are available on the Internet at the City's website: [www.cityofcapitola.org](http://www.cityofcapitola.org). Need more information? Contact the Community Development Department at (831) 475-7300.

**Agenda Materials Distributed after Distribution of the Agenda Packet:** Materials that are a public record under Government Code § 54957.5(A) and that relate to an agenda item of a regular meeting of the Planning Commission that are distributed to a majority of all the members of the Planning Commission more than 72 hours prior to that meeting shall be available for public inspection at City Hall located at 420 Capitola Avenue, Capitola, during normal business hours.

**Americans with Disabilities Act:** Disability-related aids or services are available to enable persons with a disability to participate in this meeting consistent with the Federal Americans with Disabilities Act of 1990. Assisted listening devices are available for individuals with hearing impairments at the meeting in the City Council Chambers. Should you require special accommodations to participate in the meeting due to a disability, please contact the Community Development Department at least 24 hours in advance of the meeting at (831) 475-7300. In an effort to accommodate individuals with environmental sensitivities, attendees are requested to refrain from wearing perfumes and other scented products.

**Televised Meetings:** Planning Commission meetings are cablecast "Live" on Charter Communications Cable TV Channel 8 and are recorded to be replayed on the following Monday and Friday at 1:00 p.m. on Charter Channel 71 and Comcast Channel 25. Meetings can also be viewed from the City's website: [www.cityofcapitola.org](http://www.cityofcapitola.org).



**FINAL MINUTES  
CAPITOLA PLANNING COMMISSION MEETING  
Thursday, March 4, 2021  
7 P.M. – CAPITOLA CITY COUNCIL CHAMBERS**

**1. ROLL CALL AND PLEDGE OF ALLEGIANCE**

Chair Routh called the meeting to order at 7 P.M. Commissioners Christiansen, Newman, Westman, Wilk, and Chair Routh were present remotely.

**2. ORAL COMMUNICATIONS**

**A. Additions and Deletions to Agenda**

Item 4c was pulled from the agenda. Director Herlihy informed the Commission that temporary uses are approved administratively under the new code.

**B. Public Comments**

**C. Commission Comments**

Commissioner Newman stated he would like to have a discussion on the issue of compliance with Capitola's sign ordinance. Chair Routh stated they can discuss the matter on item 6 as a commissioner comment.

**D. Staff Comments**

**3. APPROVAL OF MINUTES**

MOTION: Approve January 21, 2021 and February 4, 2021 minutes.

<b>RESULT:</b>	<b>APPROVED [UNANIMOUS]</b>
<b>MOVER:</b>	Peter Wilk
<b>SECONDER:</b>	Ed Newman
<b>AYES:</b>	Courtney Christiansen, Ed Newman, Susan Westman, Peter Wilk, Mick Routh

**4. PUBLIC HEARINGS**

**A. 205 El Salto Drive #20-0506 APN: 036-131-19**

Design Permit for first- and second-story additions and a new basement for an existing nonconforming single-family residence with variances for the required parking space dimensions, landscape strip in the front setback, and to exceed the nonconforming structural alteration limit located within the R-1 (Single-Family Residential) zoning district. This project is in the Coastal Zone and requires a Coastal Development Permit which is appealable to the California Coastal Commission after all possible appeals are exhausted through the City.

Environmental Determination: Categorical Exemption

Property Owner: Kim & Kevin Menninger

Representative: Kim & Kevin Menninger, Filed: 12.08.2020

Associate Planner Orbach presented the staff report.

Commissioner Wilk asked if a tree shown on the last slide of the presentation will remain. Associate Planner Orbach stated that a tree was removed from the rear lot a year ago and another tree was replanted. No trees will be removed because of this project.

Commissioner Newman sought confirmation from staff that the addition will not increase the nonconforming aspects of the home, and that it will comply with the new ordinance. Associate Planner Orbach stated that is correct.

Commissioner Newman asked staff who was responsible for placing “No Parking” signs in front of the house. Associate Planner Orbach answered that he was unaware of these signs in front of the residence.

Kevin Menninger, the applicant, stated the “No Parking” signs belonged to his neighbor, and it is common for residents in the area to place such signs in front of their homes.

Commissioner Newman stated that the proposed parking spaces are problematic because the spaces are small. Given the lack of available parking in the area, he would like to add a condition that “No Parking” signs shall not be installed in front of the property.

Commissioner Westman concurred with Commissioner Newman. She also noted her concern in granting variances that do not improve the community. She believes parking will become a greater issue as more ADUs are built, and would like the Commission to exercise caution in allowing exceptions to the recently adopted zoning ordinance.

Chair Routh stated it may be prudent to consider abandoning unused right of ways to prevent future variance requests.

Commissioner Christiansen stated that a color and materials board would be helpful in gaining a better idea of the proposed design, and she prefers its inclusion in the presentation. Commissioners Newman and Westman concurred with Commissioner Christiansen that staff should require applicants to submit a “Color and Materials Board” for future project applications.

MOTION: Approve the design permit with the variance, and the coastal development permit with the following conditions and findings.

### **CONDITIONS**

1. The project approval consists of the construction first- and second-story additions and a new basement for an existing nonconforming single-family residence. The approval includes variances for substandard parking space dimensions, no landscape strip in the front setback, and to exceed the nonconforming structural alteration limit. The total FAR of the project is 54% with a total of 1,321 square feet, compliant with the maximum FAR within the zone. The proposed project is approved as indicated on the final plans reviewed and approved by the Planning Commission on March 4, 2021, except as modified through conditions imposed by the Planning Commission during the hearing.
2. Prior to construction, a building permit shall be secured for any new construction or modifications to structures authorized by this permit. Final building plans shall be consistent with the plans approved by the Planning Commission. All construction and site improvements shall be completed according to the approved plans
3. At time of submittal for building permit review, the Conditions of Approval must be printed in full on the cover sheet of the construction plans.

4. At time of submittal for building permit review, Public Works Standard Detail SMP STRM shall be printed in full and incorporated as a sheet into the construction plans. All construction shall be done in accordance with the Public Works Standard Detail BMP STRM.
5. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or exterior appearance of the structure shall require Planning Commission approval.
6. Prior to issuance of building permit, a landscape plan shall be submitted and approved by the Community Development Department. The landscape plan can be produced by the property owner, landscape professional, or landscape architect. Landscape plans shall reflect the Planning Commission approval and shall identify type, size, and location of species and details of any proposed (but not required) irrigation systems.
7. Prior to issuance of building permit, all Planning fees associated with permit #20-0506 shall be paid in full.
8. Prior to issuance of building permit, the developer shall pay Affordable housing in-lieu fees as required to assure compliance with the City of Capitola Affordable (Inclusionary) Housing Ordinance.
9. Prior to issuance of a building permit, the applicant must provide documentation of plan approval by the following entities: Santa Cruz County Sanitation Department, Soquel Creek Water District, and Central Fire Protection District.
10. Prior to issuance of building permits, a drainage plan, grading, sediment and erosion control plan, shall be submitted to the City and approved by Public Works. The plans shall be in compliance with the requirements specified in Capitola Municipal Code Chapter 13.16 Storm Water Pollution Prevention and Protection.
11. Prior to issuance of building permits, the applicant shall submit a stormwater management plan to the satisfaction of the Director of Public Works which implements all applicable Post Construction Requirements (PCRs) and Public Works Standard Details, including all standards relating to low impact development (LID).
12. Prior to any land disturbance, a pre-site inspection must be conducted by the grading official to verify compliance with the approved erosion and sediment control plan.
13. Prior to any work in the City road right of way, an encroachment permit shall be acquired by the contractor performing the work. No material or equipment storage may be placed in the road right-of-way.
14. During construction, any construction activity shall be subject to a construction noise curfew, except when otherwise specified in the building permit issued by the City. Construction noise shall be prohibited between the hours of nine p.m. and seven-thirty a.m. on weekdays. Construction noise shall be prohibited on weekends with the exception of Saturday work between nine a.m. and four p.m. or emergency work approved by the building official. §9.12.010B

15. Prior to a project final, all cracked or broken driveway approaches, curb, gutter, or sidewalk shall be replaced per the Public Works Standard Details and to the satisfaction of the Public Works Department. All replaced driveway approaches, curb, gutter or sidewalk shall meet current Accessibility Standards.
16. Prior to issuance of a Certificate of Occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Community Development Director. Upon evidence of non-compliance with conditions of approval or applicable municipal code provisions, the applicant shall remedy the non-compliance to the satisfaction of the Community Development Director or shall file an application for a permit amendment for Planning Commission consideration. Failure to remedy a non-compliance in a timely manner may result in permit revocation.
17. This permit shall expire 24 months from the date of issuance. The applicant shall have an approved building permit and construction underway before this date to prevent permit expiration. Applications for extension may be submitted by the applicant prior to expiration pursuant to Municipal Code §17.81.160.
18. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
19. Upon receipt of certificate of occupancy, garbage and recycling containers shall be placed out of public view on non-collection days.
20. Prior to issuance of building permits, the building plans must show that the existing overhead utility lines will be underground to the nearest utility pole.
21. 'No parking' signs shall be prohibited at the front of the property and in the public right-of-way in front of the property.

### **DESIGN PERMIT FINDINGS**

#### **A. The project, subject to the conditions imposed, secures the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.**

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the project. The proposed first- and second-story additions and a new basement for an existing nonconforming single-family residence comply with the development standards of the R-1 (Single-Family Residential) District. The project secures the purpose of the Zoning Ordinance, General Plan, and Local Coastal Plan

#### **B. The project will maintain the character and integrity of the neighborhood.**

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the application for first- and second-story additions and a new basement for an existing nonconforming single-family residence. The design of the home with a mix of horizontal and shingle siding and the second-story massing located at the rear of the existing nonconforming single-family residence will fit in nicely with the existing neighborhood. The project will maintain the character and integrity of the neighborhood.

### **VARIANCE FINDINGS**

**A. Special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, exist on the site and the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification;**

The subject property is relatively small by Capitola standards (2,439 square feet) with a narrow street frontage (30 feet), while the average front property width on Depot Hill is 40 feet. Due to the property size and the width along the street frontage, the strict application of the parking standards and landscaping requirement would deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.

The nonconforming structure, while not itself historic, was built in 1947 in a location that was previously occupied by a similarly sized outbuilding since at least 1905 and is located within a potential Depot Hill Historic District. The small size of the structure (675 square feet) is consistent with other structures in the neighborhood built around the same time period, but it would limit the size of an addition which complies with the nonconforming structural alteration limit to well below the maximum floor area for the lot size. Therefore, the strict application of the nonconforming structural alteration limit would deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.

**B. The grant of a variance would not constitute a grant of a special privilege inconsistent with the limitation upon other properties in the vicinity and zone in which subject property is situated.**

The majority of properties on the block have either no onsite parking or substandard onsite parking and do not provide two feet of landscaping between required parking spaces in the front setback and the side lot line. Therefore, the approval of a variance for the parking standards and landscaping requirement would not be a grant of special privilege inconsistent with the limitation upon other properties in the vicinity and zone in which the property the property is situated.

The majority of structures in the neighborhood built around the same time period are small and do not comply with required front or side setbacks and many of these properties have received variances to exceed the nonconforming structural alteration limit. Therefore, the approval of a variance for the nonconforming structural alteration limit would not be a grant of special privilege inconsistent with the limitation upon other properties in the vicinity and zone in which the property the property is situated.

**CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) FINDINGS**

**A. This project is categorically exempt under Section 15332 of the California Environmental Quality Act and is subject to Section 753.5 of Title 14 of the California Code of Regulations.**

Section 15332 of the CEQA Guidelines exempts projects characterized as in-fill development when the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; the project site has no value as habitat for endangered, rare, or threatened species; the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and the site can be adequately served by all required utilities and public services. This project involves first- and second-story additions and a new basement for an existing home within the R-1 (Single-Family Residential) zoning district. The proposed project is consistent with the in-fill development exemption and no adverse environmental impacts



were discovered during review of the proposed project.

## **COASTAL FINDINGS**

### **A. Findings Required.**

1. **A coastal permit shall be granted only upon adoption of specific written factual findings supporting the conclusion that the proposed development conforms to the certified Local Coastal Program, including, but not limited to:**
  - a. A statement of the individual and cumulative burdens imposed on public access and recreation opportunities based on applicable factors identified pursuant to subsection (D)(2) of this section. The type of affected public access and recreation opportunities shall be clearly described;
  - b. An analysis based on applicable factors identified in subsection (D)(2) of this section of the necessity for requiring public access conditions to find the project consistent with the public access provisions of the Coastal Act;
  - c. A description of the legitimate governmental interest furthered by any access conditioned required;
  - d. An explanation of how imposition of an access dedication requirement alleviates the access burdens identified.
    - The proposed development conforms to the City's certified Local Coastal Plan (LCP). The specific, factual findings, as per CMC Section 17.46.090(D) are as follows:
2. **Require Project-Specific Findings. In determining any requirement for public access, including the type of access and character of use, the city shall evaluate and document in written findings the factors identified in subsections (D)(2)(a) through (e), to the extent applicable. The findings shall explain the basis for the conclusions and decisions of the city and shall be supported by substantial evidence in the record. If an access dedication is required as a condition of approval, the findings shall explain how the adverse effects which have been identified will be alleviated or mitigated by the dedication. As used in this section, "cumulative effect" means the effect of the individual project in combination with the effects of past projects, other current projects, and probable future projects, including development allowed under applicable planning and zoning.**
  - a. **Project Effects on Demand for Access and Recreation.** Identification of existing and open public access and coastal recreation areas and facilities in the regional and local vicinity of the development. Analysis of the project's effects upon existing public access and recreation opportunities. Analysis of the project's cumulative effects upon the use and capacity of the identified access and recreation opportunities, including public tidelands and beach resources, and upon the capacity of major coastal roads from subdivision, intensification or cumulative buildout. Projection for the anticipated demand and need for increased coastal access and recreation opportunities for the public. Analysis of the contribution of the project's cumulative effects to any such projected increase. Description of the physical characteristics of the site and its proximity to the sea, tideland viewing points, upland recreation areas, and trail linkages to tidelands or recreation areas. Analysis of the importance and potential of the site, because of its location or other characteristics, for creating, preserving or enhancing public access to tidelands or public recreation opportunities;
    - The proposed project is located at 205 El Salto Drive. The home is not located in an area with coastal access. The home will not have an effect on public trails or beach access.

- b. **Shoreline Processes.** Description of the existing shoreline conditions, including beach profile, accessibility and usability of the beach, history of erosion or accretion, character and sources of sand, wave and sand movement, presence of shoreline protective structures, location of the line of mean high tide during the season when the beach is at its narrowest (generally during the late winter) and the proximity of that line to existing structures, and any other factors which substantially characterize or affect the shoreline processes at the site. Identification of anticipated changes to shoreline processes at the site. Identification of anticipated changes to shoreline processes and beach profile unrelated to the proposed development. Description and analysis of any reasonably likely changes, attributable to the primary and cumulative effects of the project, to: wave and sand movement affecting beaches in the vicinity of the project; the profile of the beach; the character, extent, accessibility and usability of the beach; and any other factors which characterize or affect beaches in the vicinity. Analysis of the effect of any identified changes of the project, alone or in combination with other anticipated changes, will have upon the ability of the public to use public tidelands and shoreline recreation areas;
- The proposed project is located along El Salto Drive. No portion of the project is located along the shoreline or beach.
- c. **Historic Public Use.** Evidence of use of the site by members of the general public for a continuous five-year period (such use may be seasonal). Evidence of the type and character of use made by the public (vertical, lateral, blufftop, etc., and for passive and/or active recreational use, etc.). Identification of any agency (or person) who has maintained and/or improved the area subject to historic public use and the nature of the maintenance performed and improvements made. Identification of the record owner of the area historically used by the public and any attempts by the owner to prohibit public use of the area, including the success or failure of those attempts. Description of the potential for adverse impact on public use of the area from the proposed development (including but not limited to, creation of physical or psychological impediments to public use);
- There is not a history of public use on the subject lot.
- d. **Physical Obstructions.** Description of any physical aspects of the development which block or impede the ability of the public to get to or along the tidelands, public recreation areas, or other public coastal resources or to see the shoreline;
- The proposed project is located on private property on El Salto Drive. The project will not block or impede the ability of the public to get to or along the tidelands, public recreation areas, or views to the shoreline.
- e. **Other Adverse Impacts on Access and Recreation.** Description of the development's physical proximity and relationship to the shoreline and any public recreation area. Analysis of the extent of which buildings, walls, signs, streets or other aspects of the development, individually or cumulatively, are likely to diminish the public's use of tidelands or lands committed to public recreation. Description of any alteration of the aesthetic, visual or recreational value of public use areas, and of any diminution of the quality or amount of recreational use of public lands which may be attributable to the individual or cumulative effects of the development.
- The proposed project is located on private property that will not impact access and recreation. The project does not diminish the public's use of tidelands or



lands committed to public recreation nor alter the aesthetic, visual, or recreational value of public use areas.

3. **Required Findings for Public Access Exceptions. Any determination that one of the exceptions of subsection (F)(2) applies to a development shall be supported by written findings of fact, analysis and conclusions which address all of the following:**
  - a. The type of access potentially applicable to the site involved (vertical, lateral, bluff top, etc.) and its location in relation to the fragile coastal resource to be protected, the agricultural use, the public safety concern, or the military facility which is the basis for the exception, as applicable;
  - b. Unavailability of any mitigating measures to manage the type, character, intensity, hours, season or location of such use so that agricultural resources, fragile coastal resources, public safety, or military security, as applicable, are protected;
  - c. Ability of the public, through another reasonable means, to reach the same area of public tidelands as would be made accessible by an accessway on the subject land.
    - The project is not requesting a Public Access Exception, therefore these findings do not apply.
  
4. **Findings for Management Plan Conditions. Written findings in support of a condition requiring a management plan for regulating the time and manner or character of public access use must address the following factors, as applicable:**
  - a. Identification and protection of specific habitat values including the reasons supporting the conclusions that such values must be protected by limiting the hours, seasons, or character of public use;
    - The project is located in a residential area without sensitive habitat areas.
  - b. Topographic constraints of the development site;
    - The project is located on a flat lot.
  - c. Recreational needs of the public;
    - The project does not impact the recreational needs of the public.
  - d. Rights of privacy of the landowner which could not be mitigated by setting the project back from the access way or otherwise conditioning the development;
  - e. The requirements of the possible accepting agency, if an offer of dedication is the mechanism for securing public access;
  - f. Feasibility of adequate setbacks, fencing, landscaping, and other methods as part of a management plan to regulate public use.
  
5. **Project complies with public access requirements, including submittal of appropriate legal documents to ensure the right of public access whenever, and as, required by the certified land use plan and Section 17.46.010 (coastal access requirements);**
  - No legal documents to ensure public access rights are required for the proposed project.
  
6. **Project complies with visitor-serving and recreational use policies;**

**SEC. 30222**

**The use of private lands suitable for visitor-serving commercial recreational facilities designed to enhance public opportunities for coastal recreation shall have priority over private residential, general industrial, or general commercial development, but not over agriculture or coastal-dependent industry.**

- The project involves first- and second-story additions and a new basement on a residential lot of record.

**SEC. 30223**

**Upland areas necessary to support coastal recreational uses shall be reserved for such uses, where feasible.**

- The project involves first- and second-story additions and a new basement on a residential lot of record.

**c) Visitor-serving facilities that cannot be feasibly located in existing developed areas shall be located in existing isolated developments or at selected points of attraction for visitors.**

- The project involves first- and second-story additions and a new basement on a residential lot of record.

**7. Project complies with applicable standards and requirements for provision of public and private parking, pedestrian access, alternate means of transportation and/or traffic improvements;**

- The project involves the construction of first- and second-story additions and a new basement. The project complies with applicable standards and requirements for provision for parking, pedestrian access, alternate means of transportation, and/or traffic improvements.

**8. Review of project design, site plan, signing, lighting, landscaping, etc., by the city's architectural and site review committee, and compliance with adopted design guidelines and standards, and review committee recommendations;**

- The project complies with the design guidelines and standards established by the Municipal Code.

**9. Project complies with LCP policies regarding protection of public landmarks, protection or provision of public views; and shall not block or detract from public views to and along Capitola's shoreline;**

- The project will not negatively impact public landmarks and/or public views. The project will not block or detract from public views to and along Capitola's shoreline.

**10. Demonstrated availability and adequacy of water and sewer services;**

- The project is located on a legal lot of record with available water and sewer services.

**11. Provisions of minimum water flow rates and fire response times;**

- The project is located 0.4 miles from the Central Fire Protection District Capitola Station. Water is available at the location.

**12. Project complies with water and energy conservation standards;**

- The project is for first- and second-story additions and a new basement. The GHG emissions for the project are projected at less than significant impact. All water fixtures must comply with the low-flow standards of the Soquel Creek Water District.

**13. Provision of park dedication, school impact, and other fees as may be required;**

- The project will be required to pay appropriate fees prior to building permit issuance.

**14. Project complies with coastal housing policies, and applicable ordinances including condominium conversion and mobile home ordinances;**

- The project does not involve a condo conversion or mobile homes.

**15. Project complies with natural resource, habitat, and archaeological protection policies;**

- Conditions of approval have been included to ensure compliance with established policies.

**16. Project complies with Monarch butterfly habitat protection policies;**

- The project is outside of any identified sensitive habitats, specifically areas where Monarch Butterflies have been encountered, identified and documented.

**17. Project provides drainage and erosion and control measures to protect marine, stream, and wetland water quality from urban runoff and erosion;**

- Conditions of approval have been included to ensure compliance with applicable erosion control measures.

**18. Geologic/engineering reports have been prepared by qualified professional for projects in seismic areas, geologically unstable areas, or coastal bluffs, and project complies with hazard protection policies including provision of appropriate setbacks and mitigation measures;**

- Geologic/engineering reports have been prepared by qualified professionals for this project. Conditions of approval have been included to ensure the project applicant shall comply with all applicable requirements of the most recent version of the California Building Standards Code.

**19. All other geological, flood and fire hazards are accounted for and mitigated in the project design;**

- Conditions of approval have been included to ensure the project complies with geological, flood, and fire hazards and are accounted for and will be mitigated in the project design.

**20. Project complies with shoreline structure policies;**

- The proposed project is not located along a shoreline.

**21. The uses proposed are consistent with the permitted or conditional uses of the zoning district in which the project is located;**

- This use is an allowed use consistent with the R-1 (Single-Family Residential) zoning district.

**22. Conformance to requirements of all other city ordinances, zoning requirements, and project review procedures; and**

- The project conforms to the requirements of all city ordinances, zoning requirements, and project development review and development procedures.

**23. Project complies with the Capitola parking permit program as follows:**

- a. The village area preferential parking program areas and conditions as established in Resolution No. 2596 and no permit parking of any kind shall be allowed on Capitola Avenue.
  - b. The neighborhood preferential parking program areas are as established in Resolution Numbers 2433 and 2510.
  - c. The village area preferential parking program shall be limited to three hundred fifty permits.
  - d. Neighborhood permit areas are only in force when the shuttle bus is operating except that:
    - i. The Fanmar area (Resolution No. 2436) program may operate year-round, twenty-four hours a day on weekends,
    - ii. The Burlingame, Cliff Avenue/Grand Avenue area (Resolution No. 2435) have year-round, twenty-four hour per day “no public parking.”
  - e. Except as specifically allowed under the village parking program, no preferential residential parking may be allowed in the Cliff Drive parking areas.
  - f. Six Depot Hill twenty-four minute “Vista” parking spaces (Resolution No. 2510) shall be provided as corrected in Exhibit A attached to the ordinance codified in this section and found on file in the office of the city clerk.
  - g. A limit of fifty permits for the Pacific Cove parking lot may be issued to village permit holders and transient occupancy permit holders.
  - h. No additional development in the village that intensifies use and requires additional parking shall be permitted. Changes in use that do not result in additional parking demand can be allowed and exceptions for onsite parking as allowed in the land use plan can be made.
- The project site is not located within the area of the Capitola parking permit program.

<b>RESULT:</b>	<b>APPROVED AS AMENDED [UNANIMOUS]</b>
<b>MOVER:</b>	Susan Westman
<b>SECONDER:</b>	Courtney Christiansen
<b>AYES:</b>	Courtney Christiansen, Ed Newman, Susan Westman, Peter Wilk, Mick Routh

**B. 201 Capitola Avenue #20-0444 APN: 035-231-09**

Design Permit and Conditional Use Permit Amendments for a new entryway, windows, and an awning for an historic commercial structure located within the C-V (Central Village) zoning district.

This project is in the Coastal Zone but does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: Rick Avia

Representative: Frank Phanton, Architect, Filed: 10.28.2020

Commissioners Newman and Wilk recused themselves due to proximity.

Associate Planner Orbach presented the staff report.

Commissioner Westman requested clarification on the plans. Associate Planner Orbach provided information regarding the awning's design and colors.

Commissioner Christiansen stated that she would like more depth in the applicant's design. Associate Planner Orbach stated additional details that were approved by the historian were included in the conditions of approval and on the plan set.

Frank Phanton, representative of the project, confirmed additional design details.

MOTION: Approve the design permit and conditional use permit with the following conditions and findings.

**CONDITIONS**

1. The project approval consists of design permit and conditional use permit amendments for a new entryway, windows, and an awning for an historic commercial structure. The maximum Floor Area Ratio for the 5,140-square-foot property is 2.0 (10,280 square feet). The total FAR of the project is 0.93 with a total of 4,796 square feet, compliant with the maximum FAR within the zone. The proposed project is approved as indicated on the final plans reviewed and approved by the Planning Commission on March 4, 2021, except as modified through conditions imposed by the Planning Commission during the hearing.
2. Prior to construction, a building permit shall be secured for any new construction or modifications to structures authorized by this permit. Final building plans shall be consistent with the plans approved by the Planning Commission. All construction and site improvements shall be completed according to the approved plans
3. At time of submittal for building permit review, the Conditions of Approval must be printed in full on the cover sheet of the construction plans.

4. At time of submittal for building permit review, Public Works Standard Detail SMP STRM shall be printed in full and incorporated as a sheet into the construction plans. All construction shall be done in accordance with the Public Works Standard Detail BMP STRM.
5. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or exterior appearance of the structure shall require Planning Commission approval.
6. Prior to issuance of building permit, all Planning fees associated with permit #20-0444 shall be paid in full.
7. Prior to issuance of building permit, the developer shall pay Affordable housing in-lieu fees as required to assure compliance with the City of Capitola Affordable (Inclusionary) Housing Ordinance.
8. Prior to issuance of a building permit, the applicant must provide documentation of plan approval by the following entities: Santa Cruz County Sanitation Department, Soquel Creek Water District, and Central Fire Protection District.
9. Prior to issuance of building permits, a drainage plan, grading, sediment and erosion control plan, shall be submitted to the City and approved by Public Works. The plans shall be in compliance with the requirements specified in Capitola Municipal Code Chapter 13.16 Storm Water Pollution Prevention and Protection.
10. Prior to issuance of building permits, the applicant shall submit a stormwater management plan to the satisfaction of the Director of Public Works which implements all applicable Post Construction Requirements (PCRs) and Public Works Standard Details, including all standards relating to low impact development (LID).
11. Prior to any land disturbance, a pre-site inspection must be conducted by the grading official to verify compliance with the approved erosion and sediment control plan.
12. Prior to any work in the City road right of way, an encroachment permit shall be acquired by the contractor performing the work. No material or equipment storage may be placed in the road right-of-way.
13. During construction, any construction activity shall be subject to a construction noise curfew, except when otherwise specified in the building permit issued by the City. Construction noise shall be prohibited between the hours of nine p.m. and seven-thirty a.m. on weekdays. Construction noise shall be prohibited on weekends with the exception of Saturday work between nine a.m. and four p.m. or emergency work approved by the building official. §9.12.010B
14. Prior to a project final, all cracked or broken driveway approaches, curb, gutter, or sidewalk shall be replaced per the Public Works Standard Details and to the satisfaction of the Public Works Department. All replaced driveway approaches, curb, gutter or sidewalk shall meet current Accessibility Standards.
15. Prior to issuance of a Certificate of Occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Community Development



Director. Upon evidence of non-compliance with conditions of approval or applicable municipal code provisions, the applicant shall remedy the non-compliance to the satisfaction of the Community Development Director or shall file an application for a permit amendment for Planning Commission consideration. Failure to remedy a non-compliance in a timely manner may result in permit revocation.

16. This permit shall expire 24 months from the date of issuance. The applicant shall have an approved building permit and construction underway before this date to prevent permit expiration. Applications for extension may be submitted by the applicant prior to expiration pursuant to Municipal Code section 17.81.160.
17. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
18. Upon receipt of certificate of occupancy, garbage and recycling containers shall be placed out of public view on non-collection days.
19. At time of building plan submittal, the plans shall include language on the cover sheet referring to the property as an "Historic Resource", requiring review of all design revisions, and that the project should include notes that the existing historic elements are to be protected during construction.
20. New commercial display windows, transom windows, and entrance doors shall have anodized aluminum frames.
21. New commercial display windows and transom windows shall be sized so that they have bullnose stucco on both sides as well as at the top.
22. Exterior display-window sills and aprons shall be traditional forms of wood or of anodized aluminum, or the stucco bullnose shall wrap the base of the window frames.
23. Note for windows to "match existing" shall apply only to the upstairs windows, not to the display windows.
24. Material of the apartment door shall be differentiated from the historic building.
25. New awning above the apartment door shall be differentiated from the recent awnings used on the historic building (e.g., by matching the color and/or the form of the awning at the storefront at 121 San Jose Avenue).
26. Prior to Planning final, existing awnings adjacent to San Jose Avenue and Capitola Avenue that were painted over shall be replaced in kind.

### **DESIGN PERMIT FINDINGS**

#### **A. The project, subject to the conditions imposed, secures the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.**

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the project. The proposed design permit and conditional use permit amendments for a new entryway, windows, and an awning for an historic commercial structure comply with the development standards of the C-V (Central Village) Zoning District. The project secures the purpose of the Zoning Ordinance,

General Plan, and Local Coastal Plan

**B. The project will maintain the character and integrity of the neighborhood.**

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the application for design permit and conditional use permit amendments for a new entryway, windows, and an awning for an historic commercial structure. The remodel, which retains the historic integrity of the building and adds a second new store frontage along San Jose Avenue, will fit in nicely with the existing neighborhood. The project will maintain the character and integrity of the neighborhood.

**CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) FINDINGS**

**A. This project is categorically exempt under Section 15331 of the California Environmental Quality Act and is subject to Section 753.5 of Title 14 of the California Code of Regulations.**

Section 15331 of the CEQA Guidelines exempts rehabilitation projects of historic resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic buildings. The proposed project is consistent with the Secretary of the Interior's Standards and no adverse environmental impacts were discovered by Planning Staff during the review of the proposed project.

**CONDITIONAL USE PERMIT FINDINGS**

**A. The action proposed will not be significantly detrimental to the historic feature in which the change in use is to occur.**

Architectural Historian Leslie Dill reviewed the project for compatibility with the *Secretary of the Interior's Standards for Rehabilitation* and found that the proposed plan amendments comply with the *Secretary of the Interior's Standards for Rehabilitation*. The project will not be significantly detrimental to the historic feature in which the change in use is to occur.

<b>RESULT:</b>	<b>APPROVED [3-0]</b>
<b>MOVER:</b>	Susan Westman
<b>SECONDER:</b>	Courtney Christiansen
<b>AYES:</b>	Courtney Christiansen, Susan Westman, Mick Routh
<b>RECUSED:</b>	Ed Newman, Peter Wilk

**C. 835 Bay Avenue #21-0017 APN: 035-381-01**

Conditional Use Permit for the storage of vehicles for the Toyota dealership located within the C-C (Community Commercial) zoning district.

This project is not in the Coastal Zone and does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: Redtree Partners LP

Representative: Sven Davis, Filed: 01.15.2021

This item was pulled from the agenda.

**5. DIRECTOR'S REPORT**



Director Herlihy stated that the Coastal Commission approved the zoning code update to move forward with few modifications. Director Herlihy reminded the Commission that the non-conforming and geological hazards chapters were not included in the update.

#### **6. COMMISSION COMMUNICATIONS**

Commissioner Newman requested input from the Commission regarding the City's lack of enforcement of Capitola's sign ordinance. He noticed an increase in non-compliance, particularly on 41<sup>st</sup> Ave. He questioned whether the sign ordinance should exist if it is not enforced.

Commissioner Westman concurred with Commissioner Newman, but stated that the sign ordinance should remain and be enforced.

Commissioner Westman and Commissioner Wilk stated they would like a general discussion on code enforcement. Chair Routh suggested the Commission conduct a study session to discuss these topics.

Director Herlihy stated she can raise these concerns to the City Manager's attention and determine whether the City Council would like a proactive approach to code enforcement.

Chair Routh would like the City Manager to conduct a meeting with City Hall staff to address these concerns.

Chair Routh added he will not be present for the next meeting.

#### **7. ADJOURNMENT**

The meeting was adjourned at 7:53 P.M. to the next regular meeting of the Planning Commission to April 01, 2021.

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Edna Basa, Clerk to the Commission



## STAFF REPORT

TO: PLANNING COMMISSION  
 FROM: COMMUNITY DEVELOPMENT  
 DATE: APRIL 1, 2021  
 SUBJECT: **1400 47th Avenue #21-0038 APN: 034-064-20**

Design Permit for a second-story addition to a nonconforming single-family residence located within the R-1 (Single-Family Residential) zoning district. This project is in the Coastal Zone but does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption  
 Property Owner: Steven Thompson  
 Representative: Stephen Thompson, Filed: 02.04.2021

### **APPLICANT PROPOSAL**

The applicant is proposing a 434-square-foot second-story addition with a 141-square-foot second-story balcony to a nonconforming single-family residence located at 1400 47<sup>th</sup> Avenue within the R-1 (Single-Family Residential) zoning district.

### **BACKGROUND**

In 2010, the Planning Commission approved a 447-square-foot second-story addition with a 143-square-foot second-story balcony under permit #10-0045. The permit was not exercised within two years of the approval and expired in 2012.

On March 10, 2021, the Architectural and Site Review Committee reviewed the application and provided the applicant with the following direction:

Public Works Representative, Danielle Uharriet: informed the applicant of the public works and stormwater standard conditions of approval for the project.

Building Official, Robin Woodman: discussed the first-story bedroom and informed the applicant that smoke detectors would be required in that room.

Local Architect, Frank Phanton: provided positive feedback on the project design.

Associate Planner, Matt Orbach: had no comments.

Following the Architecture & Site Review Committee meeting, the applicant did not make any modifications to the plan set.

### **Development Standards**

The following table outlines the zoning code requirements for development in the R-1 Zoning District. The addition complies with all development standards of the R-1 zoning district.

### R-1 (Single Family Residential) Zoning District

Development Standards					
Building Height					
R-1 Regulation		Existing		Proposed	
25 ft.		13 ft. 3 in.		22 ft. 3 in.	
Floor Area Ratio (FAR)					
		Existing		Proposed	
Lot Size		3,360 sq. ft.		3,360 sq. ft.	
Maximum Floor Area Ratio		56% (Max 1,882 sq. ft.)		56% (Max 1,882 sq. ft.)	
First Story Floor Area		1,295 sq. ft.		1,295 sq. ft.	
Second Story Floor Area		N/A		434 sq. ft.	
Deck/Covered Ext. Space		54 sq. ft.		195 sq. ft.	
Deck/Covered Ext. Exception		-54 sq. ft. (Max 150 sq. ft.)		-150 sq. ft.	
TOTAL FAR		39% (1,295 sq. ft.)		53% (1,774 sq. ft.)	
Yards (setbacks are measured from the edge of the public right-of-way)					
		R-1 Regulation		Existing	Proposed
Front Yard 1 <sup>st</sup> Story		15 ft.		9 ft. <b>Existing Nonconforming</b>	9 ft. <b>Existing Nonconforming</b>
Front Yard 2 <sup>nd</sup> Story & Garage		20 ft.		N/A (2 <sup>nd</sup> Story) N/A (Garage)	35 ft. 4 in. (2 <sup>nd</sup> Story) N/A (Garage)
Side Yard 1 <sup>st</sup> Story – Interior Side		10% lot width	Lot width: 42 ft. 4 ft. 3 in.	7 ft. 0 in. (east)	7 ft. 0 in. (east)
Side Yard 1 <sup>st</sup> Story – Exterior Side		10 ft.		9 ft. 8 in. (west) <b>Existing Nonconforming</b>	9 ft. 8 in. (west) <b>Existing Nonconforming</b>
Side Yard 2 <sup>nd</sup> Story – Interior Side		15% of width	Lot width: 42 ft. 6 ft. 4 in.	N/A	7 ft. 0 in. (east)
Side Yard 2 <sup>nd</sup> Story – Exterior Side		10 ft.		N/A	10 ft. 8 in. (west)
Rear Yard 1 <sup>st</sup> Story		4 ft.	Minimum interior side setback of adjacent property or 4 ft., whichever is less  4 ft.	13 ft. 9 in.	13 ft. 9 in.
Rear Yard 2 <sup>nd</sup> Story		4 ft.	Minimum	N/A	16 ft.

		interior side setback of adjacent property or 4 ft., whichever is less  4 ft.		
<b>Encroachments (list all)</b>	Existing residence encroaches into front and exterior side yard setbacks.			
<b>Parking</b>				
	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	
<b>Residential (from <u>1,501</u> up to <u>2,000</u> sq. ft.)</b>	2 spaces total 1 covered 1 uncovered	1 space total 1 covered 0 uncovered	2 spaces total 1 covered 1 uncovered	
<b>Underground Utilities: Required with 25% increase in floor area</b>			Required	

**DISCUSSION**

The existing residence at 1400 47<sup>th</sup> Avenue is a nonconforming, one-story, single-family residence. The lot is located in the Jewel Box neighborhood and is surrounded by one- and two-story single-family homes.

The applicant is proposing to construct a 434-square-foot second-story addition, including a new second story and a 141-square-foot second-story balcony. The new second-story addition is located towards the back of the existing structure. The proposed design includes a Dutch hip roof with composition shingles and vertical siding to match the existing first story. The proposed balcony, located in the middle of the residence, has horizontal shiplap siding.

**Nonconforming**

The existing structure is located within the first-story front setback and the first-story side setback along 47<sup>th</sup> Avenue. The existing structure does not comply with the setback regulations of the zoning code and therefore is a legal non-conforming structure. Pursuant to Capitola Municipal Code (CMC) §17.72.070, if proposed structural alterations to an existing non-complying structure exceed 80% of the present fair market value of the structure, the proposed structural alterations may not be made. The applicant has submitted a construction cost breakdown demonstrating that the proposed structural alterations are 46% of the present fair market value of the structure, so the alterations are permissible.

**Parking**

Pursuant to CMC §17.51.135(B), if a structure with nonconforming parking is enlarged by more than ten percent of the existing gross floor area, parking requirements shall be met. The existing structure requires two parking spaces, but there is only one existing covered parking space on the site, so the structure has nonconforming parking. The proposed addition is 34 percent of the existing gross floor area, so parking requirements must be met. With the addition, the proposed structure requires two parking spaces, one of which must be covered. The applicant is proposing one additional uncovered parking space on the site, for a total of one covered parking space and one uncovered parking space, therefore the project complies with CMC §17.51.135(B).

**CEQA**

Section 15301(e) of the CEQA Guidelines exempts additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less. The proposed additions add 434 square feet (34%) of floor area, so this exemption applies. No adverse environmental impacts were discovered during project review by Planning Department Staff.

### **RECOMMENDATION**

Staff recommends the Planning Commission review and approve project application #21-0038 based on the following Conditions and Findings for Approval.

### **CONDITIONS OF APPROVAL**

1. The project approval consists of construction of a 434-square-foot second-story addition with a 141-square-foot second-story balcony. The maximum Floor Area Ratio for the 3,360-square-foot property is 56% (1,882 square feet). The total FAR of the project is 53% with a total of 1,774 square feet, compliant with the maximum FAR within the zone. The proposed project is approved as indicated on the final plans reviewed and approved by the Planning Commission on April 1, 2021, except as modified through conditions imposed by the Planning Commission during the hearing.
2. Prior to construction, a building permit shall be secured for any new construction or modifications to structures authorized by this permit. Final building plans shall be consistent with the plans approved by the Planning Commission. All construction and site improvements shall be completed according to the approved plans
3. At time of submittal for building permit review, the Conditions of Approval must be printed in full on the cover sheet of the construction plans.
4. At time of submittal for building permit review, Public Works Standard Detail SMP STRM shall be printed in full and incorporated as a sheet into the construction plans. All construction shall be done in accordance with the Public Works Standard Detail BMP STRM.
5. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or exterior appearance of the structure shall require Planning Commission approval.
6. Prior to issuance of building permit, all Planning fees associated with permit #21-0038 shall be paid in full.
7. Prior to issuance of building permit, the developer shall pay Affordable housing in-lieu fees as required to assure compliance with the City of Capitola Affordable (Inclusionary) Housing Ordinance.
8. Prior to issuance of a building permit, the applicant must provide documentation of plan approval by the following entities: Santa Cruz County Sanitation Department, Soquel Creek Water District, and Central Fire Protection District.
9. Prior to issuance of building permits, a drainage plan, grading, sediment and erosion control plan, shall be submitted to the City and approved by Public Works. The plans shall be in compliance with the requirements specified in Capitola Municipal Code Chapter 13.16 Storm Water Pollution Prevention and Protection.

10. Prior to issuance of building permits, the applicant shall submit a stormwater management plan to the satisfaction of the Director of Public Works which implements all applicable Post Construction Requirements (PCRs) and Public Works Standard Details, including all standards relating to low impact development (LID).
11. Prior to any land disturbance, a pre-site inspection must be conducted by the grading official to verify compliance with the approved erosion and sediment control plan.
12. Prior to any work in the City road right of way, an encroachment permit shall be acquired by the contractor performing the work. No material or equipment storage may be placed in the road right-of-way.
13. During construction, any construction activity shall be subject to a construction noise curfew, except when otherwise specified in the building permit issued by the City. Construction noise shall be prohibited between the hours of nine p.m. and seven-thirty a.m. on weekdays. Construction noise shall be prohibited on weekends with the exception of Saturday work between nine a.m. and four p.m. or emergency work approved by the building official. §9.12.010B
14. Prior to a project final, all cracked or broken driveway approaches, curb, gutter, or sidewalk shall be replaced per the Public Works Standard Details and to the satisfaction of the Public Works Department. All replaced driveway approaches, curb, gutter or sidewalk shall meet current Accessibility Standards.
15. Prior to issuance of a Certificate of Occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Community Development Director. Upon evidence of non-compliance with conditions of approval or applicable municipal code provisions, the applicant shall remedy the non-compliance to the satisfaction of the Community Development Director or shall file an application for a permit amendment for Planning Commission consideration. Failure to remedy a non-compliance in a timely manner may result in permit revocation.
16. This permit shall expire 24 months from the date of issuance. The applicant shall have an approved building permit and construction underway before this date to prevent permit expiration. Applications for extension may be submitted by the applicant prior to expiration pursuant to Municipal Code §17.81.160.
17. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
18. Upon receipt of certificate of occupancy, garbage and recycling containers shall be placed out of public view on non-collection days.
19. Prior to issuance of building permits, the building plans must show that the existing overhead utility lines will be underground to the nearest utility pole.

## **FINDINGS**

**A. The project, subject to the conditions imposed, secures the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.**

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the project. The proposed construction of a 434-square-foot second-story addition with a 141-square-foot second-story balcony complies with the development standards of the R-1 (Single-Family Residential) District. The project secures the purpose of the Zoning Ordinance, General Plan, and Local Coastal Plan

**B. The project will maintain the character and integrity of the neighborhood.**

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the application for the construction of a 434-square-foot second-story addition with a 141-square-foot second-story balcony. The design of the home, with a Dutch hip roof with composition shingles and vertical siding to match the existing first story, will fit in nicely with the existing neighborhood. The project will maintain the character and integrity of the neighborhood.

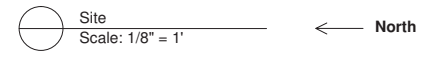
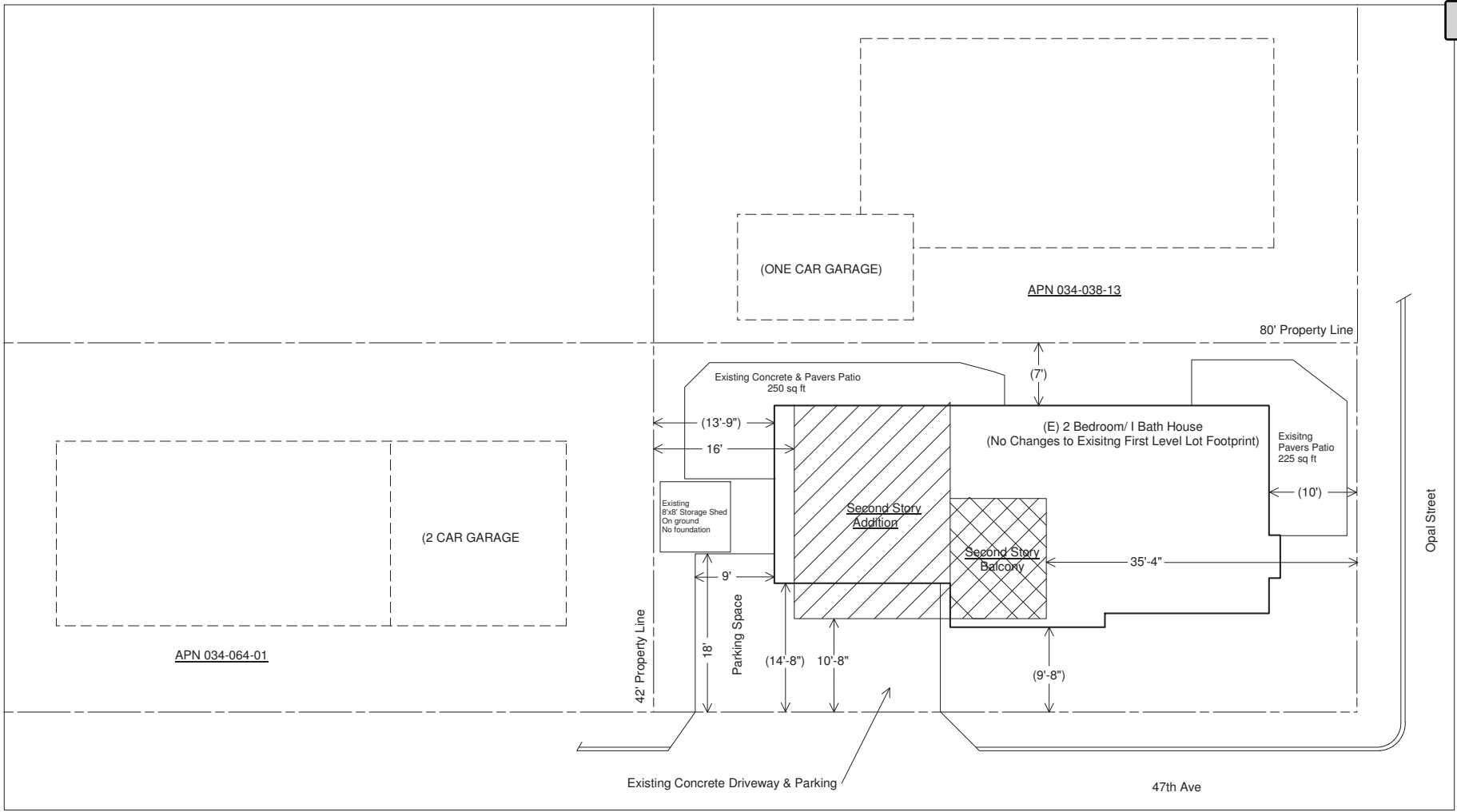
**C. This project is categorically exempt under Section 15301(e) of the California Environmental Quality Act and is subject to Section 753.5 of Title 14 of the California Code of Regulations.**

Section 15301(e) of the CEQA Guidelines exempts additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less. The proposed additions add 434 square feet (34%) of floor area, so this exemption applies. No adverse environmental impacts were discovered during project review by Planning Department Staff.

**ATTACHMENTS:**

1. 1400 47th Avenue - Full Plan Set - 03.04.2021
2. 1400 47th Avenue - Color and Materials Information
3. 1400 47th Avenue - Construction Cost Breakdown

Prepared By: Matt Orbach  
Associate Planner



**Project Description**  
Construct a Second Story Addition to an existing one story single family dwelling. The proposed second story addition is over the current garage. No changes to the existing first story lot footprint.

**Project Data:**  
Existing Bedrooms: 2  
New Bedrooms: 1  
Total Proposed Bedrooms: 3

Existing Bathrooms: 1  
New Bathrooms: 1  
Total Proposed Bathrooms: 2

Proposed Second Story Balcony: 1

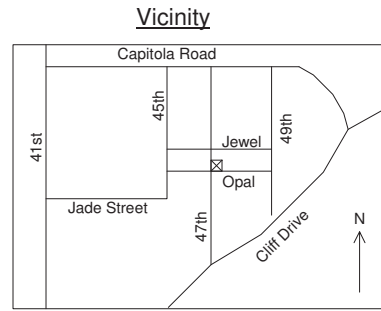
**General Project Notes**  
1. Current Parking: (1) Uncovered, (1) Covered (Same after addition)  
2. All mature landscape to remain after completion of construction

**Area Calculations**

Existing Building Area  
Garage Area: 377 sq. ft.  
Floor Area: 903 sq. ft.  
Total Building Area: 1,280 sq. ft.

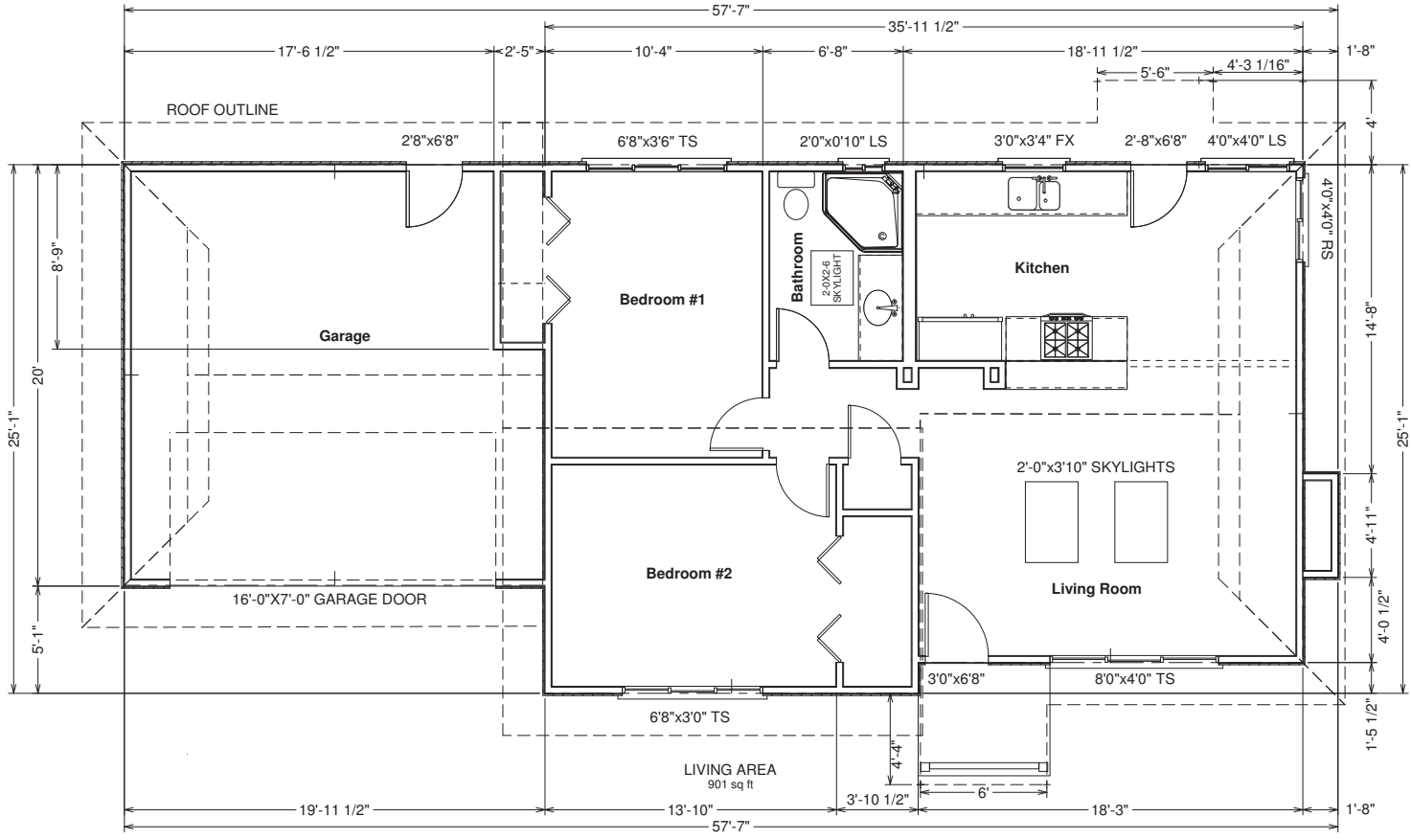
Proposed Building Area:  
Garage: 334 sq. ft.  
First Story Floor Area: 946 sq. ft.  
Second Story Floor Area: 435 sq. ft.  
Second Story Balcony: 143 sq. ft.  
Total Proposed Building Area: 1,858 sq. ft.

Net Parcel Area: 3,360 sq. ft.  
Floor Area Ratio: 55.3% (1,858/3,360)  
Total Habitable Floor Area: 1,386 sq. ft.  
**New/ Added Habitable Floor Area: 477 sq. ft.**



SHEET INDEX	
A1	Site & Vicinity
A2	Existing Floor
A3	New Addition Floor
A4	Existing
A5	New Elevations (East & West)
A6	New Elevations (North & South)
A7	New Orthographic
A8	Lot Survey, Site Plan





Existing Floor  
Scale: 1/4" = 1'



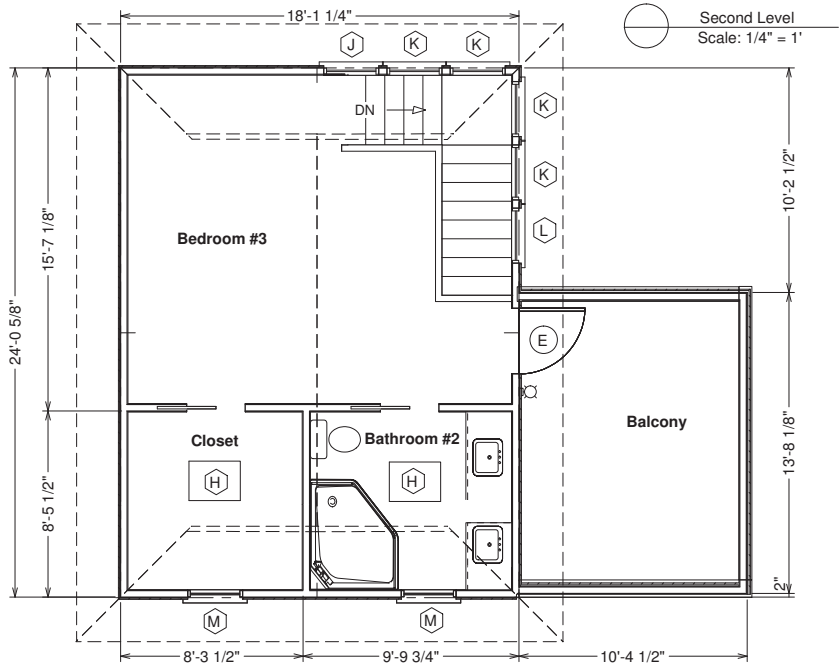
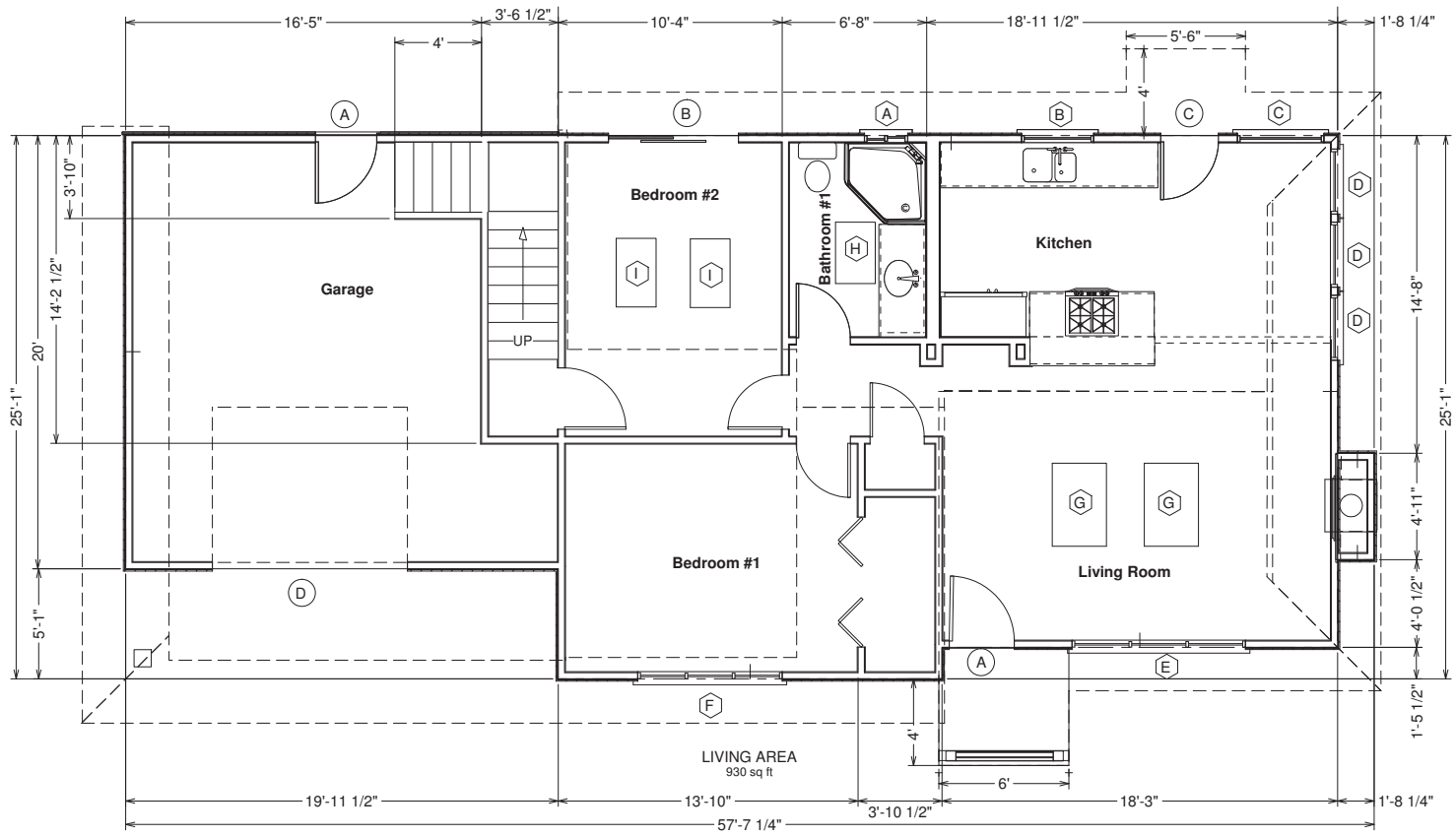
Thompson Residence  
1400 17th Ave Capitola CA  
Attachment: 1400 47th Avenue - Full Plan Set - 03.04.2021 (1400 47th Avenue)

STEVE THOMPSON  
P.O. BOX 936 CAPITOLA, CA 95010

DAT  
2/23/2

SHE

A



Window & Door Schedule

QTY	Window Size & Type	Symbo	Notes
1	2-0x10-10 Left Slider	(A)	ALL WINDOWS & SLIDING PATIO DOOR ARE WHITE VINYL, DOUBLE PANE LoE GLAZING
1	2-0x3-4 Picture	(B)	
1	4-0x4-0 Picture	(C)	
1	3-0x4-0 Single	(D)	
3	8-0x4-0 Triple Casement	(E)	ALL SKYLIGHTS, VELUX, DOUBLE PANE, LAMINATED
1	6-8x3-6 Triple Casement	(F)	
2	2-6x3-9	(G)	Egress
3	1-11x2-2 Skylight	(H)	
2	1-11x 3-1	(I)	
1	2-6x3-0 Left Casement	(J)	
4	2-6x3-0 Picture	(K)	
1	2-6x3-0 Right Casement	(L)	
2	2-6x3-0 Single	(M)	
		(N)	
QTY	Exterior Doors Size	Symbo	Notes
1	3-0x6-8	(A)	
1	5-0x6-8 Sliding Patio	(B)	Egress
1	2-8x6-8 Half-Light	(C)	
	9-0x7-0 Overhead	(D)	(1) Panel Section w/Glass
1	3-0x6-8 Full	(E)	Egress

STEVE THOMPSON  
P.O. BOX 936 CAPITOLA, CA 95010

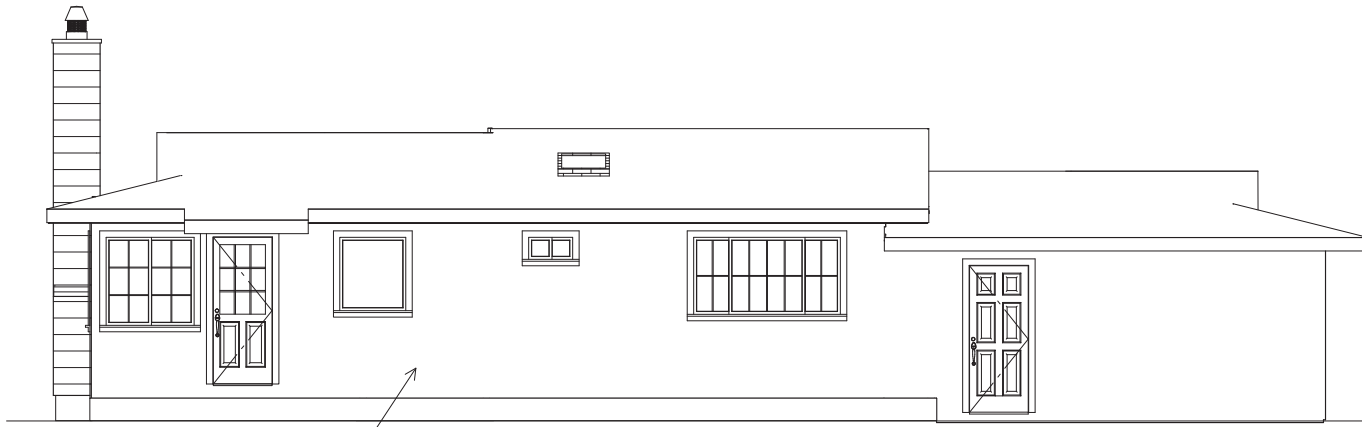
Existing  
Evicting  
Full Plan Set - 03.04.2021 (1400 47th Avenue)

Thompson Residence  
1400 47th Ave Capitola CA

DAT  
2/23/21

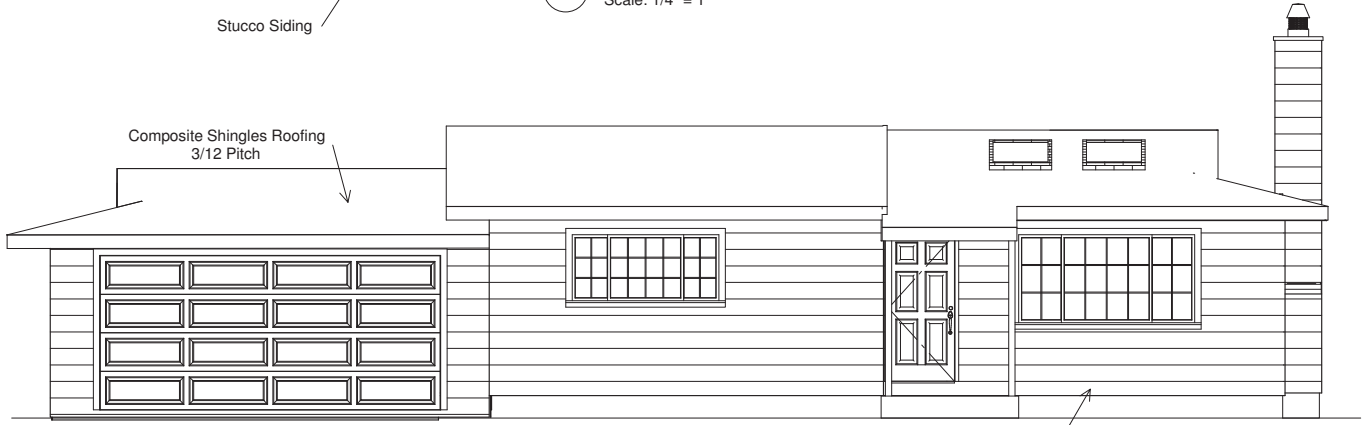
SHE

A.



East Elevation  
Scale: 1/4" = 1'

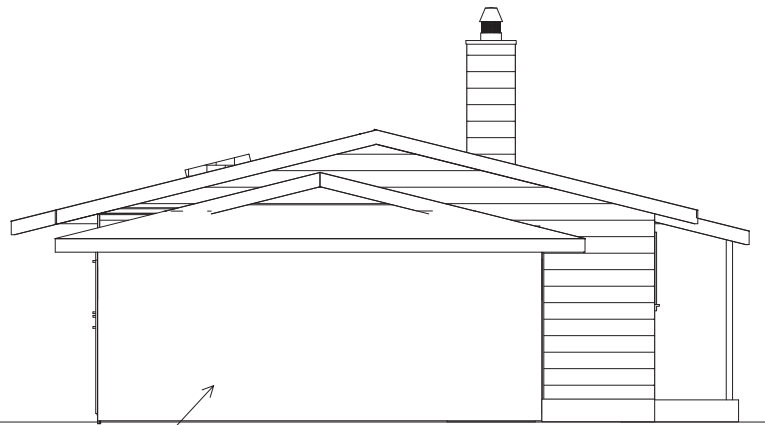
Stucco Siding



West Elevation (47th Ave)  
Scale: 1/4" = 1'

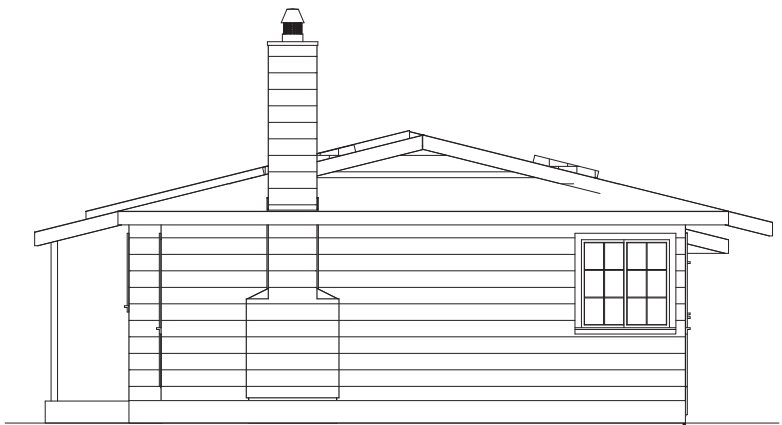
10" Bevel Siding

Composite Shingles Roofing  
3/12 Pitch

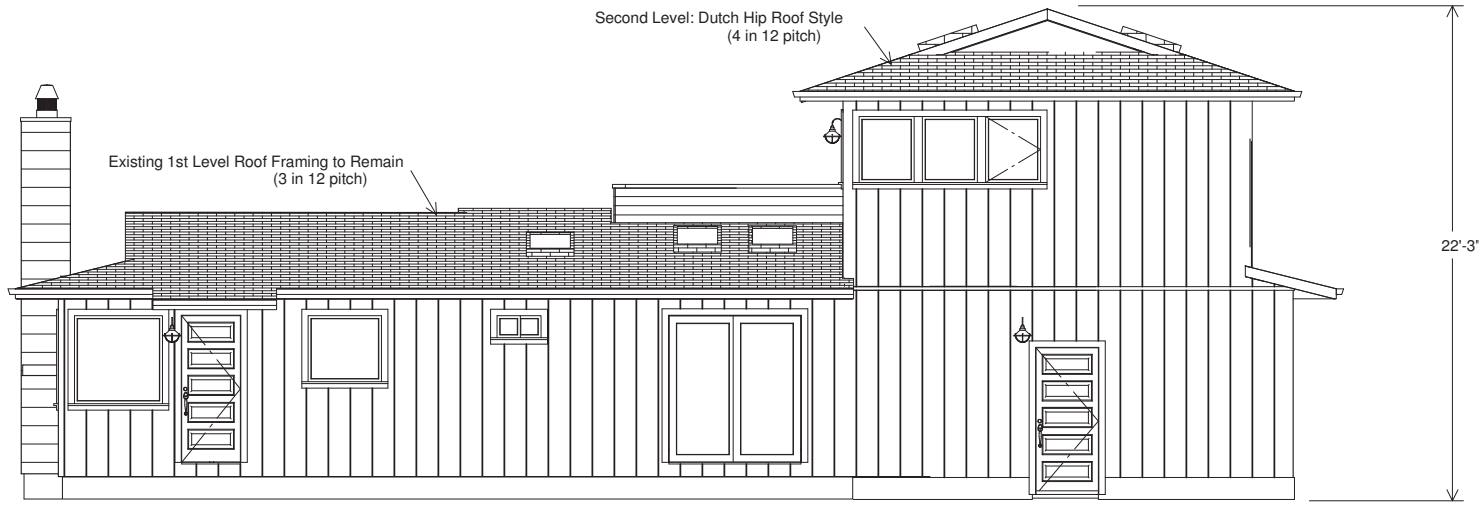


North Elevation  
Scale: 1/4" = 1'

Stucco Siding

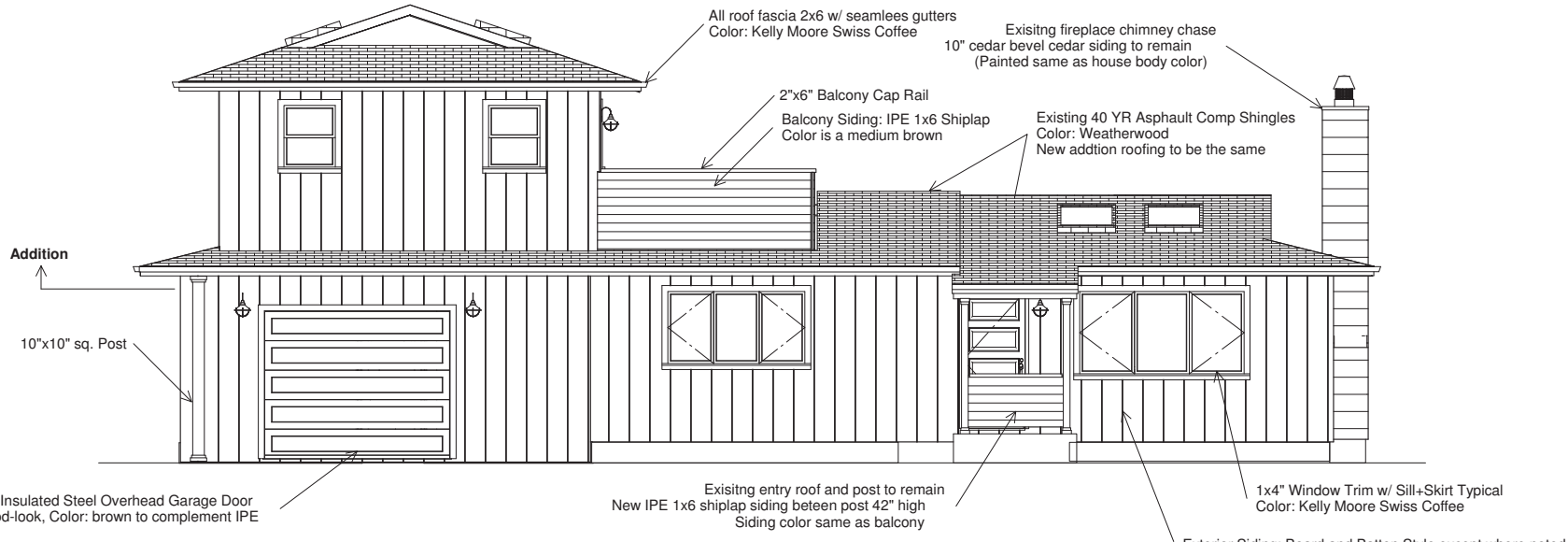


South Elevation (Opal Street)  
Scale: 1/4" = 1'

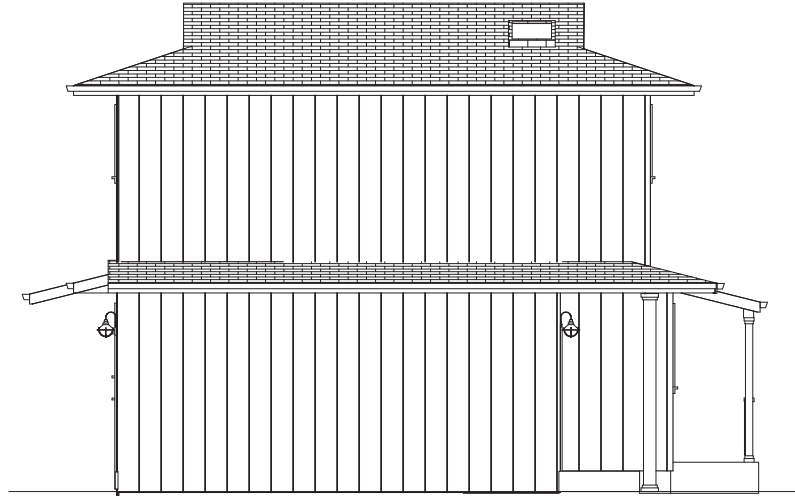


East Elevation  
Scale: 1/4" = 1'

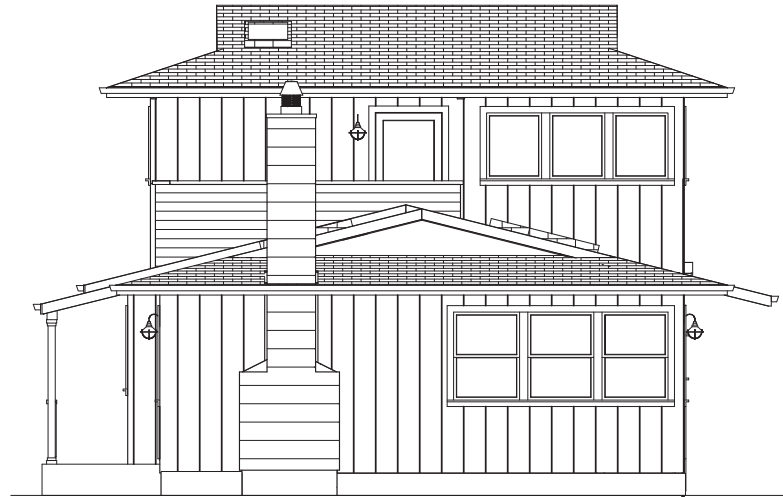
Main Existing Exterior Colors to Remain the Same  
Body: Kelly Moore, Landcaser White  
Trim: Kelly Moore, Swiss Coffee  
Roofing: Asphalt Comp, Weatherwood



West Elevation (47th Ave)  
Scale: 1/4" = 1'



North Elevation  
Scale: 1/4" = 1'



South Elevation (Opal Street)  
Scale: 1/4" = 1'

STEVE THOMPSON  
P.O. BOX 936 CAPITOLA, CA 95010  
831.252.0457

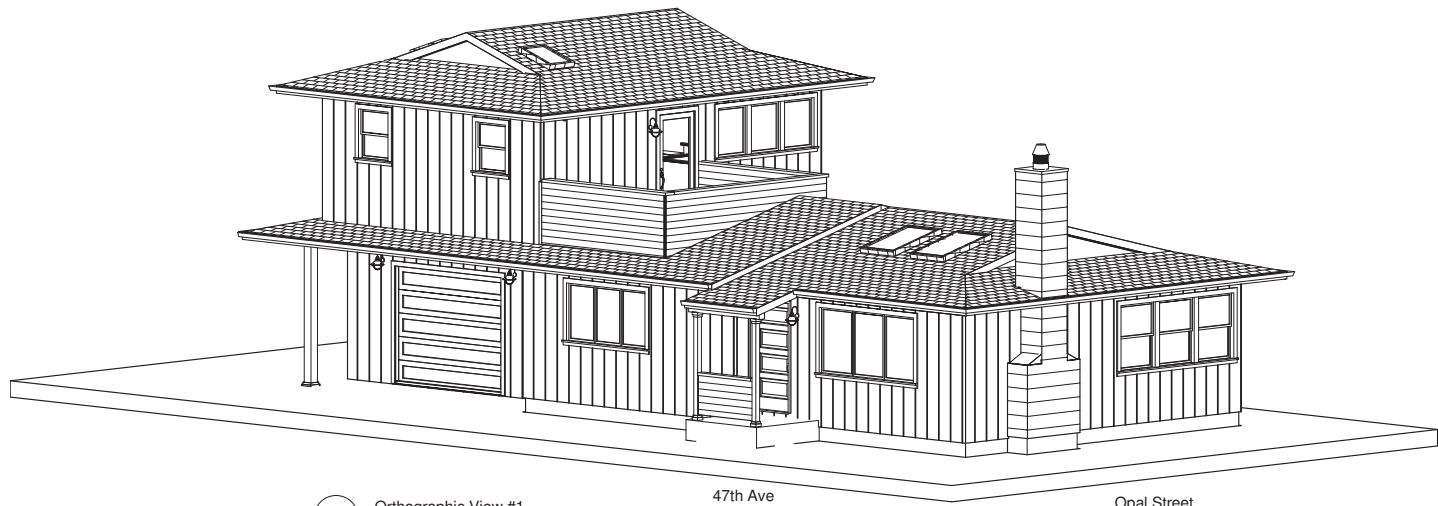
New Elevations

Thompson Residence  
1400 17th Ave Capitola CA  
Attachment: 1400 47th Avenue - Full Plan Set - 03.04.2021 (1400 47th Avenue)

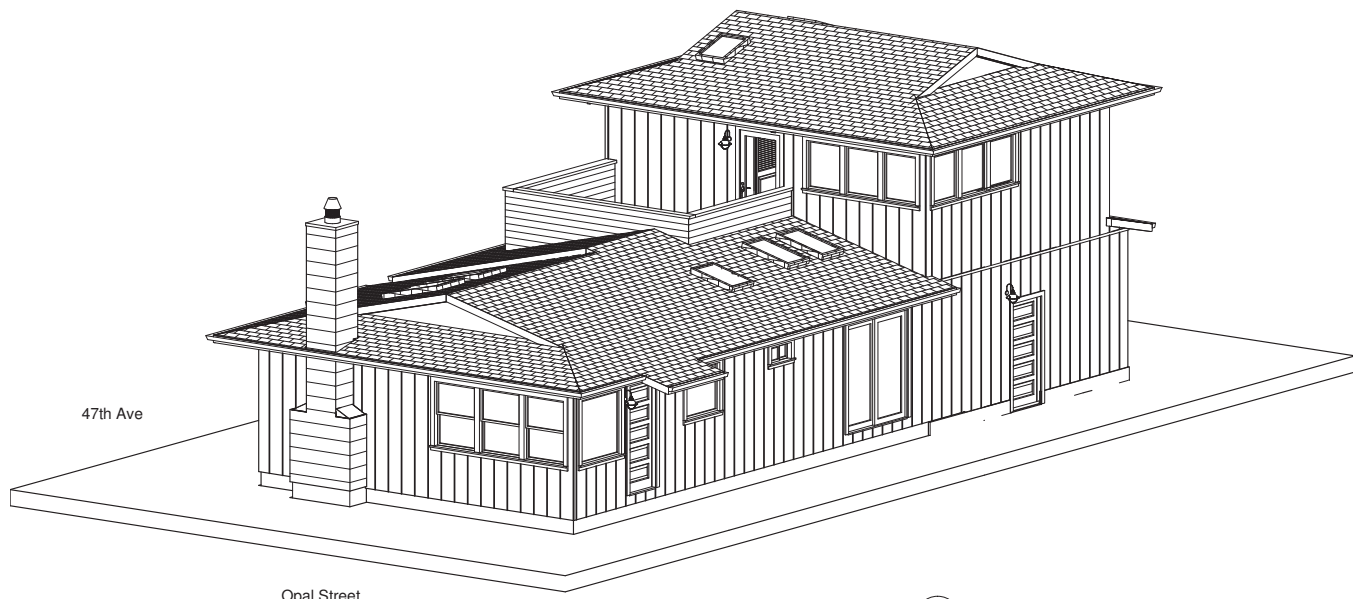
DAT  
2/23/2

SHE





Orthographic View #1  
Scale: None



Orthographic View #2  
Scale: None

STEVE THOMPSON  
P.O. BOX 936 CAPITOLA, CA 95010  
831.252.0457

New Orthographic  
Attachment: 1400 47th Avenue - 03.04.2021 (1400 47th Avenue)

Thompson Residence  
1400 47th Ave Capitola CA

DAT  
2/23/2

SHE

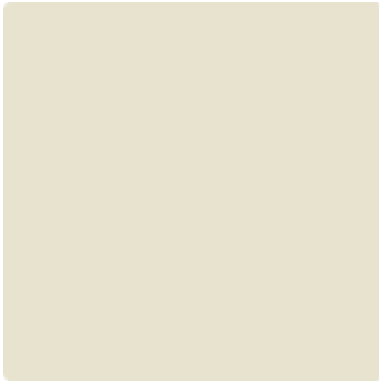
A.



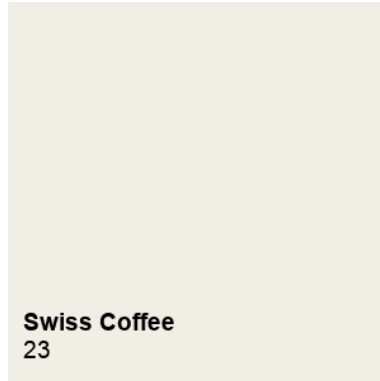
# 1400 47th Ave Capitola APN:034-064-20

## Color and Materials

Current house colors to remain the same after the remodel



**Body: KM Landcaster White**

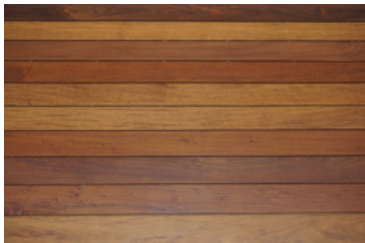


**Trim: KM Swiss Coffee**



**Roofing: Comp Shingles**  
**Color: Weatherwood**

### Second Level Balcony



**IPE 1x6 Shiplap**  
**Horizontal Siding**

### Main Exterior Materials

**House general body siding: Board and Batten Style.**

**Base sheeting either T1-11 Plywood (no grooves) or Hardiepanel Siding**

**Battens: 1" x 3" , 12" or 16" on center**

**Existing Fireplace Chimney Chase: 10" Cedar Bevel Siding**

**Windows: Milgard Tuscany White Vinyl, LowE Double Pane**

**NOTE: See Sheet A5 of the Planset for Additional Details**



**CONSTRUCTION COST BREAKDOWN PER Section 17.72.070**

**Existing Building Costs:**

**PLANNING STAFF**

Existing Residence:	\$ 916.00 square feet	=	\$ 183,200.00
	\$ 200.00 square foot		
Existing Garage:	\$ 379.00 square feet	=	\$ 34,110.00
	\$ 90.00 square foot		
Existing Deck:	\$ 54.00 square feet	=	\$ 1,350.00
	\$ 25.00 square foot		
<u>Total Existing Value:</u>			<u>\$ 218,660.00</u>
<b>80% of Total Existing Value</b>			<b>\$ 174,928.00</b>

**New Construction Costs:**

New Conditioned Space:	\$ 478.00 square feet	=	\$ 95,600.00
	\$ 200.00 square foot		
New Garage:	\$ - square feet	=	\$ -
	\$ 90.00 square foot		
New deck/porch:	\$ 141.00 square feet	=	\$ 3,525.00
	\$ 25.00 square foot		
<u>Total New Construction Value:</u>			<u>\$ 99,125.00</u>

**Remodel Costs: (50% of "new construction" costs)**

Remodel Conditioned Space:	\$ 21.00 square feet	=	\$ 2,100.00
	\$ 100.00 square foot		
Remodel Garage:	\$ - square feet	=	\$ -
	\$ 45.00 square foot		
Remodel Deck:	\$ - square feet	=	\$ -
	\$ 12.50 square foot		
<u>Total Remodel Value:</u>			<u>\$ 2,100.00</u>
<b><u>Total Construction/Remodel Cost</u></b>			<b><u>\$ 101,225.00</u></b>
<b>% of Existing Value</b>			<b>46.3%</b>

Attachment: 1400 47th Avenue - Construction Cost Breakdown (1400 47th Avenue)



## STAFF REPORT

TO: PLANNING COMMISSION  
 FROM: COMMUNITY DEVELOPMENT  
 DATE: APRIL 1, 2021  
 SUBJECT: **4850 Topaz Street #20-0501 APN: 034-066-06**

Design Permit for a remodel of an existing three-story single-family residence, including the conversion of third-story conditioned space into deck, located within the R-1 (Single-Family Residential) zoning district.

This project is in the Coastal Zone but does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: Rod Sockolov

Representative: Kim Carpenter, Filed: 12.02.20

### **APPLICANT PROPOSAL**

The applicant is proposing to remodel an existing nonconforming 3,306-square-foot single-family residence, including the conversion of third-story conditioned space into deck, located at 4850 Topaz Street within the R-1 (Single-Family Residential) zoning district. The application complies with all development standards of the R-1 zone.

### **BACKGROUND**

On March 10, 2021, the Architectural and Site Review Committee reviewed the application and provided the applicant with the following direction:

Public Works Representative, Danielle Uharriet: stated that the applicant must submit a revised stormwater application form with building permit submittal and that the standard Public Works Department conditions shall be included in the Conditions of Approval.

Building Official, Robin Woodman: stated the guardrails along the deck and inside the residence need to be 42 inches and noted additional details may be required at building permit submittal to show the interior height of the third story.

Local Architect, Frank Phanton: noted that the site plan did not include the footprint of the adjacent structure to the rear. He recommended mitigation on the deck such as screening, plantings, or a trellis in consideration of the privacy of the adjacent property.

Assistant Planner, Sean Sesanto: informed the applicant that the rear elevation should be revised to show the rear guardrail height and material, the site plan should be revised to include

the approximate footprint of the neighboring residence to the rear, and recommended including privacy mitigation.

Following the Architecture and Site Review meeting, the applicant submitted a revised site plan showing the approximate footprint of the adjacent mobile home and a new fence between the two properties to be eight feet tall with the top two feet made from lattice.

### **Development Standards**

The following table outlines the zoning code requirements for development in the R-1 Zoning District.

#### **R-1 (Single Family Residential) Zoning District**

<b>Development Standards</b>				
<b>Building Height</b>				
<b>R-1 Regulation</b>		<b>Existing</b>		<b>Proposed</b>
25 ft.		25 ft. 3 in.		25 ft. 3 in.
		<b>Existing Nonconforming</b>		<b>Existing Nonconforming</b>
<b>Floor Area Ratio (FAR)</b>				
		<b>Existing</b>		<b>Proposed</b>
<b>Lot Size</b>		3,200 sq. ft.		3,200 sq. ft.
<b>Maximum Floor Area Ratio</b>		57% (Max 1,824 sq. ft.)		57% (Max 1,824 sq. ft.)
First Story Floor Area		1,352 sq. ft.		1,352 sq. ft.
Second Story Floor Area		1,303 sq. ft.		1,303 sq. ft.
Third Story Floor Area		286 sq. ft.		208 sq. ft.
<i>Decks, Covered Ext. Space</i>		515 sq. ft.		593 sq. ft.
<i>Deck Exception</i>		-150 sq. ft.		-150 sq. ft.
<i>Basement</i>		101 sq. ft.		101 sq. ft.
<i>Basement Exception</i>		-101 sq. ft.		-101 sq. ft.
<b>TOTAL FAR</b>		103.3% (3,306 sq. ft.)		103.3% (3,306 sq. ft.)
		<b>Existing Nonconforming</b>		<b>Existing Nonconforming</b>
<b>Yards (setbacks are measured from the edge of the public right-of-way)</b>				
		<b>R-1 Regulation</b>	<b>Existing</b>	<b>Proposed</b>
<b>Front Yard 1<sup>st</sup> Story</b>		15 ft.	19 ft. 2 in.	19 ft. 2 in.
<b>Front Yard 2<sup>nd</sup> Story &amp; Garage</b>		20 ft.	2 <sup>nd</sup> Story: 17 ft. 2 in. Garage: 18 ft. 10 in.	2 <sup>nd</sup> Story: 17 ft. 2 in. Garage: 18 ft. 10 in.
			<b>Existing Nonconforming</b>	<b>Existing Nonconforming</b>
<b>Front Yard 3<sup>rd</sup> Story</b>		20 ft.	32 ft. 2 in.	32 ft. 2 in.
<b>Side Yard 1<sup>st</sup> Story</b>		10% lot width	Lot width 40 ft.	East: 4 ft. West: 4 ft.
			4 ft.	
<b>Side Yard 2<sup>nd</sup> Story</b>		15% of width	Lot width 40 ft.	East: 2 ft. 1 in. West: 4 ft.

		6 ft.	<b>Existing Nonconforming</b>	<b>Existing Nonconforming</b>
<b>Side Yard 3<sup>rd</sup> Story</b>	15% of width	Lot width 40 ft. 6 ft.	East: 4 ft. West: 4 ft.  <b>Existing Nonconforming</b>	East: 4 ft. West: 4 ft.  <b>Existing Nonconforming</b>
<b>Rear Yard 1<sup>st</sup> Story</b>	20% of lot depth	Lot depth 80 ft. 16 ft.	16 ft. 10 in.	16 ft. 10 in.
<b>Rear Yard 2<sup>nd</sup> Story</b>	20% of lot depth	Lot depth 80 ft. 16 ft.	10 ft. 2 in.  <b>Existing Nonconforming</b>	10 ft. 2 in.  <b>Existing Nonconforming</b>
<b>Rear Yard 3<sup>rd</sup> Story</b>	20% of lot depth	Lot depth 80 ft. 16 ft.	12 ft. 10 in.  <b>Existing Nonconforming</b>	12 ft. 10 in.  <b>Existing Nonconforming</b>
<b>Encroachments (list all)</b>	Garage in front setback area, 2 <sup>nd</sup> story in rear and both side setback areas, 3 <sup>rd</sup> story in rear and both side setback areas			
<b>Parking</b>				
	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	
<b>Residential (from <u>2,601</u> up to <u>4,000</u> sq. ft.)</b>	4 spaces total 1 covered 3 uncovered	2 spaces total 1 covered 1 uncovered	2 spaces total 1 covered 1 uncovered	
<b>Underground Utilities: required with 25% increase in area</b>			Not Required	

### **DISCUSSION**

The existing residence at 4850 Topaz Street is a nonconforming, three-story, single-family residence. The lot is in the Jewel Box neighborhood and is surrounded by one- and two-story single-family residences and the Surf & Sand mobile home park to the south.

The applicant is proposing to remodel the existing home, including the replacement of 78-square-foot of third-story enclosed, conditioned space with an open-air, third-story rear deck. The proposed changes do not affect the setbacks or total floor area or exacerbate any existing nonconformities. The proposal includes alterations to windows on the side and rear elevations of all three stories and a new guardrail on the third-story deck. The project will maintain the existing stucco exterior on the rear and side elevations and the existing front elevation of brick and horizontal wood siding.

The existing third-story deck faces the south and east side, overlooking the property at 4870 Topaz Street and several mobile homes in the adjacent Surf & Sand mobile home park. Conditioned space on the third-story will be converted to an open-air deck. The deck will not extend beyond the existing walls.

In response to feedback received at the Architecture and Site Review hearing, the applicant submitted revised plans that include a rear fence that is eight feet in height with the top two feet as open lattice and clarified the replacement deck guardrail retain the solid wall design.

### **Non-Conforming Structure**

The existing structure does not comply with numerous development standards including height, floor area ratio, and encroachments into the front, side, and rear setbacks, and therefore is a

legal non-conforming structure. Pursuant to Capitola Municipal Code (CMC) §17.72.070, if proposed structural alterations to an existing non-complying structure exceed 80% of the present fair market value of the structure, the proposed structural alterations may not be made. The applicant has submitted a construction cost breakdown demonstrating that the proposed structural alterations are 11 percent of the present fair market value of the structure, so the proposed alterations are permissible.

#### Parking

Residential lots with a floor area between 2,601 square feet up to 4,000 square feet are required to provide four parking spaces, one of which must be covered. The lot currently provides one covered parking space and one uncovered parking space and is therefore considered nonconforming. Pursuant to CMC §17.51.135(B), no additional parking shall be required for reconstruction or structural alteration of an existing nonconforming residential structure, so long as the floor area of the structure is not increased by more than ten percent of the existing gross floor area. The existing gross floor area of the structure will not increase, so the applicant is not required to bring the onsite parking into compliance.

#### CEQA

Section 15301(e) of the CEQA Guidelines exempts additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less. The proposed project includes interior and exterior alterations to an existing nonconforming, 3,306-square-foot, single-family residence that will not increase the floor area, so this exemption applies. No adverse environmental impacts were discovered during review of the proposed project.

#### RECOMMENDATION

Staff recommends the Planning Commission review the application and approve project application #20-0515

#### CONDITIONS OF APPROVAL

1. The project approval is for the remodel of an existing three-story residence to convert third-story conditioned space into additional deck. The maximum Floor Area Ratio for the 3,200 square foot property is 57% (1,824 square feet). The existing FAR of the structure is 103.3% with a total of 3,306 square feet. The proposed FAR of the project is 103.3% with a total of 3,306 square feet, which exceeds the maximum FAR within the zone but does not increase the existing floor area. The proposed project is approved as indicated on the final plans reviewed and approved by the Planning Commission on April 1, 2021, except as modified through conditions imposed by the Planning Commission during the hearing.
2. Prior to construction, a building permit shall be secured for any new construction or modifications to structures authorized by this permit. Final building plans shall be consistent with the plans approved by the Planning Commission. All construction and site improvements shall be completed according to the approved plans.
3. At time of submittal for building permit review, the Conditions of Approval must be printed in full on the cover sheet of the construction plans.
4. At time of submittal for building permit review, Public Works Standard Detail SMP STRM shall be printed in full and incorporated as a sheet into the construction plans. All construction shall be done in accordance with the Public Works Standard Detail BMP STRM.

5. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or exterior appearance of the structure shall require Planning Commission approval.
6. Prior to issuance of building permit, all Planning fees associated with permit #20-0515 shall be paid in full.
7. Prior to issuance of a building permit, the applicant must provide documentation of plan approval by the following entities: Santa Cruz County Sanitation Department, Soquel Creek Water District, and Central Fire Protection District.
8. Prior to issuance of building permits, a drainage plan, grading, sediment and erosion control plan, shall be submitted to the City and approved by Public Works. The plans shall be in compliance with the requirements specified in Capitola Municipal Code Chapter 13.16 Storm Water Pollution Prevention and Protection.
9. Prior to issuance of building permits, the applicant shall submit a stormwater management plan to the satisfaction of the Director of Public Works which implements all applicable Post Construction Requirements (PCRs) and Public Works Standard Details, including all standards relating to low impact development (LID).
10. Prior to any land disturbance, a pre-site inspection must be conducted by the grading official to verify compliance with the approved erosion and sediment control plan.
11. Prior to any work in the City road right of way, an encroachment permit shall be acquired by the contractor performing the work. No material or equipment storage may be placed in the road right-of-way.
12. During construction, any construction activity shall be subject to a construction noise curfew, except when otherwise specified in the building permit issued by the City. Construction noise shall be prohibited between the hours of nine p.m. and seven-thirty a.m. on weekdays. Construction noise shall be prohibited on weekends with the exception of Saturday work between nine a.m. and four p.m. or emergency work approved by the building official. §9.12.010B
13. Prior to a project final, all cracked or broken driveway approaches, curb, gutter, or sidewalk shall be replaced per the Public Works Standard Details and to the satisfaction of the Public Works Department. All replaced driveway approaches, curb, gutter or sidewalk shall meet current Accessibility Standards.
14. Prior to issuance of a Certificate of Occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Community Development Director. Upon evidence of non-compliance with conditions of approval or applicable municipal code provisions, the applicant shall remedy the non-compliance to the satisfaction of the Community Development Director or shall file an application for a permit amendment for Planning Commission consideration. Failure to remedy a non-compliance in a timely manner may result in permit revocation.
15. This permit shall expire 24 months from the date of issuance. The applicant shall have an approved building permit and construction underway before this date to prevent

permit expiration. Applications for extension may be submitted by the applicant prior to expiration pursuant to Municipal Code section 17.81.160.

16. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
17. Upon receipt of certificate of occupancy, garbage and recycling containers shall be placed out of public view on non-collection days.

### **DESIGN PERMIT FINDINGS**

**A. The project, subject to the conditions imposed, secures the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.**

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the project. The proposed remodel of an existing single-family residence complies with the development standards of the R-1 (Single-Family Residence) Zoning District and secures the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.

**B. The project will maintain the character and integrity of the neighborhood.**

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the application for the remodel of an existing single-family residence. The proposed remodel will maintain the existing design of the home with brick, stucco, and horizontal lap siding, composite shingle roof, and stacked multi-story deck. The project will maintain the character and integrity of the neighborhood.

### **CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) FINDINGS**

**A. This project is categorically exempt under Section 15301 of the California Environmental Quality Act and is subject to Section 753.5 of Title 14 of the California Code of Regulations.**

Section 15301(e) of the CEQA Guidelines exempts additions to existing structures provided the additions will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less. The proposed project includes interior and exterior alterations to an existing nonconforming, 3,306-square-foot, single-family residence within the R-1 (Single-Family Residence) zoning district that will not increase the floor area, so this exemption applies. No adverse environmental impacts were discovered during review of the proposed project.

### **ATTACHMENTS:**

1. 4850 Topaz Street - Plan Set
2. 4850 Topaz Street - Construction Cost Breakdown
3. 4850 Topaz Street - Color and Materials Information

Prepared By: Sean Sesanto

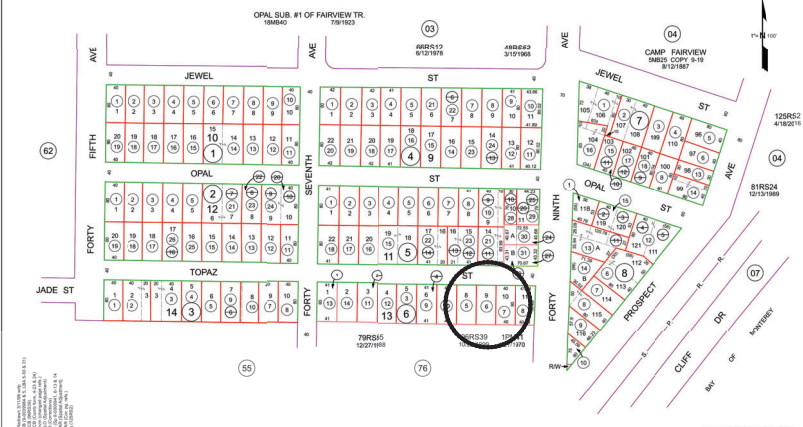
**FOR TAX PURPOSES ONLY**

THE ASSessor'S MAP IS PREPARED AS TO MAP ACCURACY FOR ASSESSOR'S USE ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE ASSessor'S MAP IS NOT A SURVEY. THE ASSessor'S MAP IS NOT TO BE USED FOR ANY OTHER PURPOSE.

CITY OF CAPITOLA

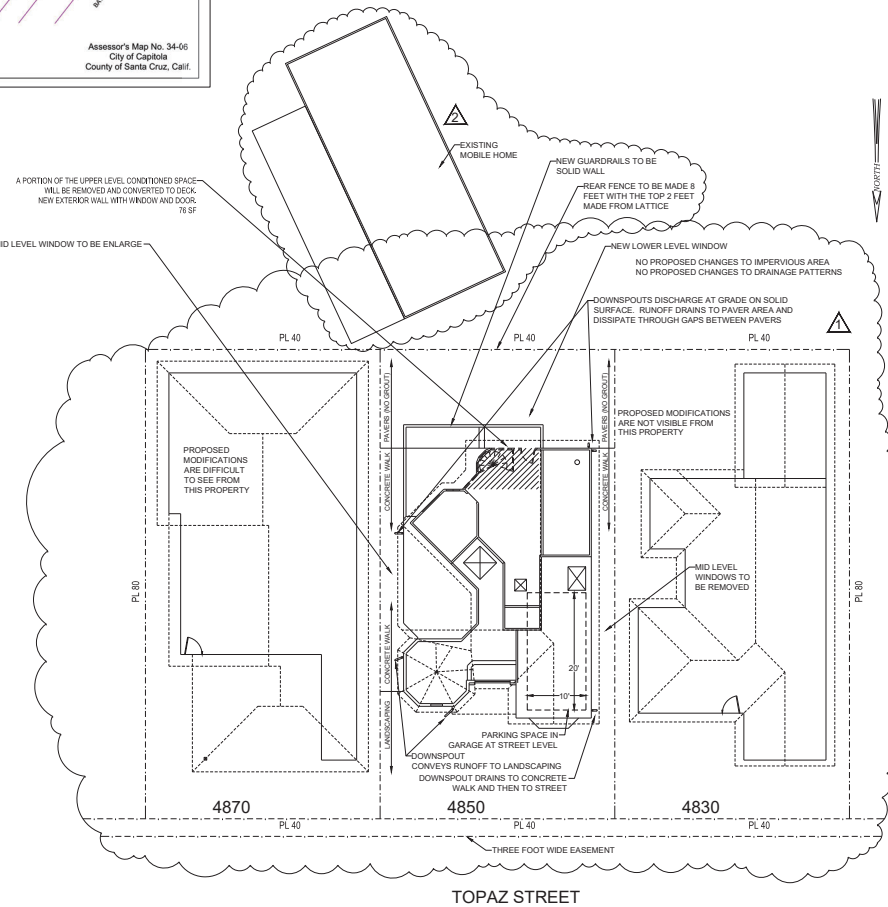
Tax Area Code  
3-108

34-06



Note - Assessor's Parcel & Block Numbers Shown in Circles.

Assessor's Map No. 34-06  
City of Capitola  
County of Santa Cruz, Calif.



**SHEET SCHEDULE**

- 1 SITE PLAN
- 2 EXISTING FLOOR PLAN
- 3 PROPOSED FLOOR PLAN
- 4 EXISTING ELEVATIONS
- 5 PROPOSED ELEVATIONS
- 6 ROOF PLAN

**REVISION**

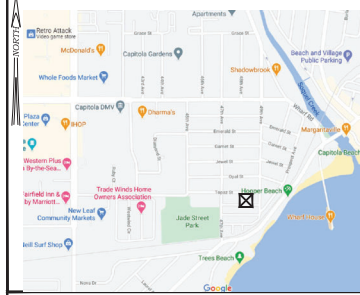
**4.B.1**

3/14/21

**REVISION INDEX**

REVISION	SHEETS REVISED	DESCRIPTION OF REVISION	DATE
1	1, 2, 3, 4, 6	ADDRESS LETTER FROM CITY	12-4-20

**4850 TOPAZ STREET VICINITY MAP**



CONSTRUCTION SHALL COMPLY WITH:  
 2019 CALIFORNIA RESIDENTIAL CODE  
 2019 CALIFORNIA BUILDING CODE  
 2019 CALIFORNIA FIRE CODE  
 2019 CALIFORNIA PLUMBING CODE  
 2019 CALIFORNIA MECHANICAL CODE  
 2019 CALIFORNIA ELECTRICAL CODE  
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE  
 2019 CALIFORNIA ENERGY STANDARDS  
 CITY OF CAPITOLA CODE AND AMENDMENTS

ABBREVIATIONS: ALL REFERENCES ARE TO CALIFORNIA BUILDING CODE UNLESS NOTED OTHERWISE.

**USE AND OCCUPANCY CLASSIFICATION**

RESIDENTIAL GROUP R-3U  
**TYPES OF CONSTRUCTION**  
 V-B NONSPRINKLERED

**PROPERTY LINES AND SETBACKS**  
 CONTRACTOR AND PROPERTY OWNER TO VERIFY ALL PROPERTY LINES AND SETBACKS BEFORE STARTING PROJECT. THE BUILDING INSPECTOR HAS THE AUTHORITY TO REQUEST A PARTIAL OR FULL SURVEY OF THE PROPERTY IN ORDER TO DETERMINE PROPERTY LINES. ALL COSTS TO DETERMINE PROPERTY LINES TO BE PAID BY PROPERTY OWNER.

**SITE MAP**  
 THE MAP SHOWN IS NOT A SURVEY. PROPERTY LINE DIMENSIONS WERE TAKEN FROM COUNTY MAPS. THE LOCATIONS OF NON-DIMENSIONED FEATURES ARE APPROXIMATE.

**SITE DATA AREAS IN SQUARE FEET**

	EXISTING		PROPOSED		TOTAL
	REMOVE	ADD	REMOVE	ADD	
PARCEL	3,200				3,200
LOWER LEVEL CONDITIONED	784		16		800
MID LEVEL CONDITIONED	1,280				1,280
UPPER LEVEL CONDITIONED	377	76			453
TOTAL CONDITIONED SPACE	2,441				2,441
LOWER LEVEL GARAGE	553	16			569
MID LEVEL DECK	170				170
UPPER LEVEL DECK	184		76		260
BEDROOM	3				3
BATHROOM	2 1/2				2 1/2

**PROJECT DESCRIPTION:**

THE PROPOSED PROJECT PROVIDES FOR REMODELING AN EXISTING SINGLE FAMILY DWELLING. A PORTION OF THE EXISTING GARAGE WILL BE CONVERTED TO CONDITIONED SPACE TO PROVIDE FOR A LAUNDRY ROOM. A PORTION OF THE UPPER LEVEL CONDITIONED SPACE WILL BE REMOVED AND CONVERTED TO DECK. IN ADDITION THE INTERIOR REMODEL WILL INCLUDE RELOCATING THE UPPER UPPER LEVEL STAIRS, RECONSTRUCTING THE LOWER LEVEL STAIRS AND REMODELING THE KITCHEN AND THE BATHROOMS.

**CARPENTER & CARPENTER**  
 3300 TRAVIS DRIVE Aptos, 95003  
 PHONE (831) 682-0980

OWNER:  
**ROD SOCKOLOV**  
 4850 TOPAZ STREET

PROJECT:  
**SOCKOLOV REMODEL**  
 4850 TOPAZ STREET

DATE: AUGUST 2020  
 SHEET

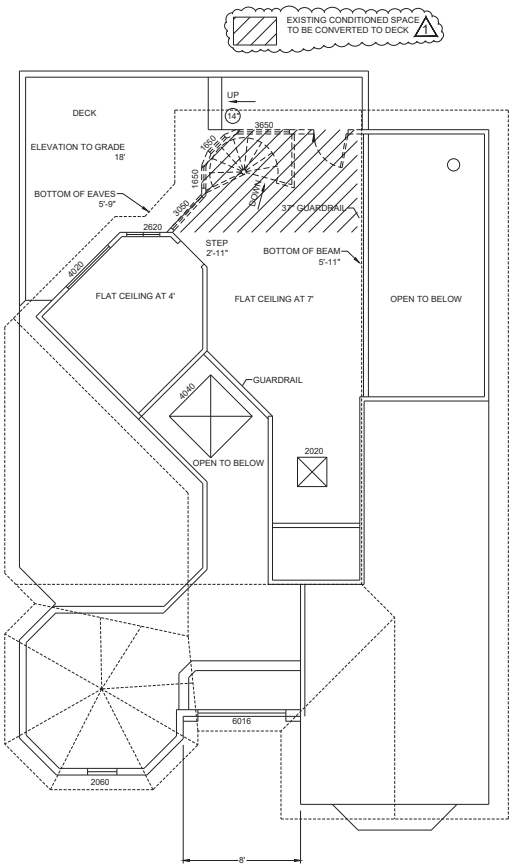
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**Attachment: 4850 Topaz Street - Plan Set (4850 Topaz Street)**

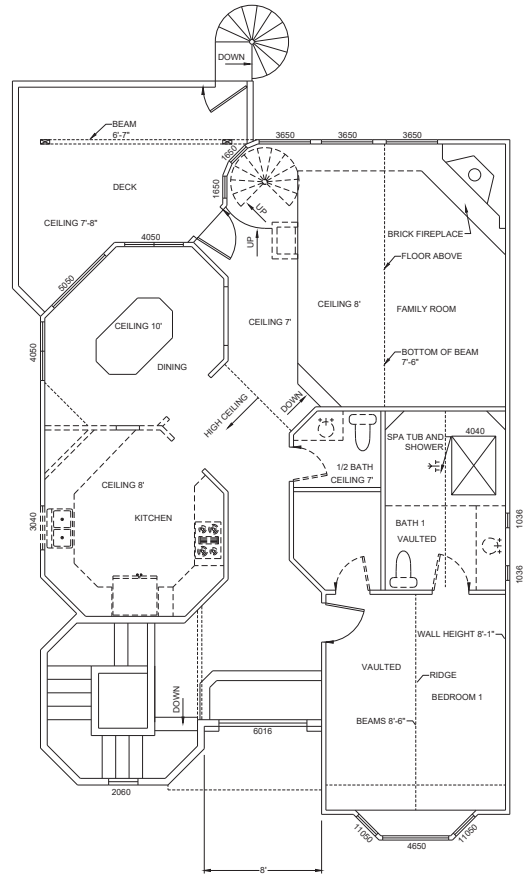
**SITE PLAN**  
SCALE 1"=10'



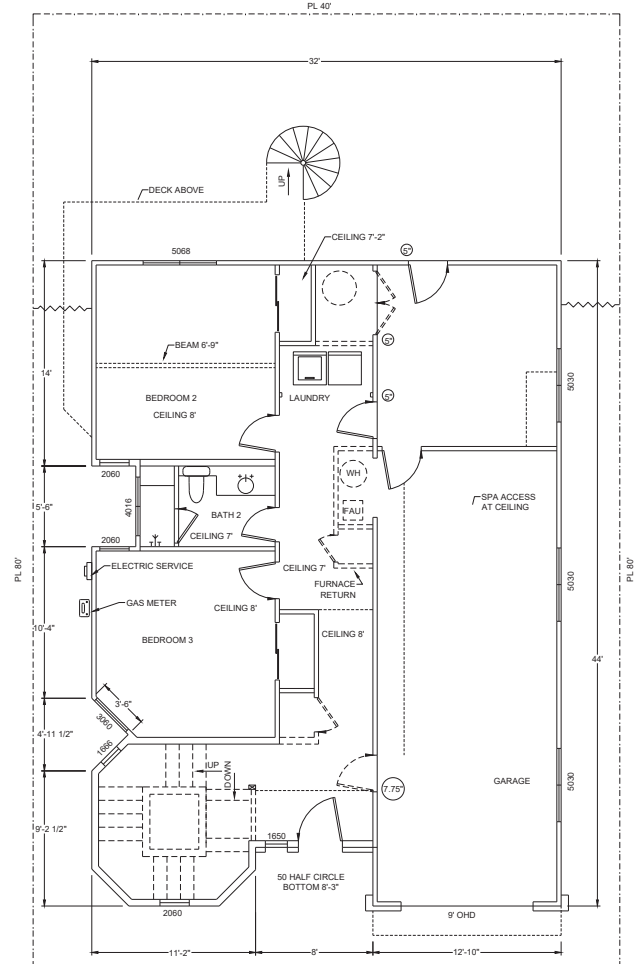
LEGEND	
	EXISTING WALL
	NEW 2X4
	NEW 2X6
	TO BE REMOVED
	TO BE ALTERED
	WINDOW IN NEW WALL
	NEW WINDOW IN EXISTING WALL
	POST
	EXISTING ROOF
	NEW ROOF



UPPER LEVEL



MID LEVEL



LOWER LEVEL

EXISTING FLOOR PLAN

SCALE 1/4"=1'

EXISTING CONDITIONED SPACE TO BE CONVERTED TO DECK

THE EXISTING WINE CELLAR IS LOCATED BELOW THE EXISTING ENTRY STAIR CASE. NO CHANGES PROPOSED, EXCEPT TO REMOVE THE STAIR ACCESS AND PROVIDE ACCESS FROM UNDER THE ENTRY STAIRCASE THROUGH A HATCH.

CARPENTER & CARPENTER  
3300 HAAS DRIVE, APT. 5003  
PH: (831) 662-8680

OWNER:  
ROD SOCKOLOV  
4850 TOPAZ STREET

PROJECT:  
SOCKOLOV REMODEL  
4850 TOPAZ STREET

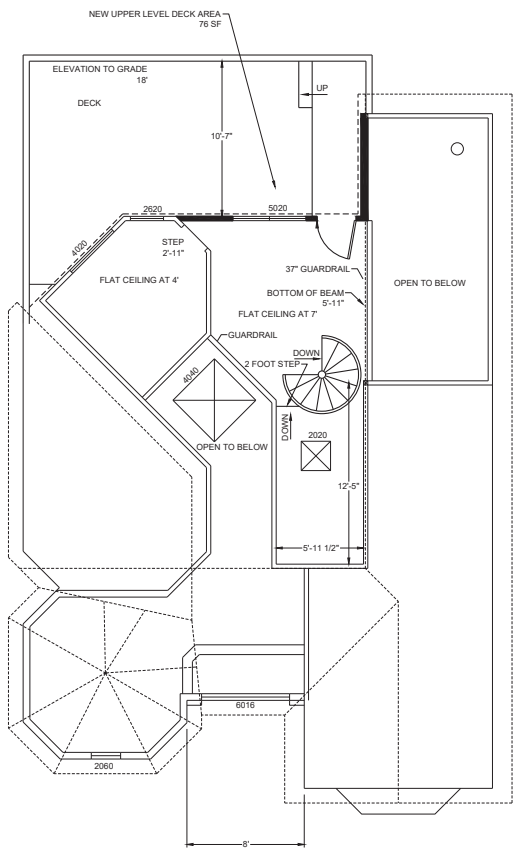
DATE: AUGUST 2020

SHEET

2

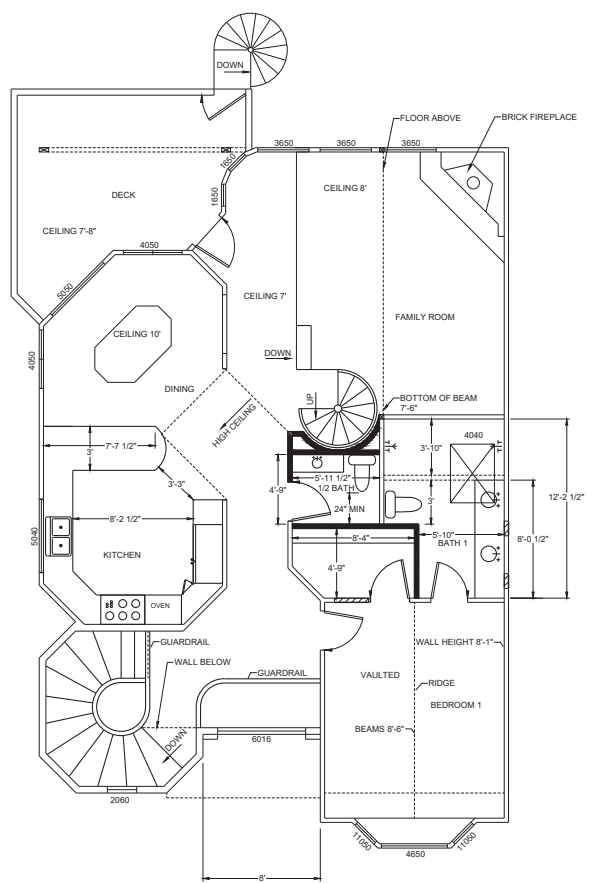
Attachment: 4850 Topaz Street - Plan Set (4850 Topaz Street)

LEGEND	
	EXISTING WALL
	NEW Z4
	NEW Z6
	TO BE REMOVED
	TO BE ALTERED
	WINDOW IN NEW WALL
	NEW WINDOW IN EXISTING WALL
	POST
	EXISTING ROOF
	NEW ROOF



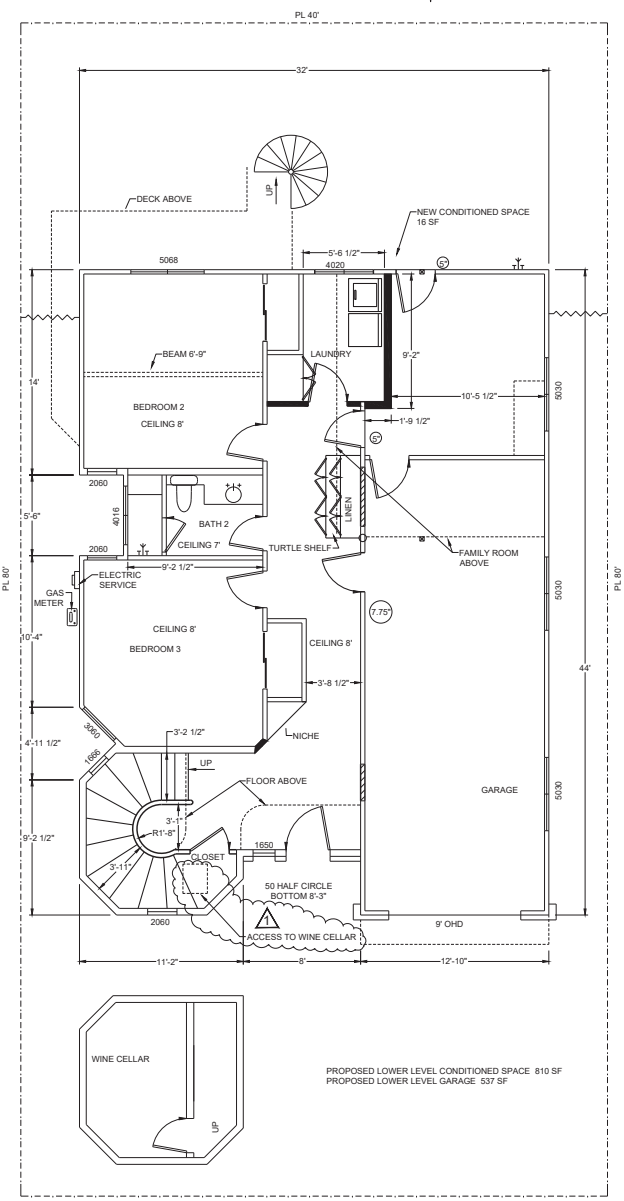
PROPOSED UPPER LEVEL CONDITIONED SPACE 301 SF  
 PROPOSED UPPER LEVEL DECK 280 SF

UPPER LEVEL



EXISTING AND PROPOSED MID LEVEL CONDITIONED SPACE 1,290 SF  
 EXISTING AND PROPOSED MID LEVEL DECK 170 SF

MID LEVEL



PROPOSED LOWER LEVEL CONDITIONED SPACE 810 SF  
 PROPOSED LOWER LEVEL GARAGE 537 SF

LOWER LEVEL

PROPOSED FLOOR PLAN

SCALE 1/4"=1'

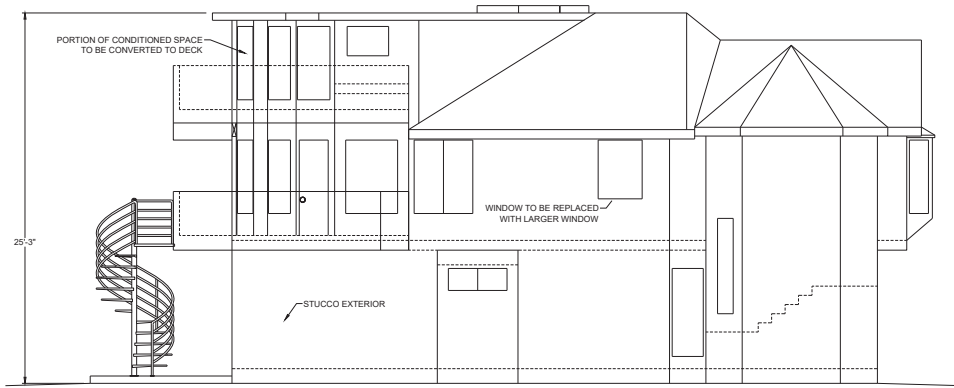
CARPENTER & CARPENTER

OWNER: ROD SOCKOLOV  
3390 HAS DRIVE APTS. 8603

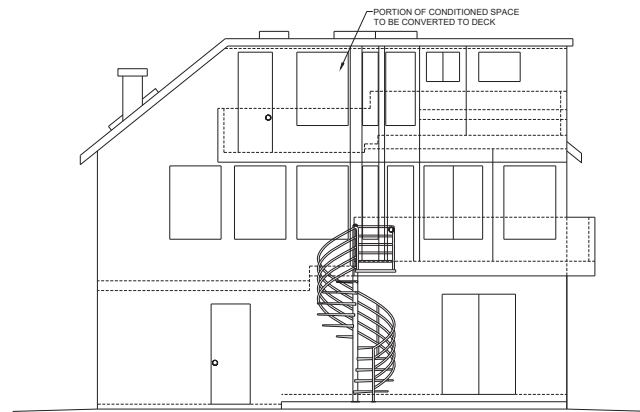
PROJECT: SOCKOLOV REMODEL  
1000 TOPAZ STREET

DATE: AUGUST 2020  
SHEET

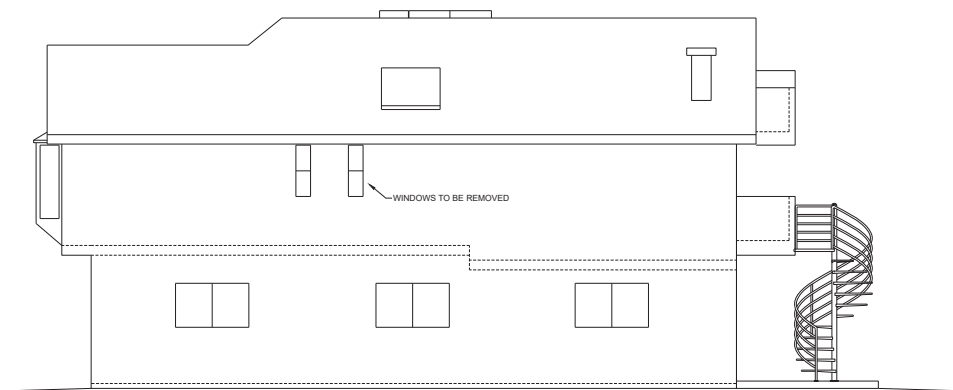
Attachment: 4850 Topaz Street - Plan Set (4850 Topaz Street)



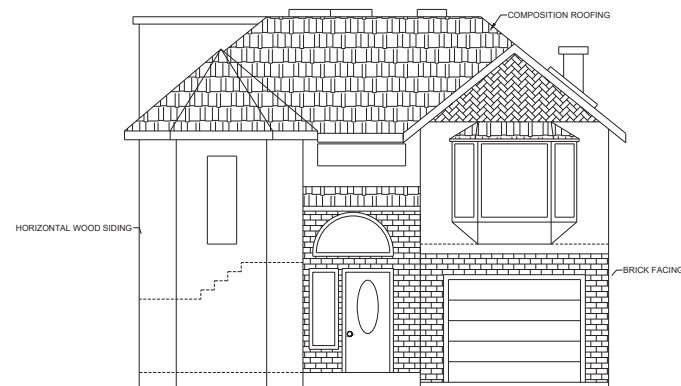
EAST



SOUTH



WEST



NORTH

NO PROPOSED CHANGES TO NORTH ELEVATION

EXISTING ELEVATIONS  
SCALE 1/4" = 1'

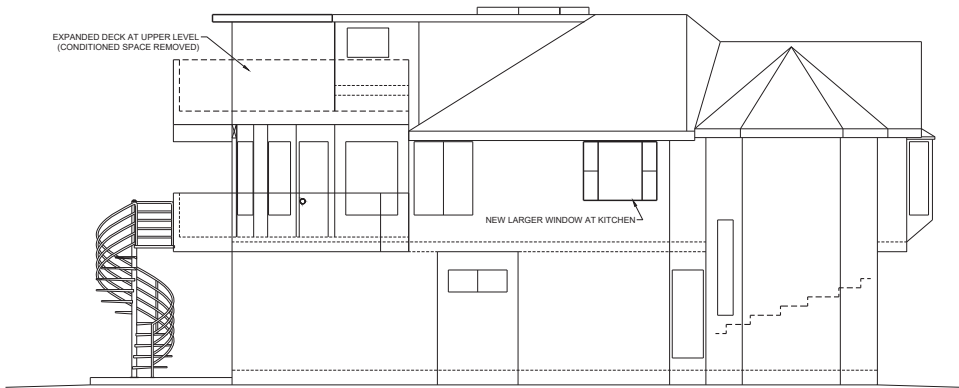
CARPENTER & CARPENTER  
3800 HAAS DRIVE APOE, 95003  
PLANNING, DESIGN, ARCHITECTURE

OWNER:  
ROD SOCKOLOV  
14850 TOPAZ STREET

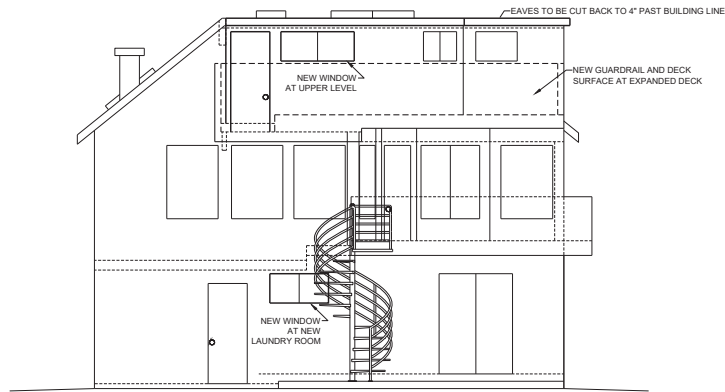
PROJECT:  
SOCKOLOV REMODEL  
14850 TOPAZ STREET

DATE: AUGUST 2020  
SHEET

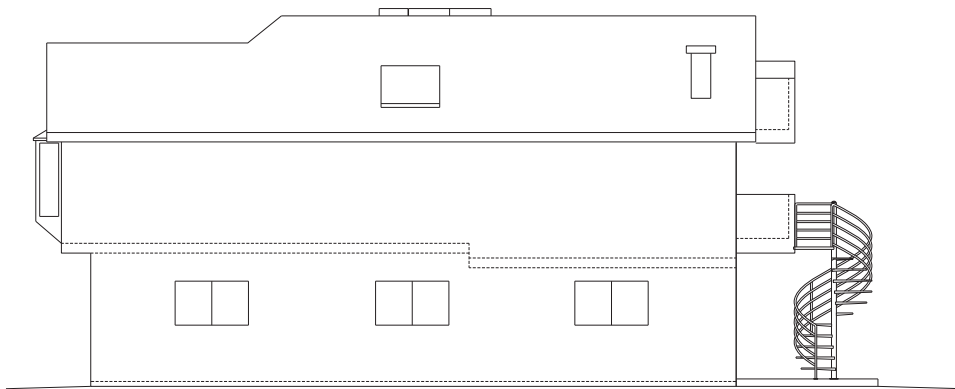
Attachment: 4850 Topaz Street - Plan Set (4850 Topaz Street)



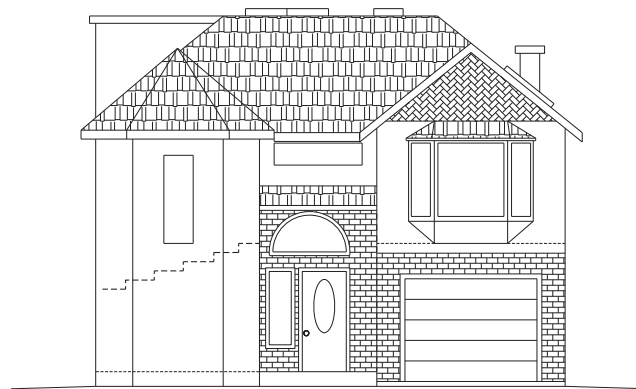
EAST



SOUTH



WEST



NORTH

CARPENTER & CARPENTER

3300 HAAS DRIVE AUSTIN, TEXAS 78703

OWNER: ROD SOCKOLOV

14850 TOPAZ STREET

PROJECT: SOCKOLOV REMODEL

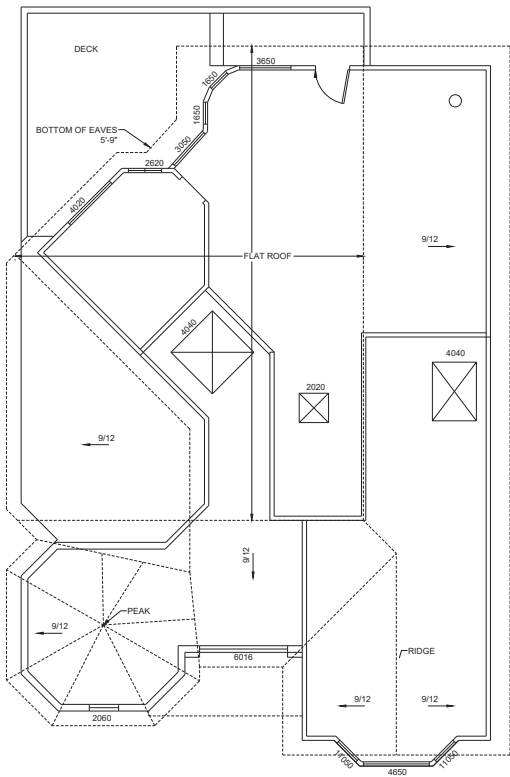
14850 TOPAZ STREET

DATE: AUGUST 2020

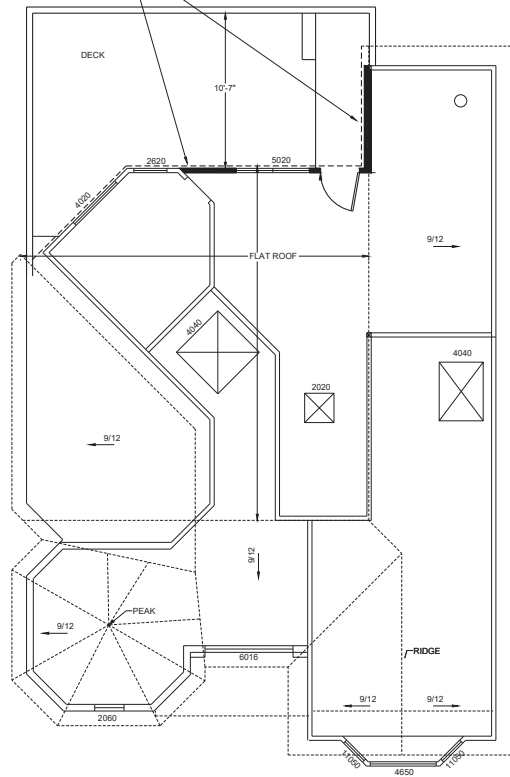
SHEET

Attachment: 4850 Topaz Street - Plan Set (4850 Topaz Street)





EAVES TO BE CUT BACK TO NEW BUILDING LINE



EXISTING

PROPOSED



**CONSTRUCTION COST BREAKDOWN PER Section 17.72.070**

**Existing Building Costs:**

**PLANNING STAFF**

Existing Residence:	\$ 2,461.00 square feet	=	\$ 492,200.00
	\$ 200.00 square foot		
Existing Garage:	\$ 553.00 square feet	=	\$ 49,770.00
	\$ 90.00 square foot		
Existing Deck:	\$ 354.00 square feet	=	\$ 8,850.00
	\$ 25.00 square foot		
<u>Total Existing Value:</u>			<u>\$ 550,820.00</u>
<b>80% of Total Existing Value</b>			<b>\$ 440,656.00</b>

**New Construction Costs:**

New Conditioned Space:	\$ 16.00 square feet	=	\$ 3,200.00
	\$ 200.00 square foot		
New Garage:	square feet	=	
	\$ 90.00 square foot		
New deck/porch:	square feet	=	
	\$ 25.00 square foot		
<u>Total New Construction Value:</u>			<u>\$ 3,200.00</u>

**Remodel Costs: (50% of "new construction" costs)**

Remodel Conditioned Space:	\$ 585.00 square feet	=	\$ 58,500.00
	\$ 100.00 square foot		
Remodel Garage:	square feet	=	
	\$ 45.00 square foot		
Remodel Deck:	\$ 76.00 square feet	=	\$ 950.00
	\$ 12.50 square foot		
<u>Total Remodel Value:</u>			<u>\$ 59,450.00</u>
<b><u>Total Construction/Remodel Cost</u></b>			<b><u>\$ 62,650.00</u></b>
<b>% of Existing Value</b>			<b>11.4%</b>

Attachment: 4850 Topaz Street - Construction Cost Breakdown (4850 Topaz Street)



# 4850 Topaz Street, Capitola

## Color and Materials

### Exterior:

Current house colors, horizontal wood siding in front with stucco in rear of house (see picture #1). Standard brick surround at front doorway All trim to remain as is.

### Roofing:

Comp Shingles – remain the same after the remodel (Grey - see picture #1).

### Guardrail Wall:

Solid deck guard-wall, 42” in height or to Building Code with wood/stucco matching the current exterior. An additional 12” glass enclosure above rail (picture #2 provides example of the design but not actual scale or dimensions).

### Fencing:

6’ vertical plank fence roughly 6” in width with additional 2’ lattice for total 8’ fence height. Lattice will have 5” border with slats of 2” and roughly 3” in spacing (see picture #3). The fence will start 15+ feet from front property line and run from garage to rear covering both side and rear of home.

The side Fencing will be flush with or behind the garage towards the rear.

### Windows:

Millgard Tuscan, White vinyl LowE Double pane.

1. Exterior and Roof



2. Guardrail



3. Replacement Fence



Attachment: 4850 Topaz Street - Color and Materials Information (4850 Topaz Street)





## STAFF REPORT

TO: PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT

DATE: APRIL 1, 2021

SUBJECT: **307 McCormick Avenue**                      **#20-0475**                      **APN: 036-091-04**

Design Permit for first- and second-story additions with a Variance request for the required parking space dimensions and side setbacks for an existing single-family residence located within the R-1 (Single-Family Residential) zoning district.

This project is in the Coastal Zone and requires a Coastal Development Permit which is not appealable to the California Coastal Commission.

Environmental Determination: Categorical Exemption

Property Owner: Thomas Rathjens

Representative: Dennis Norton, Filed: 11.20.2020

### **APPLICANT PROPOSAL**

The applicant is proposing 703 square feet of first- and second-story additions to a nonconforming single-family residence located at 307 McCormick Avenue within the R-1 (Single-Family Residential) zoning district. The applicant is requesting a variance to the required parking space dimensions and the required first-story side yard setback.

### **BACKGROUND**

In 2005, the Planning Commission approved a design permit to replace the original flat roof with a new hipped roof at 307 McCormick.

On February 24, 2021, the Architectural and Site Review Committee reviewed the current application and provided the applicant with the following direction:

Public Works Representative, Danielle Uharriet: had no comments.

Building Official, Robin Woodman: informed the applicant the electric subpanel should be moved out of the closet in bedroom number 3, walls within 5 feet of the property line must be built to one-hour fire wall construction standards, and the labels for the North and South elevations should be reversed.

Local Architect, Frank Phanton: stated that the additions conform with setbacks, protect the privacy of the neighboring properties, and work with existing building design.

Associate Planner, Matt Orbach: had no comments.

### Development Standards

The following table outlines the zoning code requirements for development in the R-1 Zoning District. The applicant is seeking a variance to the required covered parking space dimensions and required side yard setback.

#### R-1 (Single Family Residential) Zoning District

Development Standards			
Building Height			
R-1 Regulation	Existing		Proposed
25 ft.	14 ft. 4 in.		23 ft. 2 in.
Floor Area Ratio (FAR)			
	Existing		Proposed
<b>Lot Size</b>	3,858 sq. ft.		3,858 sq. ft.
<b>Maximum Floor Area Ratio</b>	54% (Max 2,083 sq. ft.)		54% (Max 2,083 sq. ft.)
First Story Floor Area	1,148 sq. ft.		1,499 sq. ft.
Second Story Floor Area	N/A		349 sq. ft.
Deck/Covered Ext. Space	15 sq. ft.		153 sq. ft.
Deck/Covered Ext. Exception	-15 sq. ft. (Max 150 sq. ft.)		-150 sq. ft.
<b>TOTAL FAR</b>	29.8% (1,148 sq. ft.)		48% (1,851 sq. ft.)
Yards (setbacks are measured from the edge of the public right-of-way)			
	R-1 Regulation	Existing	Proposed
<b>Front Yard 1<sup>st</sup> Story</b>	15 ft.	17 ft. 6 in.	17 ft. 6 in.
<b>Front Yard 2<sup>nd</sup> Story &amp; Garage</b>	20 ft.	2 <sup>nd</sup> Story: N/A Garage: N/A	2 <sup>nd</sup> Story: 47 ft. 8 in. Garage: 20 ft.
<b>Side Yard 1<sup>st</sup> Story</b>	10% lot width	Lot width: 41 ft. 11 in. 4 ft. 2 in.	North: 4 ft. 11 in. South: 0 ft. 5 in. <b>Existing Nonconforming</b>
			<b>Variance Requested</b> South: 0 ft. 5 in. <b>Existing Nonconforming</b>
<b>Side Yard 2<sup>nd</sup> Story</b>	15% of width	Lot width: 41 ft. 11 in. 6 ft. 3 in.	N/A North: 15 ft. 9 in. South: 9 ft. 1 in.
<b>Rear Yard 1<sup>st</sup> Story</b>	20% of lot depth	Lot depth: 96 ft. 6 in. 19 ft. 4 in.	28 ft. 5 in. 21 ft. 8 in.
<b>Rear Yard 2<sup>nd</sup> Story</b>	20% of lot depth	Lot depth: 96 ft. 6 in. 19 ft. 4 in.	N/A 19 ft. 6 in.
<b>Encroachments (list all)</b>	Proposed attached garage encroaches into side setback.		
Parking			
	Required	Existing	Proposed
<b>Residential (from <u>1,501</u> up to <u>2,000</u> sq. ft.)</b>	2 spaces total 2 uncovered	1 spaces total 0 covered 1 uncovered	2 spaces total 1 covered* 1 uncovered

		<b>Existing Nonconforming</b>	*1 substandard parking space. <b>Variance Requested</b>
<b>Underground Utilities: required with 25% increase in area</b>			Required

**DISCUSSION**

The existing residence at 307 McCormick Avenue is a nonconforming, one-story, single-family residence. The lot is located near the Upper Village between Depot Hill and Noble Gulch Park. The lot is surrounded by one- and two-story single-family homes.

The applicant is proposing to construct 703 square feet of first- and second-story additions. The first story addition includes an attached garage on the front of the home and a new family room off the back of the home. A second story addition with deck is proposed above the new family room toward the back of the home. The second story addition has a hipped roof to match the existing first story. The existing home has a stucco exterior. The application is proposing lap siding on the second story and along the first story on the north elevation. The differentiation in materials between the first and second stories will add architectural interest and break up the massing of the overall design.

Nonconforming Structure

The existing structure is located within the side yard setback on the south side. The existing structure does not comply with the setback regulations of the zoning code and therefore is a legal non-conforming structure. Pursuant to Capitola Municipal Code (CMC) §17.72.070, if proposed structural alterations to an existing nonconforming structure exceed 80 percent of the present fair market value of the structure, the proposed structural alterations may not be made. The applicant has submitted a construction cost breakdown demonstrating that the proposed structural alterations are 55 percent of the present fair market value of the structure, therefore the alterations are permissible.

Non-Conforming Parking

Pursuant to CMC §17.51.130(A)(1), single-family residences up to one thousand five hundred square feet require two uncovered onsite parking spaces. There is currently only one uncovered parking space on the lot, so the structure is nonconforming in terms of parking. Pursuant to CMC §17.51.135(B), if a structure with nonconforming parking is enlarged more than ten percent of the existing gross floor area, parking requirements must be met. The proposed addition would increase the existing gross floor area by 55 percent and the proposed total floor area of 1,851 square feet would require one covered parking space and one uncovered parking space.

Variance

Pursuant to §17.66.090, the Planning Commission, on the basis of the evidence submitted at the hearing, may grant a variance permit when it finds:

- A. *That because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings, the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification;*
- B. *That the grant of a variance permit would not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which subject property is situated.*

The applicant is requesting a variance to the required covered parking space dimensions and the required side yard setback. The request is analyzed below.

Due to the orientation of the existing single-family residence on the lot, the applicant is unable to construct a garage that complies with the side yard setback and parking dimension standards. Covered parking spaces are required to be a minimum of 20 feet long by 10 feet wide. Also, structures in the R-1 zone, have a minimum side yard setback requirement of 10 percent of the zone width, or 4 feet 11 inches on this property. The applicant is seeking approval of a variance to allow an attached garage four feet from the property line with a parking space that does not meet minimum required width of 10 feet. The proposed garage includes a nine-foot-wide by 20-foot-long covered parking space. The interior garage wall is angled; therefore, the interior width averages 9 feet 6 inches as the garage is wider toward the back.

In relation to variance finding A, there are special circumstances applicable to the subject property as it is an irregularly shaped lot. The rear property line is angled; therefore, one side of the property is 16 feet shorter than the other. In addition, the structure at 307 McCormick Avenue, as well as several surrounding properties, are misaligned with the property boundaries. Due to the property shape and historical orientation of development on this lot and surrounding lots, the strict application of the development standards for parking space dimensions would deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.

To analyze whether or not the approval of a variance would be a grant of special privilege inconsistent with the limitation upon other properties in the vicinity and zone in which the property is situated (variance finding B), staff reviewed characteristics and lot dimensions and lot dimensions of adjacent properties. Eleven properties along the west side of McCormick Avenue between Park Avenue and Loma Avenue were reviewed. Eight of the observed eleven properties have garages or carports. Five of those garages and carports appear to have nonconforming side yard setbacks. The grant of a variance would not constitute a grant of special privilege because multiple properties in the vicinity have existing garages or carports that encroach into the required side setbacks and would not meet minimum parking dimensions if they complied with all other development standards.

The proposed attached garage was designed in a way that provides a substandard covered parking space while maintaining a four-foot side yard setback. The Planning Commission could require the garage to be the required ten-foot-wide by twenty-foot-long dimensions by allowing the applicant to encroach an additional seven inches into the north side setback.

#### Landscaping

Pursuant to §12.32.010, driveway widths shall not exceed forty percent of the lot width. Currently, the entire front yard is gravel and is utilized for parking across the majority of the street frontage. The proposed project will relocate the parking to the north side of the property in compliance with the maximum driveway width and landscaping will replace the graveled area between the new driveway and the south property line. Condition #6 requires the applicant to submit a landscape plan for approval by the Community Development Director prior to issuance of a building permit.

There are several trees on the property located on the front and back yard. The applicant is not proposing to remove any of the existing trees within the current planning permit.

#### CEQA

Section 15332 of the CEQA Guidelines exempts projects characterized as in-fill development when the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; the project site has no value as habitat for endangered, rare, or threatened species; the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and the site can be adequately served by all required utilities and public services. This project involves first- and second-story additions to an existing nonconforming single-family residence within the R-1 (Single-Family Residential) zoning district. The proposed project is consistent with the in-fill development exemption and no adverse environmental impacts were discovered during review of the proposed project.

### **RECOMMENDATION**

Staff recommends the Planning Commission review the application and approve project application #20-0475

### **CONDITIONS OF APPROVAL**

1. The project approval consists of 703 square feet of first- and second-story additions. The approval includes variances for the required parking space dimensions and first-story side setback. The maximum Floor Area Ratio (FAR) for the 3,858 square foot property is 54% (2,083 square feet). The total FAR of the project is 48% with a total of 1,851 square feet, compliant with the maximum FAR within the zone. The proposed project is approved as indicated on the final plans reviewed and approved by the Planning Commission on April 1, 2021, except as modified through conditions imposed by the Planning Commission during the hearing.
2. Prior to construction, a building permit shall be secured for any new construction or modifications to structures authorized by this permit. Final building plans shall be consistent with the plans approved by the Planning Commission. All construction and site improvements shall be completed according to the approved plans.
3. At time of submittal for building permit review, the Conditions of Approval must be printed in full on the cover sheet of the construction plans.
4. At time of submittal for building permit review, Public Works Standard Detail SMP STRM shall be printed in full and incorporated as a sheet into the construction plans. All construction shall be done in accordance with the Public Works Standard Detail BMP STRM.
5. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or exterior appearance of the structure shall require Planning Commission approval.
6. Prior to issuance of building permit, a landscape plan shall be submitted to and approved by the Community Development Department. The landscape plan can be produced by the property owner, a landscape professional, or a landscape architect. Landscape plans shall reflect the Planning Commission approval and shall identify type, size, and location of species and details of any proposed (but not required) irrigation systems.

7. Prior to issuance of building permit, all Planning fees associated with permit #20-0475 shall be paid in full.
8. Prior to issuance of building permit, the developer shall pay Affordable housing in-lieu fees as required to assure compliance with the City of Capitola Affordable (Inclusionary) Housing Ordinance.
9. Prior to issuance of a building permit, the applicant must provide documentation of plan approval by the following entities: Santa Cruz County Sanitation Department, Soquel Creek Water District, and Central Fire Protection District.
10. Prior to issuance of building permits, a drainage plan, grading, sediment and erosion control plan, shall be submitted to the City and approved by Public Works. The plans shall be in compliance with the requirements specified in Capitola Municipal Code Chapter 13.16 Storm Water Pollution Prevention and Protection.
11. Prior to issuance of building permits, the applicant shall submit a stormwater management plan to the satisfaction of the Director of Public Works which implements all applicable Post Construction Requirements (PCRs) and Public Works Standard Details, including all standards relating to low impact development (LID).
12. Prior to any land disturbance, a pre-site inspection must be conducted by the grading official to verify compliance with the approved erosion and sediment control plan.
13. Prior to any work in the City road right of way, an encroachment permit shall be acquired by the contractor performing the work. No material or equipment storage may be placed in the road right-of-way.
14. During construction, any construction activity shall be subject to a construction noise curfew, except when otherwise specified in the building permit issued by the City. Construction noise shall be prohibited between the hours of nine p.m. and seven-thirty a.m. on weekdays. Construction noise shall be prohibited on weekends with the exception of Saturday work between nine a.m. and four p.m. or emergency work approved by the building official. §9.12.010B
15. Prior to a project final, all cracked or broken driveway approaches, curb, gutter, or sidewalk shall be replaced per the Public Works Standard Details and to the satisfaction of the Public Works Department. All replaced driveway approaches, curb, gutter or sidewalk shall meet current Accessibility Standards.
16. Prior to issuance of a Certificate of Occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Community Development Director. Upon evidence of non-compliance with conditions of approval or applicable municipal code provisions, the applicant shall remedy the non-compliance to the satisfaction of the Community Development Director or shall file an application for a permit amendment for Planning Commission consideration. Failure to remedy a non-compliance in a timely manner may result in permit revocation.
17. This permit shall expire 24 months from the date of issuance. The applicant shall have an approved building permit and construction underway before this date to prevent permit expiration. Applications for extension may be submitted by the applicant prior to expiration pursuant to Municipal Code section 17.81.160.

18. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
19. Upon receipt of certificate of occupancy, garbage and recycling containers shall be placed out of public view on non-collection days.
20. Prior to issuance of building permits, the building plans must show that the existing overhead utility lines will be underground to the nearest utility pole.

### **DESIGN PERMIT FINDINGS**

**A. The project, subject to the conditions imposed, secures the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.**

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the project. With the approval of variances for the required parking space dimensions and the required first-story side setback, the first- and second-story additions comply with the development standards of the R-1 (Single-Family Residential) Zoning District and secure the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.

**B. The project will maintain the character and integrity of the neighborhood.**

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the application for first- and second-story additions to an existing single-family residence. The design of the additions, with a hipped roof to match the existing first story roof, lap and stucco siding, and a rear second-story deck, will fit in nicely with the existing neighborhood. The project will maintain the character and integrity of the neighborhood.

### **VARIANCE FINDINGS**

**A. Special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, exist on the site and the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification;**

The subject property has an irregular lot shape with one rear property side 16 feet shorter than the other. In addition, 307 McCormick Avenue and several surrounding properties have been developed in a manner contrary to their lot orientations. Due to the property shape and historical orientation of development on this lot and surrounding lots, the strict application of the development standards for parking space dimensions and side setbacks would deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.

**B. The grant of a variance would not constitute a grant of a special privilege inconsistent with the limitation upon other properties in the vicinity and zone in which subject property is situated.**

Multiple properties on the block have either garages or carports that do not comply with side setbacks and would not meet minimum parking dimensions if they complied with all other development standards. Therefore, the approval of variances for the parking space dimensions and side setbacks would not be a grant of special privilege

inconsistent with the limitation upon other properties in the vicinity and zone in which the property the property is situated.

### **CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) FINDINGS**

**A. This project is categorically exempt under Section 15332 of the California Environmental Quality Act and is subject to Section 753.5 of Title 14 of the California Code of Regulations.**

Section 15332 of the CEQA Guidelines exempts projects characterized as in-fill development when the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; the project site has no value as habitat for endangered, rare, or threatened species; the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and the site can be adequately served by all required utilities and public services. This project involves first- and second-story additions to an existing nonconforming single-family residence within the R-1 (Single-Family Residential) zoning district. The proposed project is consistent with the in-fill development exemption and no adverse environmental impacts were discovered during review of the proposed project.

### **COASTAL FINDINGS**

**D. Findings Required.**

1. **A coastal permit shall be granted only upon adoption of specific written factual findings supporting the conclusion that the proposed development conforms to the certified Local Coastal Program, including, but not limited to:**
  - a. A statement of the individual and cumulative burdens imposed on public access and recreation opportunities based on applicable factors identified pursuant to subsection (D)(2) of this section. The type of affected public access and recreation opportunities shall be clearly described;
  - b. An analysis based on applicable factors identified in subsection (D)(2) of this section of the necessity for requiring public access conditions to find the project consistent with the public access provisions of the Coastal Act;
  - c. A description of the legitimate governmental interest furthered by any access conditioned required;
  - d. An explanation of how imposition of an access dedication requirement alleviates the access burdens identified.
    - The proposed development conforms to the City's certified Local Coastal Plan (LCP). The specific, factual findings, as per CMC Section 17.46.090(D) are as follows:
2. **Require Project-Specific Findings. In determining any requirement for public access, including the type of access and character of use, the city shall evaluate and document in written findings the factors identified in subsections (D)(2)(a) through (e), to the extent applicable. The findings shall explain the basis for the conclusions and decisions of the city and shall be supported by substantial evidence in the record. If an access dedication is required as a condition of approval, the findings shall explain how the adverse effects which have been identified will be alleviated or mitigated by the dedication. As used in this section, "cumulative effect" means the effect of the individual project in combination with**



**the effects of past projects, other current projects, and probable future projects, including development allowed under applicable planning and zoning.**

- a. Project Effects on Demand for Access and Recreation. Identification of existing and open public access and coastal recreation areas and facilities in the regional and local vicinity of the development. Analysis of the project's effects upon existing public access and recreation opportunities. Analysis of the project's cumulative effects upon the use and capacity of the identified access and recreation opportunities, including public tidelands and beach resources, and upon the capacity of major coastal roads from subdivision, intensification or cumulative buildout. Projection for the anticipated demand and need for increased coastal access and recreation opportunities for the public. Analysis of the contribution of the project's cumulative effects to any such projected increase. Description of the physical characteristics of the site and its proximity to the sea, tideland viewing points, upland recreation areas, and trail linkages to tidelands or recreation areas. Analysis of the importance and potential of the site, because of its location or other characteristics, for creating, preserving or enhancing public access to tidelands or public recreation opportunities;
- The proposed project is located at 307 McCormick Avenue. The home is not located in an area with coastal access. The home will not have an effect on public trails or beach access.
- b. Shoreline Processes. Description of the existing shoreline conditions, including beach profile, accessibility and usability of the beach, history of erosion or accretion, character and sources of sand, wave and sand movement, presence of shoreline protective structures, location of the line of mean high tide during the season when the beach is at its narrowest (generally during the late winter) and the proximity of that line to existing structures, and any other factors which substantially characterize or affect the shoreline processes at the site. Identification of anticipated changes to shoreline processes at the site. Identification of anticipated changes to shoreline processes and beach profile unrelated to the proposed development. Description and analysis of any reasonably likely changes, attributable to the primary and cumulative effects of the project, to: wave and sand movement affecting beaches in the vicinity of the project; the profile of the beach; the character, extent, accessibility and usability of the beach; and any other factors which characterize or affect beaches in the vicinity. Analysis of the effect of any identified changes of the project, alone or in combination with other anticipated changes, will have upon the ability of the public to use public tidelands and shoreline recreation areas;
- The proposed project is located along McCormick Avenue. No portion of the project is located along the shoreline or beach.
- c. Historic Public Use. Evidence of use of the site by members of the general public for a continuous five-year period (such use may be seasonal). Evidence of the type and character of use made by the public (vertical, lateral, blufftop, etc., and for passive and/or active recreational use, etc.). Identification of any agency (or person) who has maintained and/or improved the area subject to historic public use and the nature of the maintenance performed and improvements made. Identification of the record owner of the area historically used by the public and any attempts by the owner to prohibit public use of the area, including the success or failure of those attempts. Description of the potential for adverse impact on public use of the area from the

proposed development (including but not limited to, creation of physical or psychological impediments to public use);

- There is not a history of public use on the subject lot.
- d. **Physical Obstructions.** Description of any physical aspects of the development which block or impede the ability of the public to get to or along the tidelands, public recreation areas, or other public coastal resources or to see the shoreline;
- The proposed project is located on private property on McCormick Avenue. The project will not block or impede the ability of the public to get to or along the tidelands, public recreation areas, or views to the shoreline.
- e. **Other Adverse Impacts on Access and Recreation.** Description of the development's physical proximity and relationship to the shoreline and any public recreation area. Analysis of the extent of which buildings, walls, signs, streets or other aspects of the development, individually or cumulatively, are likely to diminish the public's use of tidelands or lands committed to public recreation. Description of any alteration of the aesthetic, visual or recreational value of public use areas, and of any diminution of the quality or amount of recreational use of public lands which may be attributable to the individual or cumulative effects of the development.
- The proposed project is located on private property that will not impact access and recreation. The project does not diminish the public's use of tidelands or lands committed to public recreation nor alter the aesthetic, visual, or recreational value of public use areas.
- 3. Required Findings for Public Access Exceptions. Any determination that one of the exceptions of subsection (F)(2) applies to a development shall be supported by written findings of fact, analysis and conclusions which address all of the following:**
- a. The type of access potentially applicable to the site involved (vertical, lateral, bluff top, etc.) and its location in relation to the fragile coastal resource to be protected, the agricultural use, the public safety concern, or the military facility which is the basis for the exception, as applicable;
  - b. Unavailability of any mitigating measures to manage the type, character, intensity, hours, season or location of such use so that agricultural resources, fragile coastal resources, public safety, or military security, as applicable, are protected;
  - c. Ability of the public, through another reasonable means, to reach the same area of public tidelands as would be made accessible by an accessway on the subject land.
- The project is not requesting a Public Access Exception, therefore these findings do not apply.
- 4. Findings for Management Plan Conditions. Written findings in support of a condition requiring a management plan for regulating the time and manner or character of public access use must address the following factors, as applicable:**
- a. Identification and protection of specific habitat values including the reasons supporting the conclusions that such values must be protected by limiting the hours, seasons, or character of public use;

- The project is located in a residential area without sensitive habitat areas.
- b. Topographic constraints of the development site;
- The project is located on a flat lot.
- c. Recreational needs of the public;
- The project does not impact the recreational needs of the public.
- d. Rights of privacy of the landowner which could not be mitigated by setting the project back from the access way or otherwise conditioning the development;
- e. The requirements of the possible accepting agency, if an offer of dedication is the mechanism for securing public access;
- f. Feasibility of adequate setbacks, fencing, landscaping, and other methods as part of a management plan to regulate public use.
5. **Project complies with public access requirements, including submittal of appropriate legal documents to ensure the right of public access whenever, and as, required by the certified land use plan and Section 17.46.010 (coastal access requirements);**
- No legal documents to ensure public access rights are required for the proposed project.

6. **Project complies with visitor-serving and recreational use policies;**

**SEC. 30222**

**The use of private lands suitable for visitor-serving commercial recreational facilities designed to enhance public opportunities for coastal recreation shall have priority over private residential, general industrial, or general commercial development, but not over agriculture or coastal-dependent industry.**

- The project involves first- and second-story additions on a residential lot of record.

**SEC. 30223**

**Upland areas necessary to support coastal recreational uses shall be reserved for such uses, where feasible.**

- The project involves first- and second-story additions on a residential lot of record.

**c) Visitor-serving facilities that cannot be feasibly located in existing developed areas shall be located in existing isolated developments or at selected points of attraction for visitors.**

- The project involves first- and second-story additions on a residential lot of record.

7. **Project complies with applicable standards and requirements for provision of public and private parking, pedestrian access, alternate means of transportation and/or traffic improvements;**

- The project involves the construction of first- and second-story additions. The project complies with applicable standards and requirements for provision for parking, pedestrian access, alternate means of transportation, and/or traffic improvements.
- 8. Review of project design, site plan, signing, lighting, landscaping, etc., by the city's architectural and site review committee, and compliance with adopted design guidelines and standards, and review committee recommendations;**
- The project complies with the design guidelines and standards established by the Municipal Code.
- 9. Project complies with LCP policies regarding protection of public landmarks, protection or provision of public views; and shall not block or detract from public views to and along Capitola's shoreline;**
- The project will not negatively impact public landmarks and/or public views. The project will not block or detract from public views to and along Capitola's shoreline.
- 10. Demonstrated availability and adequacy of water and sewer services;**
- The project is located on a legal lot of record with available water and sewer services.
- 11. Provisions of minimum water flow rates and fire response times;**
- The project is located 0.3 miles from the Central Fire Protection District Capitola Station. Water is available at the location.
- 12. Project complies with water and energy conservation standards;**
- The project is for first- and second-story additions. The GHG emissions for the project are projected at less than significant impact. All water fixtures must comply with the low-flow standards of the Soquel Creek Water District.
- 13. Provision of park dedication, school impact, and other fees as may be required;**
- The project will be required to pay appropriate fees prior to building permit issuance.
- 14. Project complies with coastal housing policies, and applicable ordinances including condominium conversion and mobile home ordinances;**
- The project does not involve a condo conversion or mobile homes.
- 15. Project complies with natural resource, habitat, and archaeological protection policies;**
- Conditions of approval have been included to ensure compliance with established policies.
- 16. Project complies with Monarch butterfly habitat protection policies;**

- The project is outside of any identified sensitive habitats, specifically areas where Monarch Butterflies have been encountered, identified and documented.
- 17. Project provides drainage and erosion and control measures to protect marine, stream, and wetland water quality from urban runoff and erosion;**
- Conditions of approval have been included to ensure compliance with applicable erosion control measures.
- 18. Geologic/engineering reports have been prepared by qualified professional for projects in seismic areas, geologically unstable areas, or coastal bluffs, and project complies with hazard protection policies including provision of appropriate setbacks and mitigation measures;**
- Geologic/engineering reports have been prepared by qualified professionals for this project. Conditions of approval have been included to ensure the project applicant shall comply with all applicable requirements of the most recent version of the California Building Standards Code.
- 19. All other geological, flood and fire hazards are accounted for and mitigated in the project design;**
- Conditions of approval have been included to ensure the project complies with geological, flood, and fire hazards and are accounted for and will be mitigated in the project design.
- 20. Project complies with shoreline structure policies;**
- The proposed project is not located along a shoreline.
- 21. The uses proposed are consistent with the permitted or conditional uses of the zoning district in which the project is located;**
- This use is an allowed use consistent with the R-1 (Single-Family Residential) zoning district.
- 22. Conformance to requirements of all other city ordinances, zoning requirements, and project review procedures; and**
- The project conforms to the requirements of all city ordinances, zoning requirements, and project development review and development procedures.
- 23. Project complies with the Capitola parking permit program as follows:**
- a. The village area preferential parking program areas and conditions as established in Resolution No. 2596 and no permit parking of any kind shall be allowed on Capitola Avenue.
  - b. The neighborhood preferential parking program areas are as established in Resolution Numbers 2433 and 2510.
  - c. The village area preferential parking program shall be limited to three hundred fifty permits.

- d. Neighborhood permit areas are only in force when the shuttle bus is operating except that:
    - i. The Fanmar area (Resolution No. 2436) program may operate year-round, twenty-four hours a day on weekends,
    - ii. The Burlingame, Cliff Avenue/Grand Avenue area (Resolution No. 2435) have year-round, twenty-four hour per day “no public parking.”
  - e. Except as specifically allowed under the village parking program, no preferential residential parking may be allowed in the Cliff Drive parking areas.
  - f. Six Depot Hill twenty-four minute “Vista” parking spaces (Resolution No. 2510) shall be provided as corrected in Exhibit A attached to the ordinance codified in this section and found on file in the office of the city clerk.
  - g. A limit of fifty permits for the Pacific Cove parking lot may be issued to village permit holders and transient occupancy permit holders.
  - h. No additional development in the village that intensifies use and requires additional parking shall be permitted. Changes in use that do not result in additional parking demand can be allowed and exceptions for onsite parking as allowed in the land use plan can be made.
- The project site is not located within the area of the Capitola parking permit program.

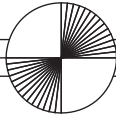
**ATTACHMENTS:**

1. 307 McCormick Avenue - Plan Set
2. 307 McCormick Avenue - Construction Cost Breakdown
3. 307 McCormick Avenue - Color and Materials Information

Prepared By: Sean Sesanto

# RATHJENS RESIDENCE

GENERAL INFORMATION:	
<b>SITE AREA:</b> 3,790 SQ. FT.	<b>ZONE:</b> R1
<b>BUILDING:</b>	
<b>EXISTING:</b>	
SINGLE STORY RESIDENCE	1,162 SQ. FT.
ROOF DECKS	288 SQ. FT.
<b>TOTAL</b>	<b>1,164 SQ. FT.</b>
<b>PROPOSED:</b>	
1ST FLOOR	1,293 SQ. FT.
2ND FLOOR	301 SQ. FT.
<b>TOTAL</b>	<b>1,594 SQ. FT.</b>
2ND FLOOR DECK	52 SQ. FT.
GARAGE	208 SQ. FT.



PAGE	TITLE
1	COVER SHEET, PROJECT INFO
1A	GENERAL NOTES
2	SITE PLAN
3	EXISTING FLOORPLAN
4	PROPOSED FLOORPLAN
5	ELEVATIONS EXISTING
6	ELEVATIONS PROPOSED
8	ROOF PLAN
9	SITE PLANNING DETAILS
10	SECTIONS
11	ELECTRICAL PLAN
EMP	BEST MANAGEMENT PRACTICES
9	SURVEY

**CODE ANALYSIS:**  
 THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED IN COMPLIANCE WITH THE CALIFORNIA BUILDING AND FIRE CODES (2019)  
 OCCUPANCY CLASSIFICATION: **R-3/U**  
 BUILDING CONSTRUCTION TYPE: **VB**  
 FIRE RATING: **NON-SPRINKLERED**

THE DESIGNER MUST BE NOTIFIED OF ANY DISCREPANCIES IN DIMENSIONS, FIELD CONDITIONS, OR OTHER INFORMATION THAT IS CONTAINED IN AND/OR DIFFERS FROM THESE DOCUMENTS. THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. THE DESIGNER DISCLAIMS ANY RESPONSIBILITY RESULTING FROM THEIR UNAUTHORIZED USE. COPYRIGHT PROTECTION STARTS FROM THE EARLIEST DATE OF THE DESIGN CONTRACT, PRELIMINARY DESIGN WORK, OR THE CONSTRUCTION DOCUMENTS.

**PROJECT DESCRIPTION:**  
 2ND STORY ADDITION TO EXISTING SINGLE STORY RESIDENCE, NEW LOWER AND UPPER DECKS.

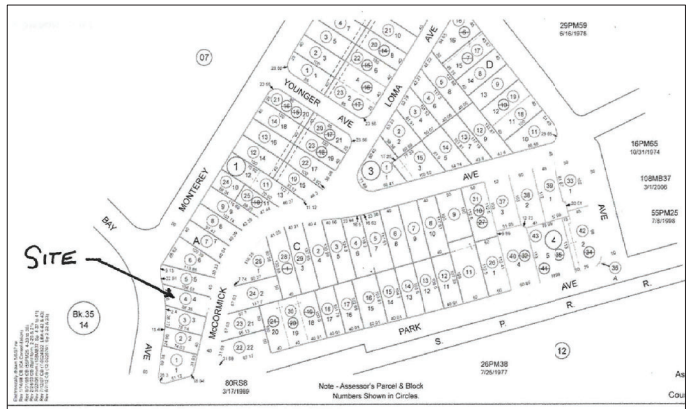
**OWNER:**  
 THOMAS RATHJEN  
 307 MCCORMICK AVE  
 CAPITOLA, CA 95010  
 530-414-6800

**RATHJENS RESIDENCE**  
 307 MCCORMICK AVE  
 CAPITOLA, CA 95010  
 ADN 076-001-04

**DENNIS NORTON**  
 HOME DESIGN AND PROJECT PLANNING  
 772 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
 PHONE (531) 471-2010 FAX (531) 475-2010

COVER SHEET  
 LEGEND OF SHEETS

**DRAWN:** C  
**CHECKED:** C  
**JOB NO.:** MCCORR  
**DATE:** 02/26/  
**SHEET:** 1  
 OF # SHEET



VICINITY MAP

**Attachment: 307 McCormick Avenue - Plan Set (307 McCormick Avenue)**

# GENERAL NOTES:

- GENERAL:
- PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA RESIDENTIAL BUILDING CODE, PLUMBING, MECHANICAL, ELECTRICAL, FIRE AND ENERGY CODES, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE.
  - CONTRACTOR SHALL VERIFY ALL UTILITIES IN THE FIELD.
  - VERIFY THE STABILITY OF ALL ELEMENTS BEFORE DOING ANY WORK AND PROVIDE SHORING, BRACING AND UNDERPINNING AS REQUIRED.
  - VERIFY ALL GRADES AND DIMENSIONS IN FIELD. WRITTEN DIMENSIONS SHALL SUPERCEDE SCALED DRAWINGS.
  - CONTRACTOR SHALL REMOVE ALL DEBRIS PROMPTLY AND KEEP CONSTRUCTION SITE ORDERLY.
  - PLUMBING AND MECHANICAL PLANS WILL BE SUBMITTED BY THE CONTRACTOR.
  - NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR FLOOD WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER SUPPLIER AND FROM COUNTY HEALTH DEPT.
  - ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL HAVE A SHUT OFF NOZZLE.
  - WHEN AN AUTOMATIC SHUTOFF NOZZLE CAN BE OBTAINED FOR THE SIZE/TYPE OF HOSE USED, PROVIDE AUTOMATIC SHUTOFF NOZZLE.
  - NO POSSIBLE WATER MAY BE USED FOR COMBATION OR DUST CONTROL IN CONSTRUCTION ACTIVITIES WHERE THERE IS REASONABLY AVAILABLE REPLACEMENT OR SUB-POTABLE WATER APPROVED BY THE COUNTY HEALTH DEPT.
  - ALL WORK AND CONSTRUCTION SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE (CBC), AND ALL OTHER APPLICABLE BUILDING CODES, REGULATIONS AND SAFETY REQUIREMENTS.
  - PERMANENT PROTECTION COVERINGS ARE REQUIRED TO BE IN PLACE PRIOR TO FOUNDATION INSPECTION.
  - 2019 CALIFORNIA GREEN BUILDING CODE - THE COUNTY HAS ADOPTED ONLY THE MANDATORY REQUIREMENTS. THIS CODE MAY BE VIEWED AT <http://www.bae.com.gov/default.html> (MAY/JUNE 2019).

- SITE:
- FINISH GRADE SHALL SLOPE MINIMUM 0.50% AWAY FROM STRUCTURE.
  - ALL DISTURBED AREAS, NOT WITHIN LANDSCAPE PLAN, TO BE REVEGETATED WITH NATIVE GRASSES.
  - ALL MATERIALS CONTAINING GRASS, BRUSH OR ROOTS SHALL BE STRIPPED PRIOR TO ANY GRADING OPERATIONS. THIS MATERIAL SHOULD BE STOCKPILED FOR LATER USE AS TOPSOIL.
  - TREES NOTED TO BE SAVED ARE TO BE PROVIDED PROTECTION BY FENCING OR OTHER MEANS DURING CONSTRUCTION.
  - THE INSTALLATION FORM OF AIR AND THE CERTIFICATION OF INSULATION ARE REQUIRED TO BE POSTED AT THE JOB SITE DURING THE CONSTRUCTION AND REVISION OF THE PROJECT.
  - ALL HOUSE DRAINAGE TO LANDSCAPED AREAS.
  - ALL SUBCONTRACTORS TO REVIEW AND SIGN CONSTRUCTION WASTE MANAGEMENT PLAN.

- ENERGY REQUIREMENTS:
- ALL EXTERIOR DOORS SHALL HAVE ALUMINUM OR WOOD THRESHOLD AND INTERLOCKING WEATHERSTRIP, UNLESS NOTED OTHERWISE.
  - JOINTS AND PENETRATIONS SHALL BE CALKED AND SEALED.
  - DOORS & WINDOWS SHALL BE CERTIFIED. ALL WINDOWS DOUBLE GLAZED EXCEPT WHERE NOTED OTHERWISE.
  - EQUALIZER SYSTEM SHALL HAVE DAMPER CONTROLS.
  - HVAC EQUIPMENT SHALL HAVE SET BACK THERMOSTAT.
  - FIRST FIVE FEET OF PIPES CLOSE TO WATER HEATER TANK SHALL BE WRAPPED WITH 3/4" MINIMUM HVMC EQUIPMENT WATER HEATER, SHOWER HEADS AND FAUCETS SHALL BE CERTIFIED.
  - CONTRACTOR TO PROVIDE AND POST ON THE STRUCTURE AT FINAL INSPECTION A COMPLETED INSULATION CERTIFICATE.
  - NFRC LABELS MUST REMAIN ATTACHED TO THE GLAZING UNITS. AFTER INSULATION INSPECTION IS COMPLETED.

- FOUNDATION:
- CONTRACTOR SHALL CAREFULLY EXCAVATE ALL MATERIALS NECESSARY, OF WHATEVER NATURE, FOR CONSTRUCTION OF THE WORK. ANY MATERIAL OF AN UNSUITABLE OR CELESTIAL NATURE DISCOVERED BELOW THE BOTTOMS OF THE FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH WORK.
  - GRAVEL ON WHICH GRADE BEAMS AND EXTERIOR CONCRETE FLOORWORK ARE CONSTRUCTED MUST BE HIGHLY PERMEABLE BEFORE CONCRETE IS PLACED.
  - USE 200 P.S.I. PRESSURE TREATED SILLS OVER CONCRETE OR USE MINIMUM 5/8" X 10" A.B. AT 48" O.C. U.N.G. ALL ANCHOR BOLTS SHALL BE INSTALLED WITH METAL SLOTTED WASHERS (5"x3"x20"). FOUNDATION DETAILS SHALL SUPERCEDE GENERAL NOTES.
  - PROVIDE 18"x24" GRADE ACCESS UNDER 20'-0" OF ALL BATHROOMS AND PLUMBING CLEANOUTS.
  - PROVIDE ADDITIONAL 18" ACCESS UNDER MAIN HEAT DUCT.
  - PROVIDE EMERSON NO. 26 OR EQUIV. 6"x14" FOUNDATION VENTS (2 5/8" PER 25 L.F.), PLACE AT MAX. 8'-0" O.C. STARTING AS CLOSE TO CORNERS AS POSSIBLE & LOCATED TO PROVIDE CROSS VENTILATION.
  - PROVIDE MINIMUM 60 SO. IN. FIBER VENTED PIPER FOR CAR TO OUTSIDE AIR. 4" ABOVE GARAGE FLOOR.
  - CONCRETE SHALL DEVELOP 3500 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS IN ACCORDANCE WITH THE PROVISIONS IN AC 308 STANDARD PRACTICE FOR CURING CONCRETE. LATEST EDITION. ALL CONCRETE WORK SHALL CONFORM WITH THE APPLICABLE PROVISIONS, LATEST EDITION.
  - REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 40 FOR #2 BARS AND SMALLER, AND GRADE 60 FOR #4 BARS AND LARGER. BARS SHALL BE WIRE TOGETHER AND LAPPED AT SPACES A MINIMUM OF 40 BAR DIAMETERS IN CONCRETE AND MASONRY. WHERE PAIRS OF SINGLE LAYER HORIZONTAL BARS MEET AT CORNERS, HOOK ONE BAR TO LAP 40 BAR DIAMETERS WITH THE INTERSECTING BAR. ALTERNATELY, PROVIDE 2 BARS WITH EACH LEG 40 BAR DIAMETERS. SEE DRAWINGS FOR OTHER LAP REQUIREMENTS WHERE NOTED. WHERE CONCRETE IS POURED AGAINST EXISTING, PROVIDE 2" MINIMUM CONCRETE AROUND REINFORCED STEEL. CONCRETE COVER FOR OTHER CONDITION SHALL BE AS FOLLOWS: (1) ABOVE GRADE FORMED - 1 1/2" MIN. (2) BELOW GRADE - FORMED - 2" MIN. (3) OTHER - SEE STRUCTURAL PLANS.
  - PROVIDE NECESSARY HOLES THROUGH CONCRETE FOR ACCESS, PLUMBING, ETC. USE POUND DET. GARAGE SLAB TO BE FINISHED SKIOTEL. ALL OTHER EXPOSED CONCRETE SLABS SHALL BE LIGHT BROOM FINISH, UNLESS NOTED OTHERWISE.
  - SLOPE GARAGE SLAB 1/4" TO 1/8" OUTSIDE FOR DRAINAGE.
  - ALL DIMENSIONS ARE TO FACE OF CONCRETE FOR FOUNDATION FACE OF STUDS FOR FRAMING, U.N.G.
  - FRAMING ANCHORS AND STRAPS AND OTHER STANDARD FRAMING ACCESSORIES SHALL BE "SIMPOUR" OR APPROVED EQUAL OF THE DESIGNATION NOTED ON THE PLANS. ALL NAIL HOLES SHALL BE FILLED, AND NAILS SHALL BE OF THE SIZE AND LENGTH SPECIFIED AND/OR SUPPLIED BY THE MANUFACTURER, UNLESS NOTED OTHERWISE. WHEN INSTALLING OVER PLYWOOD, USE COMMON NAILS. JOIST AND BEAM NAILING SHALL BE 1-1/4", EXCEPT AS NOTED.
  - 2-MAX OR EQUAL AT PRESSURE TREATED WOOD.

- FRAMING, FINISHES, ETC.:
- ALL CONSTRUCTION SHALL CONFORM TO THE "GENERAL CONSTRUCTION REQUIREMENTS" THE CONVENTIONAL CONSTRUCTION PROVISIONS" AND ANY OTHER SECTION OF 2019 C.B.C. UNLESS NOTED OTHERWISE IN THE PLANS. THESE SPECIFICATIONS:
  - METAL FRAME CONNECTORS SHALL BE EMPLOYED ON EQUAL INSTALL PER MANUFACTURER'S SPECS.
  - WOOD JOISTS AND CEILING JOISTS TO BE JOIST LAPPED AND NAILED OVER TOP PLATES.
  - PROVIDE RAFTER TIES MINIMUM 1/4" X 6" @ 48" O.C. IN LOWER THIRD OF ATTIC WHERE CEILING JOISTS DO NOT HAVE LAPS AT ENDS OF ALL JOISTS AND RAFTERS, OVER BEARING WALLS AND AT 8'-0" O.C. MAXIMUM FOR 2X12 AND DEEPER MEMBERS.
  - ALL BOLTS THROUGH WOOD SHALL BE A DRIVE FIT WITH WASHER UNDER HEADS AND NUTS.
  - ATTIC IDENTIFICATION LABELS SHALL BE APPLIED OVER MINIMUM 10 LB. BUILDING PAPER.
  - ALL EXTERIOR WALL COVERINGS SHALL BE INSTALLED OVER MINIMUM 15 LB. BUILDING PAPER.
  - PROVIDE 2"x2"x30" ATTIC ACCESS WITH MINIMUM 30" HEADROOM.
  - EXTERIOR STUCCO WALLS SHALL HAVE A 3 1/2" WEEP SOEKED AT OR BELOW THE FOUNDATION SHEATHING. STUCCO TO BE APPLIED 3/4" COAT APPLICATION.
  - PROVIDE DOUBLE RAFTERS AND HEADERS AT ALL SLOTTED OPENINGS.
  - OCCUPANCY SEPARATION BETWEEN GARAGE AND HOUSE SHALL BE A SELF-CLOSING, TIGHT FITTING, SOLID CORE DOOR 1 3/8" MINIMUM THICKNESS.
  - MINIMUM 4'-8" CLEARANCE REQUIRED FROM STAIR TREAD NOSING TO CEILING.
  - COMBUSTION AIR PROVIDER 2" - 6"x16"-1/4" MESH VENTS 6" FROM FLOOR & 6" FROM CEILING. SLOTTED GLASS SHALL BE TEMPERED/INSULATED GLASS FOR GLAZED SKYLIGHTS.
  - TURB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC OR A SHATTER-RESISTANT TYPE.
  - INTERMEDIATE WALLS OR AN ORNAMENTAL PATTERN SHALL PREVENT PASSAGE OF A 4" DIAMETER SPHERE.
  - ALL FRAMING LINER SHALL BE GRADE STAMPED. ALL WALLS SHALL BE FRAMED WITH 2X4 STUDS @ 16" O.C. UNLESS OTHERWISE SPECIFIED.
  - PLYWOOD SHALL BE APA RATED SHEATHING CONFORMING TO PS-43. EXPOSURE 1 OF EXTERIOR, OF THE THROUSSES, GRADE AND/OR SPAN RATINGS NOTED ON THE DRAWINGS. LAY FACE GRAIN SHEETS PERPENDICULAR TO SUPPORTING MEMBERS OF HORIZONTAL SHEATHING. SHEETS MAY LAP WITH FACE GRAIN EITHER PERPENDICULAR OR PARALLEL TO SUPPORTING MEMBERS OF VERTICAL SHEATHINGS, PROVIDED THAT ALL SHEET EDGES ARE BLOCKED. PROVIDE ONE BLOCKUP AT THE CENTER OF ALL UNSPURRED SHEET EDGES ON ROOFS, UNLESS TONGUE AND GROOVE EDGES ARE USED.
  - PLYWOOD EDGE NAILING PER 2400 C.B.C. OR AS SPECIFICALLY NOTED SHALL OCCUR AT ALL FRAMED OR BLOCKED SHEET EDGES AND AT OTHER LOCATIONS INDICATED ON THE PLANS AND DETAILS, WHETHER OR NOT SHEET EDGES OCCUR AT THESE LOCATIONS.
  - MICROMIL MEMBERS SHALL BE AS MANUFACTURED BR/ JUST OR APPROVED EQUAL, IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS: 70-2600 AND 1-41/80000 (MS, CONFORMING TO NEB-4E1)
  - GLU-LAMINATED BEAMS MANUFACTURED BY AN APPROVED FABRICATOR, CERTIFICATE OF COMPLIANCE SHALL BE PROVIDED UNLESS NOTED. GLU-LAM SHALL BE GRADE QUL-M (M) FOR SIMPLE SPANS.
  - STUD WALLS HORIZONTAL BRIDGING SHALL BE INSTALLED IN ALL WALLS AND PARTITIONS WHERE STUDS ARE MORE THAN EIGHT FEET IN HEIGHT. STUD WALLS SUPPORTING BEAMS SHALL HAVE POSTS OF THE SAME TYPE UNDER BEARINGS UNLESS OTHERWISE NOTED.
  - WOOD WALLS SHALL BE ATTACHED TO CONCRETE FOUNDATIONS OR SLAB WITH 5/8"x10" ANCHOR BOLTS @4'-0" O.C. MAXIMUM SPACING, EXCEPT AS NOTED OTHERWISE. THERE SHALL BE A MINIMUM OF TWO BOLTS, INCLUDING ONE BETWEEN 4" AND 10" FROM EACH ADJOINING PIECE EXCEPT AS OTHERWISE NOTED.
  - DOUBLE PLATES SHALL LAP A MINIMUM OF 4'-0" AT SPICES AND BE NAILED WITH NO LESS THAN 18-16 GA. NAILS. ALL CUTS IN PLATES SHALL OCCUR OVER A STUD.
  - HOLES IN WOOD SILLS OR PLATES OF SHEER OR BEARING WALLS SHALL BE PLACED IN THE CENTER OF THE PIECE AND SHALL BE NO GREATER IN DIAMETER THAN 1/2 THE WIDTH OF THE MEMBER. HOLES LARGER THAN NOTED ABOVE MAY BE BORED IN SILLS, PROVIDING THE SILL IS CONSIDERED CUT IN TWO AND ANCHOR BOLTS ARE PLACED ACCORDINGLY.
  - UNLESS OVER OPENINGS IN NON-BEARING WALLS SHALL BE SOLD MEMBERS THE WIDTH OF THE STUDS AND A MINIMUM NOMINAL DEPTH IN INCHES AT LEAST EQUAL TO THE SPAN LENGTH IN FEET. UNLESS IN BEARING WALLS SHALL BE AS NOTED ON THE PLANS.
  - CUTTING OF BEAMS AND JOISTS FOR PIPES SHALL BE NOT PERMITTED WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
  - ALL TIMBER FRAMING TO HAVE MOISTURE CONTENT OF 19% OR LESS AT THE TIME OF CONNECTION/INSTALLATION.

- PLUMBING:
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION (2019 C.P.C.) AND ALL APPLICABLE CODES AND LOCAL ORDINANCES.
  - SLOPE OF DRAINS 1/4" PER FT. MINIMUM. CLEARANCE FOR CLEANOUTS 18" MINIMUM.
  - PROVIDE 1/2" SQ. ACCESS PANEL OR UTILITY SPACE FOR ALL PLUMBING FIXTURES HAVING CONCEALED SUMP JOINT CONNECTIONS.
  - TOILET SHALL HAVE MAX. 1.28 GAL./FLUSH; SHOWER HEAD FLOW SHALL BE MAX. 1.8 GAL./MAX. AT 90 PSI; WATER PRESSURE SHALL BE 50 PSI MAX.; FAUCETS SHALL BE MAX. 1.2 GPM.
  - PIPE MATERIALS:
    - A. WATER - COPPER TYPE "M" WITH LEAD SOLDER
    - B. DRAINS - SCHEDULE 40 ABS
  - FREESTAIR OUTLET CONTROL VALVES SHALL BE LOCATED IN THE SAME ROOM AS THE OUTLET, OUTSIDE THE HEARTH, BUT NOT MORE THAN 4' FROM SUCH OUTLET.
  - ALL FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GPM @90 PSI.
  - KITCHEN SINKS, LAUNDRIES, SHOWERS, BIDDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH BOTH HOT AND COLD WATER.
  - THE USE OF SOLIDERS CONTAINING MORE THAN TEN-TENTHS OF 1 PERCENT LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEM IS PROHIBITED.
  - ALL HOT WATER FAUCETS THAT HAVE MORE THAN TWO FEET OF PIPE BETWEEN THE FAUCET JOINT BE EQUIPPED WITH A HOT WATER REGULATING SYSTEM. (SECTION 610, ORD. 3522)

- PLUMBING CONTINUED:
- PROVIDE 2X6 PLUMBING WALLS.
  - WATER HEATERS SHALL BE FINISHED WITH A NON-ABSORBANT SURFACE TO A HEIGHT OF 7" ABOVE DRAIN INLET. SHOWER & TUB WALLS TO BE A SMOOTH, HARD NON-ABSORBANT SURFACE OVER 72" ABOVE DRAIN INLET (NOT 70") PER CRC 302.2.
  - USE NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL HOSE BIBBS (PFC605).
  - WATER HEATERS SHALL HAVE A PRESSURE RELIEF VALVE W/30-20 TO OUTLET.
  - SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF PRESSURE-SENSITIVE OR THE MECHANISTIC MIXING VALVE TYPE. (MAX. 1.07)
  - PROVIDE APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON HOSE BIBBS.
  - PROVIDE LINE FROM METAL TO WATER HEATER.
  - ALL BUILDING WATER SUPPLY SYSTEMS IN WHICH QUICK-CLOSING VALVES (WASHING MACHINES, DRYERS, ETC.) ARE INSTALLED, SHALL BE PROVIDED WITH DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THESE VALVES.
  - FERRIS GAS PIPES MUST BE ELECTRICALLY ISOLATED FROM THE REST OF THE GAS SYSTEM WITH A LISTED OR APPROVED ISOLATION FITTING INSTALLED A MIN. OF 6" ABOVE GRADE.

- MECHANICAL:
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH (2019 C.M.C.) AND ALL APPLICABLE CODES AND LOCAL ORDINANCES.
  - CLIMBER'S DRYER SHALL BE VENTED TO EXTERIOR OF BUILDING. ALL FACTORY MADE PRODUCTS TO BE INSTALLED TO INSTALLATION INSTRUCTIONS & STANDARDS. USE UL 1818 TAPE.
  - BATHROOMS, TOILET COMPARTMENTS AND LAUNDRY ROOMS REQUIRING MECHANICAL VENTILATION SHALL HAVE 4 SYSTEM CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR.
  - SPARK ARRESTOR REQUIRED ON EACH FIREPLACE CHIMNEY AND SHALL HAVE MINIMUM AREA OF 4 TIME NET FREE AREA OF CHIMNEY OUTLET.
  - CHIMNEYS SHALL EXTEND MIN. 2' ABOVE THE HIGHEST ELEVATION OF ANY PART OF THE BUILDING WITHIN 10' OF CHIMNEY. SECURE LEAD SECTION OF METAL FLUE TO PREVENT LATERAL DISPLACEMENT.
  - STRAP WATER HEATERS TO WALL AND/OR FASTEN TO FLOOR TO RESIST LATERAL FORCES EQUAL TO 100% OR GREATER LOAD.
  - HEATING AND COOLING EQUIPMENT LOCATED IN THE GARAGE WHICH GENERATES A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED WITH PLUGS AND BURNERS OR HEATING ELEMENTS & SWITCHES AT LEAST 18" ABOVE THE FLOOR LEVEL.
  - ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3" IN DIAMETER.
  - DUCTS PENETRATING THE SEPARATION SHALL BE CONSTRUCTED OF NOT LESS THAN 26 GAUGE GALVANIZED STEEL WHICH IS TO BE AT LEAST TWO WRAPS OF APPROVED DUCT TAPE AND SECURE WITH AN APPROVED CAP.
  - P. B. ALL INSULATION BACKLOG OVER THE CORE AND USE TWO WRAPS OF APPROVED TAPE OR AN APPROVED CLAMP.
  - PIPING PENETRATING THROUGH METAL INCLUDING PIPES EXPOSED IN THE GARAGE.
  - AIR DUCTS INSTALLED UNDER A FLOOR IN A CRAWL SPACE SHALL BE INSTALLED SO AS TO MAINTAIN A MINIMUM CLEARANCE OF EIGHTEEN (18) INCHES FOR ALL PORTIONS OF THE DUCT THAT WOULD OBSTRUCT ACCESS TO ANY PART OF THE SAME SPACE. C.M.C. SECTION 604.1.

- ELECTRICAL:
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF (2019 C.E.C.) AND ALL APPLICABLE CODES AND LOCAL ORDINANCES.
  - ALL 120 VOLT, SINGLE PHASE 15 AND 20 AMP RECEPTACLE OUTLETS INSTALLED OUTDOORS, IN BATHROOMS, IN BATHROOMS AND THE KITCHEN AREA UNDER TOP SURFACE SHALL HAVE GROUND-Fault CIRCUT PROTECTION.
  - SMOKE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH USE AS ELECTRICAL GROUND.
  - SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND HAVE BACK-UP. ONE SMOKE DETECTOR SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY ON EACH FLOOR.
  - SERVICE CONDUITS SHALL HAVE A CLEARANCE OF NOT LESS THAN 3 FEET FROM WINDOWS, DOORS, FINCHES, FIRE ESCAPES OR SIMILAR LOCATIONS.
  - CONDUIT RIGGING IN KITCHEN AND BATHS SHALL BE L.E.D.
  - GROUNDING AND BONDING SHALL BE ACCORDING TO THE NATIONAL ELECTRICAL CODE.
  - LIGHT FIXTURES ABOVE SHOWER/TUB SHALL BE W.P. RATED AND COMPLY WITH CODE.
  - RECEPTACLES WITH AN INSULATED NEUTRAL, & A FOUR-PRONG OUTLET ARE REQUIRED FOR DRYERS & COOKING UNITS.
  - RECEPTACLES AT FRONT AND REAR OF HOME SHALL BE WATERPROOF & G.F.C.I. PROTECTED & MUST BE WITHIN 2' OF GRADE.
  - PROVIDE G.F.I. CIRCUITS AT GARAGE, KITCHEN, BATHS AND EXTERIOR.
  - ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT SINGLE PHASE 15- AND 20-AMPERE DEVICES INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, BENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (A.F.C.I.) PROTECTED PER I.E.C. 210.12(B).
  - KITCHEN CIRCUITS TO BE IN ACCORDANCE WITH CALIFORNIA ELECTRICAL CODE.
    - TWO 20-AMP SMALL APPLANCE CIRCUITS SUPPLYING KITCHEN & DINING ROOM.
    - SEPARATE CIRCUIT FOR DISHWASHER.
  - DISHWASHER RECEPTACLE MUST BE ACCESSIBLE. LOCATE UNDER KITCHEN SINK.
  - ALL BATHROOM RECEPTACLES TO BE SUPPLIED BY A DEDICATED 20 AMP CIRCUIT WITH G.F.C.I. PROTECTION. CALIFORNIA ELECTRICAL CODE ARTICLE 210-8 & 210-11(C)(1).
  - CENTRAL HEATING RECEPTACLE SHALL BE SUPPLIED BY AN INDIVIDUAL BRANCH CIRCUIT.
  - ALL LIGHTS/LUMINAIRES SHALL BE IN EFFECT AND BE CONTROLLED BY A VACUUMY SENSOR SWITCH IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS.
  - RECEIVED LUMINAIRES ARE REQUIRED TO BE LABELED FOR ZERO CLEARANCE INSULATION COVERAGE (IC) AND SHALL BE LABELED AIR TIGHT (AT).
  - ALL BATHROOM RECEPTACLES TO BE SUPPLIED BY A DEDICATED 20 AMP CIRCUIT WITH G.F.C.I. PROTECTION. CALIFORNIA ELECTRICAL CODE ARTICLE 210-8 & 210-11(C)(1).
  - ALL LAUNDRY ROOM RECEPTACLES TO BE SUPPLIED BY A DEDICATED 20 AMP CIRCUIT.
  - FACTORY-BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH ITS CSA BURN SOURCE PERFORMANCE STANDARDS (MSF) DIMENSION LISTING. (4.531).
  - GAS FIREPLACES SHALL BE INSTALLED PER I.E.C. 450.3.1. MANUFACTURER'S INSTRUCTIONS MUST BE FOLLOWED.
  - ALL LIGHT SOURCES IN CEILING RECESSED DOWNLIGHT LUMINAIRES. CEILING RECESSED DOWNLIGHT LUMINAIRES SHALL NOT HAVE EXPOSED BULBS REGARDLESS OF LAMP TYPE AS DESCRIBED IN SECTION 150.0(A).E.
    - 20-24 SOCKETS CONTAINING LED LIGHT SOURCES. A 0-2x4 LAMP FITTING IS A TWO-PIN CONNECTOR FOR COMPACT FLUORESCENT LAMPS (CFL) OR LED LAMPS THAT USES A BAYONNET MOUNT-LIKE TEST-LIGHT TWO-PIN CONNECTOR INSTEAD OF AN Edison SCREW FITTING.
    - ANY LIGHT SOURCE NOT OTHERWISE LISTED ABOVE AND CERTIFIED TO THE COMMISSION AS COMPLYING WITH JOINT APPENDIX B.
  - FIXTURES RECESSED INTO CEILING SHALL BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT (IC). HAVE A LABEL THAT CERTIFIES THAT THE FIXTURE IS AIRTIGHT WITH AN AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS (AT). BE SEALED WITH A CASSET OR CAULK TO THE CEILING, HAVE ACCESSIBLE BALLASTS/DRIVERS (IF APPLICABLE), AND NOT CONTAIN A SEWER BACK STOP. THEY SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCES JOINT APPENDIX JAS, INCLUDING THE ELEVATED TEMPERATURE REQUIREMENTS, AND THAT ARE MARKED "SAS-2105-4" (CFC 150.0)(1)(C).
  - ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS SHALL BE GFCI PROTECTED PER CEC 410.6(A)(6). COUNTERTOP RECEPTACLES SHALL BE LOCATED SO THAT NO POINT ABOVE OR BELOW IS MORE THAN 18 INCHES FROM A RECEPTACLE OUTLET. (CEC 210.52(C)(1)). IN ADDITION, CEC SECTION 210.12(B) RECEPTACLES SHALL BE INSTALLED FOR ALL RECEPTACLES WITH 1'-0" OF ALL SINKS. THIS NOW INCLUDES THE RECEPTACLE FOR THE GARBAGE DISPOSAL BELOW THE SINK, MICROWAVE, REFRIGERATOR (SEE SINK DRAWING).
  - RECEPTACLES ARE REQUIRED FOR ALL RECEPTACLES WITH 1'-0" OF ALL SINKS. THIS NOW INCLUDES THE RECEPTACLE FOR THE GARBAGE DISPOSAL BELOW THE SINK, MICROWAVE, REFRIGERATOR (SEE SINK DRAWING).
  - PROVIDE A MINIMUM OF 100 CFM LOCAL EXHAUST FAN FOR THE KITCHEN, WHICH MAY BE ACHIEVED BY RANGE HOODS (DO NOT USE EXHAUST FAN). RANGE HOODS SHALL BE LABELED THAT IT MEETS HAV 916 OR IS SOUND RATED TO MEET 7.2 OF ASHRAE 6.2. THE KITCHEN HOOD IS REQUIRED TO BE FULLY OPERATIONAL PRIOR TO OCCUPANCY.
  - ANY NEW APPLIANCES (INSTALLED AS PART OF ANY REMODEL, ADDITION OR NEW CONSTRUCTION) SHALL BE ENERGY STAR APPLIANCES PER SANTA CRUZ COUNTY CODE, 4.201.1.2.

- FIRE DEPARTMENT REQUIREMENTS:
- NO LAND CLEARING, GRADING, OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 15TH AND APRIL 15TH. ANY DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE PERMIT.
  - TESTED AND LABELED TO COMPLY WITH THE ANMA STANDARDS PER CRC. SEC. 609.3.
  - SAFETY GLAZING TESTING AND LABELING PER CEC, SECTIONS 306.1 & 308.4.
  - ENERGY TESTING AND CERTIFICATION PER CEC, SEC. 110.6.
- OCCUPANCY CLASSIFICATION R-3/V-B  
BUILDING CONSTRUCTION TYPE V-B  
NON-SPRINKLERED
- FIRE FLOW REQUIREMENTS FOR SUBJECT PROPERTY ARE A MINIMUM 1,000 GAL/INCH PER MINUTE FROM HYDRANT LOCATED WITHIN 250 FEET.
- EXISTING HYDRANT 1.590 GPM.
- THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2019) AND DISTRICT ORDINANCES.
  - DESIGNER/INSTALLER SHALL SUBMIT THREE SETS OF PLANS AND CALCULATIONS FOR THE UNDERGROUND AND OVERHEAD RESIDENTIAL AUTOMATIC FIRE SPRINKLER SYSTEM TO FIRE APPROVAL.
  - SMOKE DETECTORS ARE TO BE INSTALLED ACCORDING TO CALIFORNIA BUILDING CODE AND APPROVED BY FIRE AGENCY.
  - PLUMBING NUMBERS SHALL BE PROVIDED, NUMBERS SHALL BE A MINIMUM OF FOUR INCHES IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET.
  - INSTALL AN APPROVED SPARK ARRESTOR ON THE TOP OF CHIMNEYS. THE WIRE MESH SHALL NOT EXCEED 1/2 INCH.
  - A 30'-FOOT CLEARANCE WILL BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES OR TO THE PROPERTY LINE WHICHEVER IS A SHORTER DISTANCE.
  - THE JOB BODIES OF THE BUILDING AND FIRE SYSTEMS PLANS AND PERMITS MUST BE ON SITE DURING INSPECTIONS.
  - FIRE HYDRANT SHALL BE PAINTED IN ACCORDANCE WITH THE STATE OF CALIFORNIA HEALTH AND SAFETY CODE. SEE JURISDICTION REQUIREMENTS.
  - DRIVEWAY SHALL HAVE IN PLACE IN ACCORDANCE WITH THE PROVISIONS OF CALIFORNIA DRIVENWAY SHALL HAVE AN OVERHEAD CLEARANCE OF 14 FEET VERTICAL CLEARANCE FOR ITS ENTIRE WIDTH.
  - THESE PLANS AND DETAILS COMPLY WITH APPLICABLE SPECIFICATIONS STANDARDS, CODES AND ORDINANCES. AGREE THAT THEY ARE SOLELY RESPONSIBLE FOR COMPLIANCE WITH SPECIFICATIONS STANDARDS, CODES AND ORDINANCES, AND FURTHER AGREE TO CORRECT ANY DEFICIENCIES NOTED BY THE REVIEW, SUBSEQUENT REVIEW, INSPECTION OR OTHER SOURCE, AND TO HOLD HARMLESS AND WITHOUT PREJUDICE, THE REVIEWER AND REVIEWING AGENCY.
  - DRIVEWAY WILL BE 14 FEET WIDE WITH A MAXIMUM SLOPE OF ONE WITH A SOIL COMPACTION OF 95% DRYWEIGHT. SEE SITE PLANS FOR DRIVEWAY.
  - CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 333 AND OUR STANDARD DETAIL AND SPECIFICATION 311-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP.33.
- EROSION CONTROL:
- NO LAND CLEARING, GRADING, OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 15TH AND APRIL 15TH. ANY DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE PERMIT.
  - TESTED AND LABELED TO COMPLY WITH THE ANMA STANDARDS PER CRC. SEC. 609.3.
  - SAFETY GLAZING TESTING AND LABELING PER CEC, SECTIONS 306.1 & 308.4.
  - ENERGY TESTING AND CERTIFICATION PER CEC, SEC. 110.6.

**5.A.1**



**DENNIS NORTON**  
HOME DESIGN AND PROJECT PLANNING

717 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
PHONE: (831) 375-2870 FAX: (831) 375-2915

**RATHENS RESIDENCE**  
307 McCormick Avenue  
CAPITOLA, CA 95010  
ADN 1926-001-04

**Attachment: 307 McCormick Avenue - Plan Set (307 McCormick Avenue)**

GENERAL NOTES

1A

DRAWING NO. C

SCALE: NONE

JOB NO. MCCORM

DATE: 02/26/

SHEET



OWNER  
 THOMAS RATHJENS  
 307 McCORMICK AVE  
 CAPITOLA, CA 95010  
 530-414-6878

RATHJENS RESIDENCE  
 307 McCORMICK AVE  
 CAPITOLA, CA 95010  
 APN 036-091-04

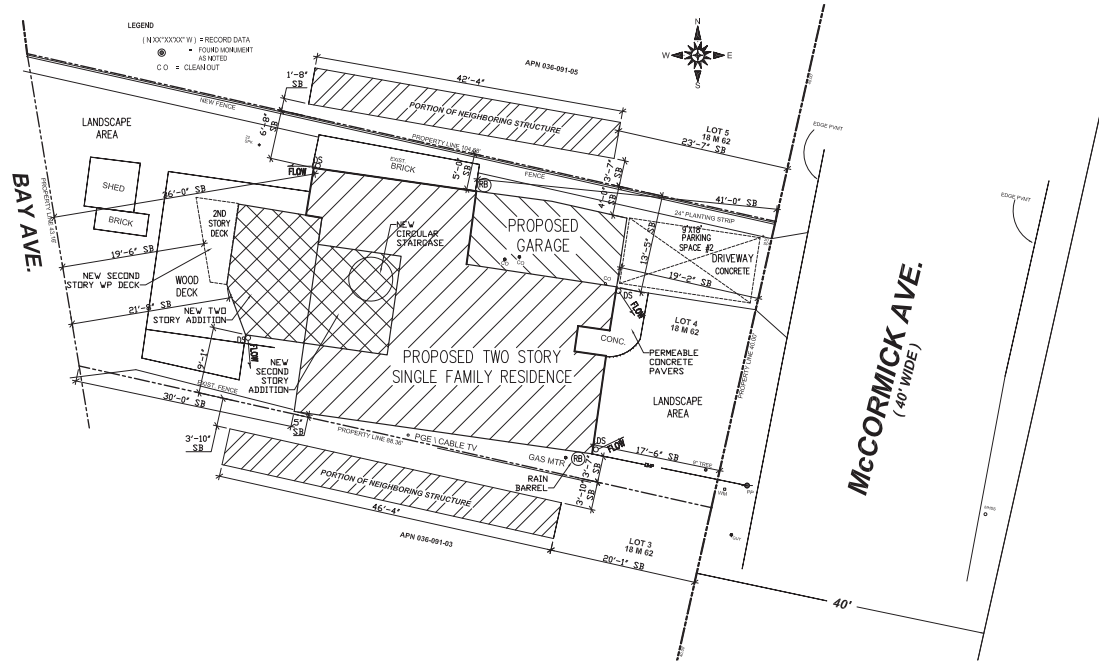
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SITE PLAN

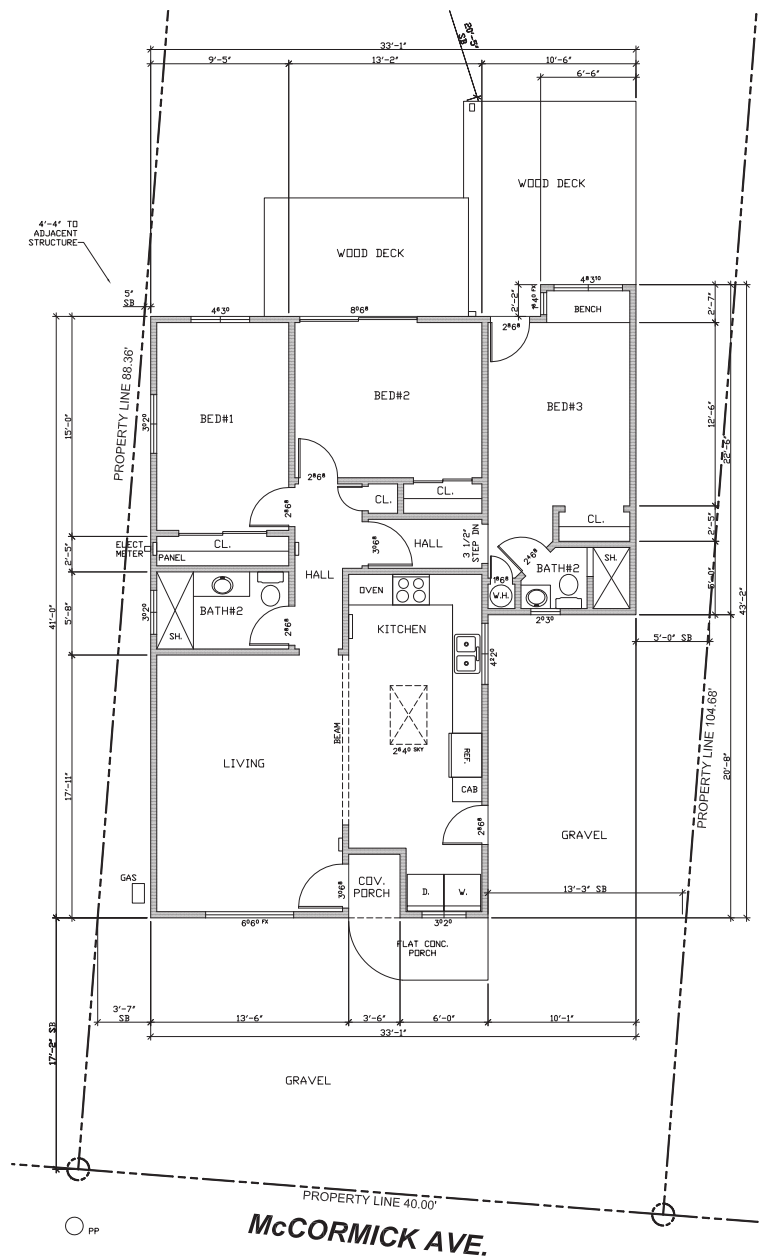
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 JOB NO. MCCORM  
 DATE: 12/17/20

SHEET  
 2  
 OF # SHEETS

Attachment: 307 McCormick Avenue - Plan Set (307 McCormick Avenue)



**SITE PLAN**  
 SCALE: 1/8"=1'-0"



OWNER  
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EXISTING FLOORPLAN

DRAWN: GG  
 SCALE: 1/4" = 1'-0"  
 JOB NO. MCCORM  
 DATE: 11/18/20

SHEET 3 OF # SHEETS

Attachment: 307 McCormick Avenue - Plan Set (307 McCormick Avenue)

OWNER  
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 CAPITOLA, CA 95010  
 530-414-6870

RATHJENS RESIDENCE  
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 APN 036-091-04

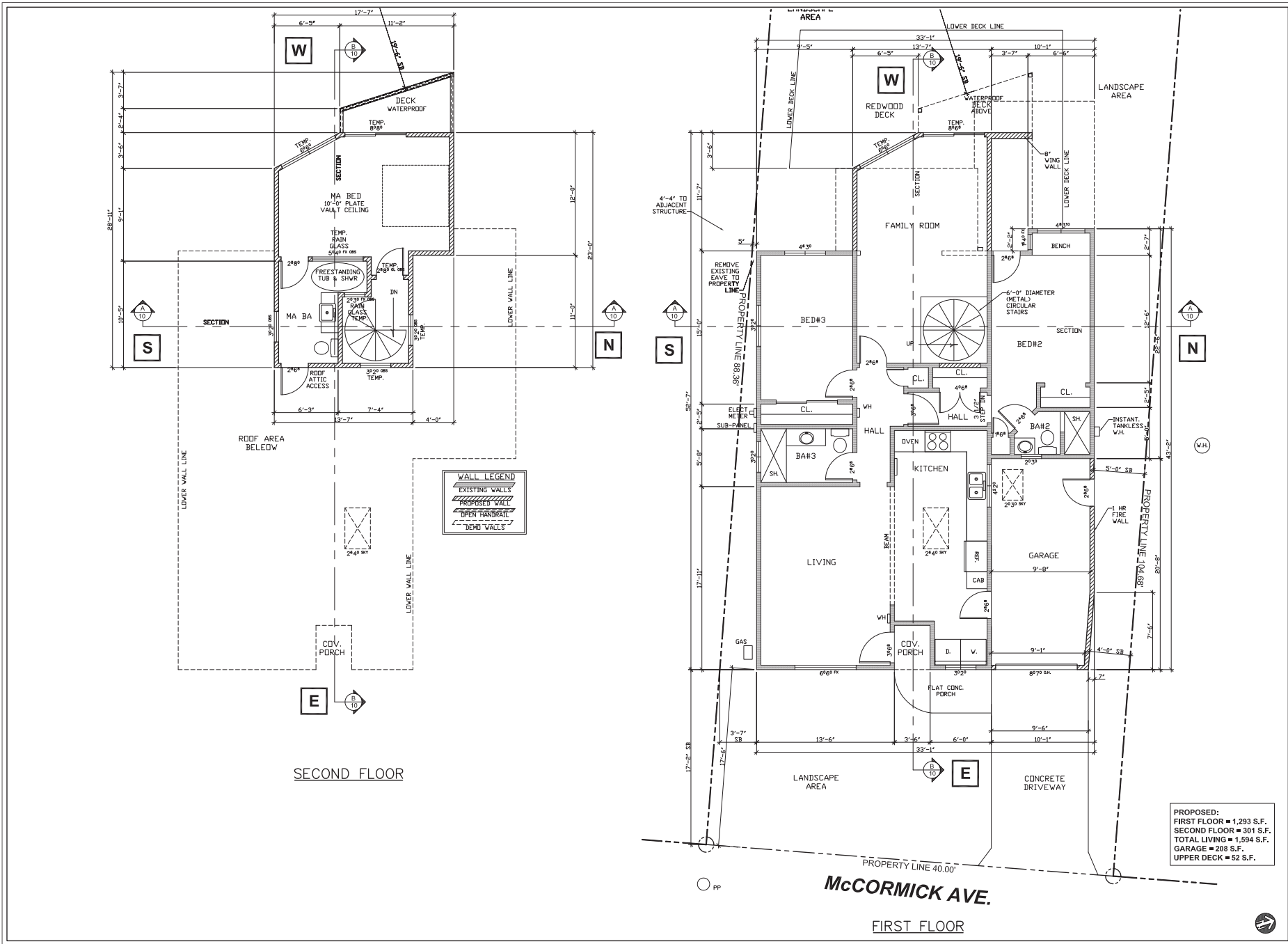
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PROPOSED  
 FLOORPLAN

DRAWN: GG  
 SCALE: 1/4" = 1'-0"  
 JOB NO. MCCORM  
 DATE: 02/26/21

SHEET  
 4  
 OF # SHEETS

Attachment: 307 McCormick Avenue - Plan Set (307 McCormick Avenue)



SECOND FLOOR

MCCORMICK AVE.  
 FIRST FLOOR

PROPOSED:  
 FIRST FLOOR = 1,293 S.F.  
 SECOND FLOOR = 301 S.F.  
 TOTAL LIVING = 1,594 S.F.  
 GARAGE = 208 S.F.  
 UPPER DECK = 52 S.F.

OWNER  
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307 McCORMICK AVE  
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530-414-6855

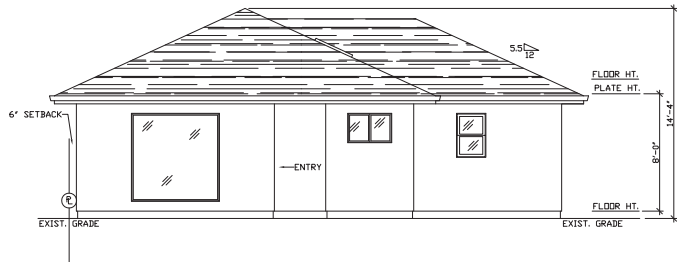
RATHJENS RESIDENCE  
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DENNIS NORTON  
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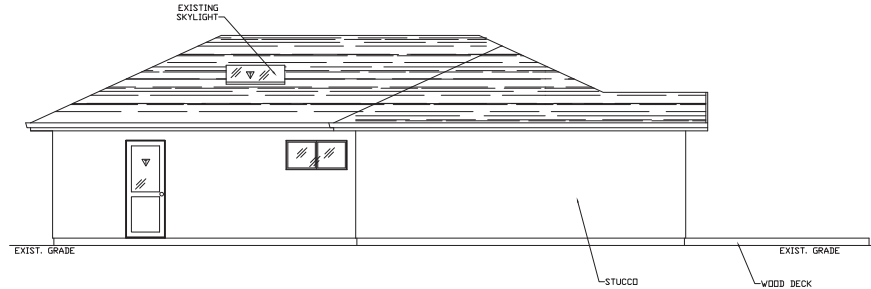
ELEVATIONS  
EXISTING

DRAWING: C  
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JOB NO.: MCCORM  
DATE: 02/26/16  
SHEET  
5  
OF # SHEET

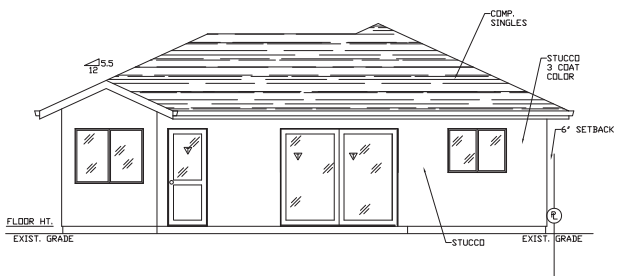
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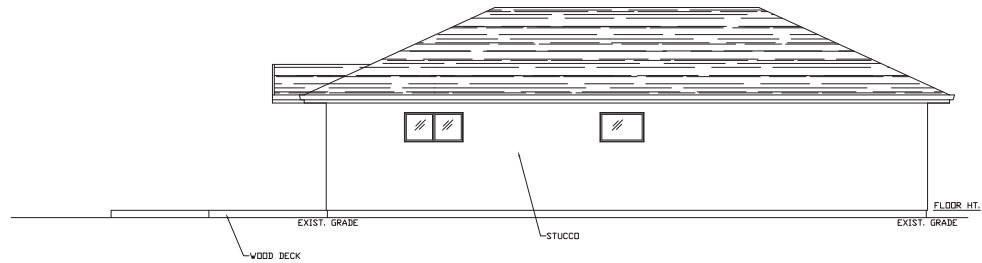
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

NOTE: ▽ = TEMPERED GLASS

**ELEVATIONS**  
SCALE: 1/4" = 1'-0"

OWNER:  
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 530-414-6611

RATHJENS RESIDENCE  
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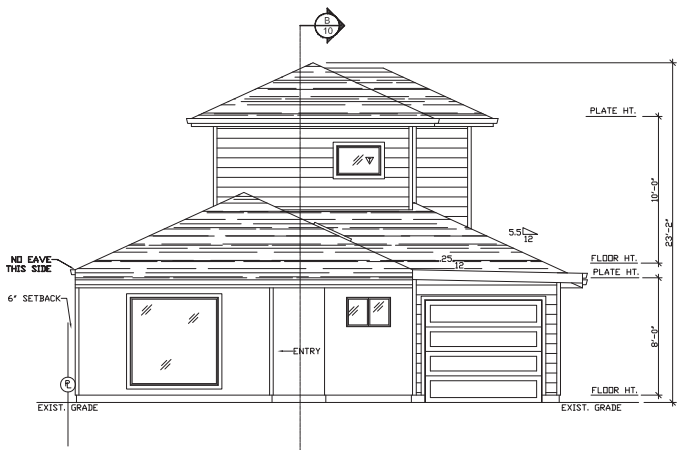


ELEVATIONS  
 PROPOSED

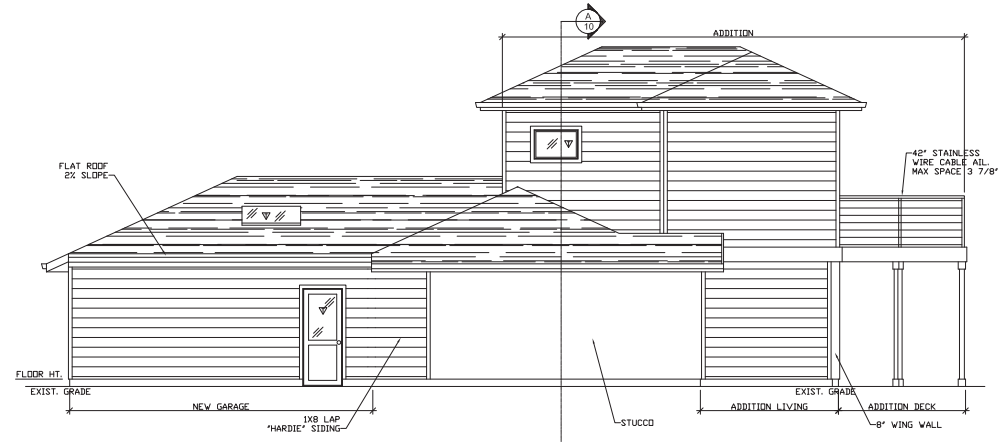
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SHEET  
 6  
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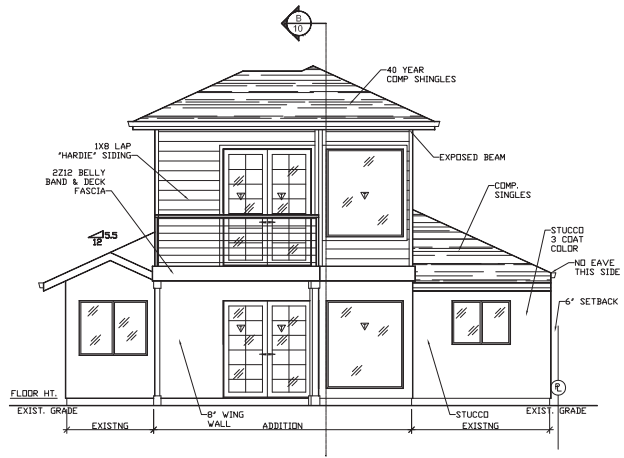
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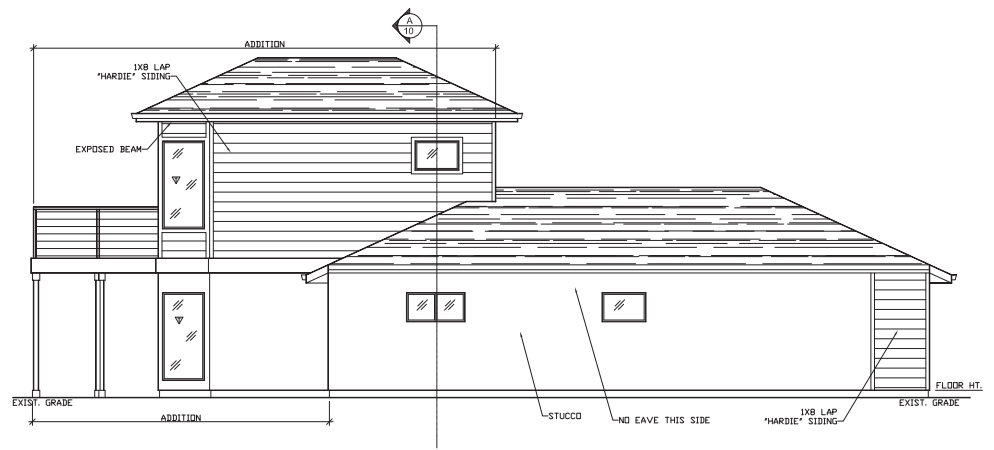
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

NOTE: = TEMPERED GLASS

ELEVATIONS  
 SCALE: 1/4" = 1'-0"

OWNER:  
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 307 MCCORMICK AVE  
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 530-414-6855

RATHJENS RESIDENCE  
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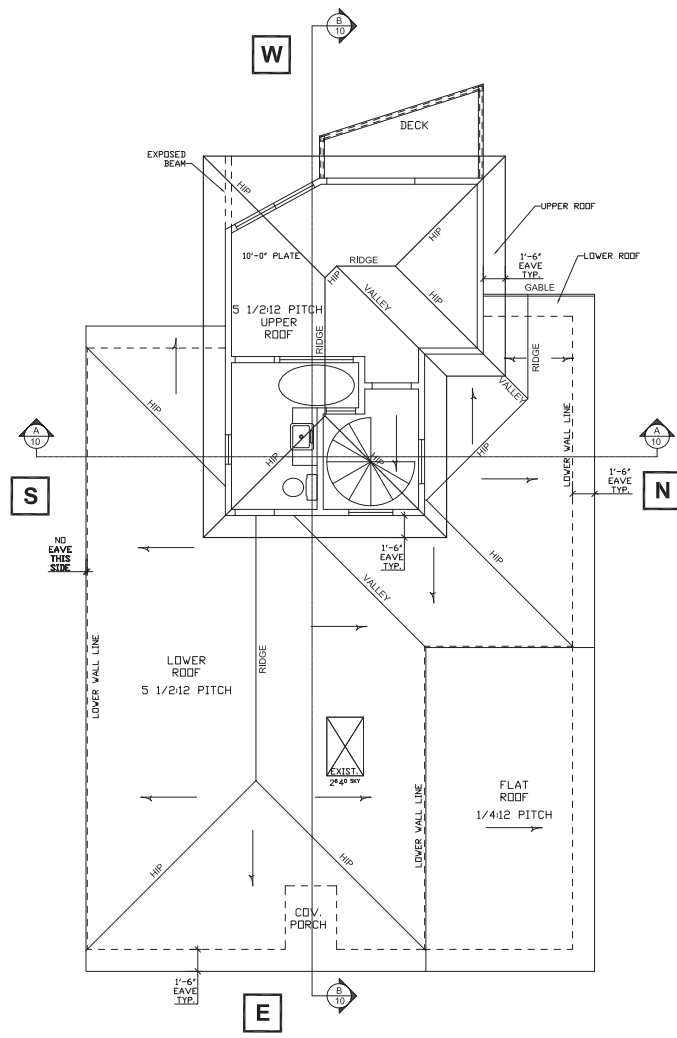


ROOF  
 PLAN

DRAWN: C  
 SCALE: 1/4" = 1'-0"  
 JOB NO. MCCORM  
 DATE: 01/19/2

SHEET  
 OF # SHEET

Attachment: 307 McCormick Avenue - Plan Set (307 McCormick Avenue)

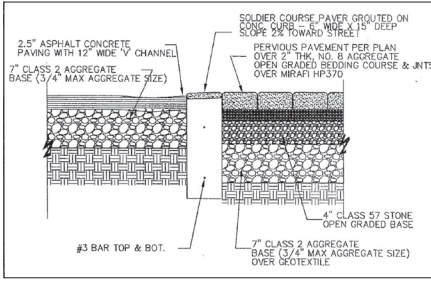


NOTE:  
 ALL ROOF DRAINAGE  
 DOWNSPOUTS TO SPASHBLOCKS  
 TO VEGETATED AREAS

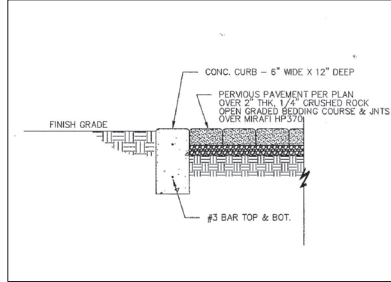
ROOF PLAN  
 SCALE: 1/4"=1'-0"



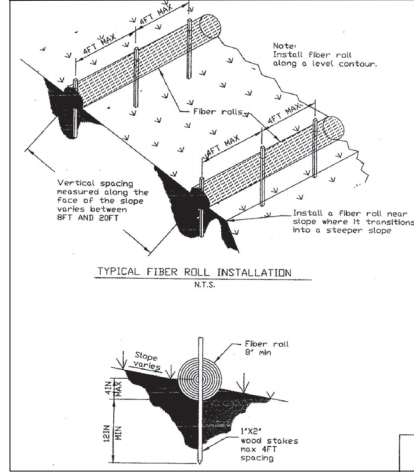
**1 SEMI-PERMEABLE PAVERS (DRIVEWAY)**



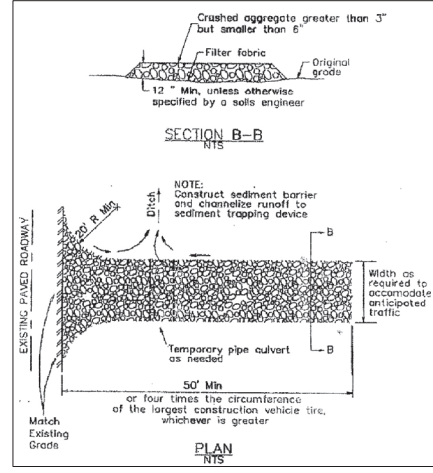
**2 SEMI-PERMEABLE PAVERS (PATIOS & WALKWAYS)**



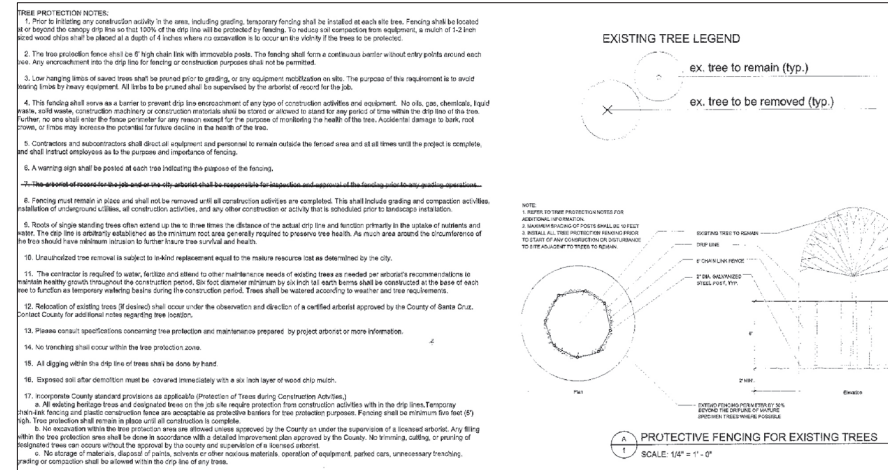
**3 FIBER ROLL**



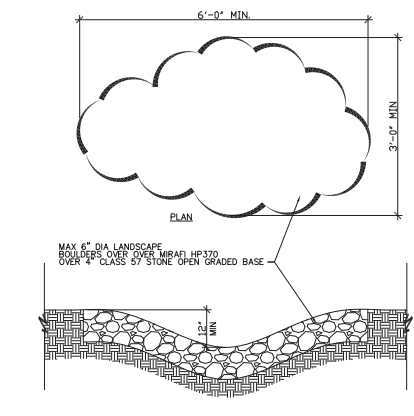
**4 CONSTRUCTION ENTRANCE**



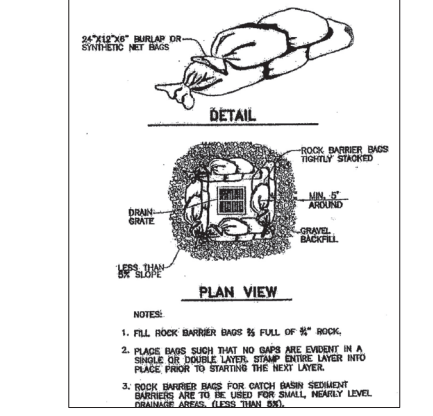
**5 TREE PROTECTION PLAN**



**6 BIOSWALE**



**7 STORM DRAIN INLET PROTECTION**



**8 SITE HOUSEKEEPING REQUIREMENTS: CONSTRUCTION MATERIALS**

ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOILS, SPILLS, AGGREGATE, FL-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BEMED.

ALL CHEMICALS SHALL BE STORED IN WATER-TIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).

EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUITS, INSULATORS, BRICKS, ETC.).

BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

**9 SITE HOUSEKEEPING REQUIREMENTS: WASTE MANAGEMENT**

DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.

SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.

SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.

COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.

DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.

STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.

PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.

EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.

CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

**10 SITE HOUSEKEEPING REQUIREMENTS: VEHICLE STORAGE & MAINTENANCE AND LANDSCAPE MATERIALS**

MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.

ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ON-SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.

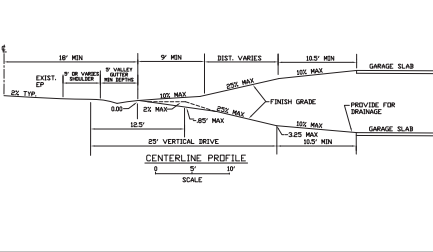
LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.

CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED. DISCONTINUE THE APPLICATION OF ANY EROSION LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.

APPLY EROSION LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURER RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.

STACK EROSION LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

**11 TYPICAL DRIVEWAY**



**5.A.1**

OWNER:  
THOMAS RATHJENS  
307 MCCORMICK AVE  
CAPITOLA, CA 95010  
530-414-6878

RATHJENS RESIDENCE  
307 MCCORMICK AVE  
CAPITOLA, CA 95010  
APN 036-091-04

DENNIS NORTON  
HOME DESIGN AND PROJECT PLANNING  
1712 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
PH: 530-414-6878  
WWW.DENNISNORTON.COM

SITE PLANNING  
DETAILS

DRAWN: GG  
SCALE: 1/4" = 1'-0"  
JOB NO. MCCORM  
DATE: 10/19/20  
SHEET 9 OF 9 SHEETS

Attachment: 307 McCormick Avenue - Plan Set (307 McCormick Avenue)



**Stormwater Pollution Prevention and Protection for Construction Projects**

In the City of Capitola, water in streets, gutters, and storm drains flows directly to local creeks and Monterey Bay without any treatment. When debris, paint, concrete and other harmful pollutants from construction sites and home construction projects get spilled, leaked or washed into the street or storm drain they can damage sensitive creek habitats and end up polluting our bay and ocean.

In order to reduce the amount of pollutants reaching local storm drains and waterways, the City has developed "Best Management Practices" (BMPs) for construction work. All types of construction projects are required to abide by the following mandatory BMPs. These BMPs apply to both new and remodeled residential, commercial, retail, and industrial projects.


In addition to the following mandatory BMPs, the Central Coast Regional Water Quality Control Board (Regional Water Board) under the State Water Resources Control Board (State Water Board) requires coverage under and adherence to the Construction Activities Storm Water General Permit, or CGP, to regulate storm water runoff from construction sites. In general, any construction or renovation activity, including, but not limited to, grading, grubbing, excavation, or any other activity that results in a land disturbance equal to or greater than one acre, requires coverage under the CGP. Construction activities associated with Linear Underground Projects (LUPs) also require coverage under the CGP. It should be noted that SWPPP development and implementation (inspections, tracking) associated with sites subject to the CGP (excluding water utilities) must be done by a qualified SWPPP developer (OSD), respectively. More information on the CGP and OSD/QSDPs may be found at [http://www.waterboards.ca.gov/water\\_issues/cogarms/stormwater/comspermit.cfm](http://www.waterboards.ca.gov/water_issues/cogarms/stormwater/comspermit.cfm)

**General Construction & Site Supervision**

All construction BMPs, sediment and erosion control must be installed prior to beginning construction and maintained throughout the project duration. Compliance with the CGP and below BMPs is required year-round.

- General Principles**
- 1. Keep an orderly site and ensure good housekeeping practices are used.
    - 1. Maintain equipment properly.
    - 1. Cover materials when they are not in use.
    - 1. Keep materials away from streets, gutters, storm drains and drainage channels.
    - 1. Ensure dust control water does not leave the site or discharge to storm drains.
    - 1. Train your employees on these BMPs and familiarize them with storm water issues prior to beginning work. Inform your subcontractors about storm water requirements and be sure that they also abide by these BMPs.
  - 2. Refer to the following approved references for BMP selection, implementation, and on-site management (most recent versions unless otherwise noted):
    - Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002.
    - Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG), 2002.
    - Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CASQA), 2002.
    - Construction Site Best Management Practices (BMPs) Manual, Storm Water Quality Handbooks, Caltrans.

- Good Housekeeping Practices**
- 1. Designate one area of the site located away from storm drains, drainage swales, and creeks for auto parking and heavy equipment storage, vehicle refueling and routine equipment maintenance.
  - 2. To prevent off-site tracking of dirt, provide site entrances with stabilized aggregate surfaces or provide a tire wash area on the site, but away from storm inlets or drainage channels. Mud, dirt, gravel, sand and other materials tracked or dropped on city streets must be cleaned up to prevent washing into storm drains.
  - 3. Keep materials and soil stockpiles out of the rain and prevent runoff contamination from the site. Store materials, stockpiles and excavation pits under cover and protected from wind, rain, and runoff. Cover exposed piles of construction materials or soil with plastic sheeting or temporary roofs. Before rainfall events, sweep and remove material from surfaces that drain to storm inlets and/or drainage channels.
  - 4. Place trash cans around the site to reduce litter. Dispose of non-hazardous construction wastes in covered dumpsters or recycling receptacles.
  - 5. Keep dumpster lids closed and secured. For dumpsters or bins that don't have a lid, cover them with tarps or plastic sheeting, secured around the exterior of the dumpster or bins when temporary roofs. Never clean out a dumpster by tossing it down the construction site.

NOT TO SCALE		STANDARD DRAWINGS FOR <b>STORMWATER POLLUTION PREVENTION AND PROTECTION FOR CONSTRUCTION PROJECTS</b>	DRAWN BY: D.T.A.	REV.:
DRAWN BY: M.P.				
CHECKED BY: S.E.J.		DRAWING No.		
		STRM-BMP-1		
		STEVEN JESSER, PUBLIC WORKS DIRECTOR		

- 1. Clean up leaks, spills and other soils immediately so that they do not contaminate the soil or runoff nor leave residue on paved surfaces. Use dry cleanup methods whenever possible. Water may only be used to prevent mud from drying and prevent dust.
  - 1. If portable toilets are used, ensure that the leasing company properly maintains the toilets and promptly makes repairs. Conduct visual inspections for leaks.
  - 1. Protect vegetation and trees from accidental damages from construction activities by surrounding them with fencing or tree armoring.
- Advanced Planning**
- 1. Site development shall be fitted to the topography and soils in order to minimize the potential for erosion.
  - 1. Soil grading/erosion limits, easements, setback, sensitive or critical areas, trees, drainage courses, and buffer zones must be delineated onsite to prevent excessive or unnecessary disturbances and exposure prior to construction.
  - 1. Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or place other erosion controls before rain begins.
  - 1. Conduct grading operations in phases in order to reduce the amount of disturbed areas and exposed soil at any one time. Unless specifically approved on the project's drainage plan, grading, sediment and erosion control plan, clearing, excavation and grading shall not be conducted during rainy weather. All rainy season grading shall be in accordance with Capitola Municipal Code Chapter 15.28.
  - 1. Control the amount of runoff crossing your site especially during excavation by using berms or temporary drainage ditches or bio-swales to divert water flow around the site. Reduce stormwater runoff velocities by constructing temporary check dams or berms where appropriate.


- Materials & Waste Handling**
- 1. Fraction containers "Source Reduction" by estimating carefully and minimizing waste when ordering materials.
  - 1. Recycle excess materials such as concrete, asphalt, scrap metal, solvents, degreasers, paper, and vehicle maintenance materials whenever possible.
  - 1. Dispose of all wastes properly by ensuring that materials that cannot be recycled are taken to an appropriate land fill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or drainage channel.

- Landscaping, Gardening & Ponds/Fountains/Pool/Spa Maintenance**
- Many landscaping activities and practices expose soils and increase the likelihood of water runoff that will transport earth, sediments and garden plant debris into storm drains and waterways. Other exterior amenities such as ponds, pools and spas require regular maintenance using chlorine and/or copper based algaecides. Water treated with these chemicals is toxic to aquatic life and should never be discharged to the storm drain.

- Landscaping & Garden Maintenance**
- 1. Protect stockpiles and landscape materials from wind and rain by storing them under tarps or secured plastic sheeting.
  - 1. Schedule grading and excavation during dry weather.
  - 1. Use temporary check dams or ditches to direct runoff away from storm drains or drainage channels.
  - 1. Protect storm drain inlets with sandbags, gravel filled bags, straw wattles, fiber fabric or other sediment controls.
  - 1. Re-vegetation in an excellent form of erosion control for any site.
  - 1. Never dump or leave soil, mulch or other landscape products in the street, gutter, or storm drain.

- Ponds/Fountains/Pool/Spa Maintenance**
- 1. When draining a pond, fountain, pool or spa, any volumes in excess of 500 gallons must be reported in advance to the City of Capitola Public Works Department. The City will provide guidance on handling special cleaning waste, flow rate restrictions and backflow prevention.

- Preventing Water & Sediment Runoff**
- Effective erosion and sediment control measures must be implemented and maintained on all disturbed areas in order to prevent a net increase of sediment to the site's storm water discharge relative to pre-construction levels. During the rainy season, erosion control measures must also be located at all appropriate locations along the site's perimeter and at all inlets to the storm drain system. Effective methods to protect storm drain inlets include sand bag barriers, heavy rubber mats to cover inlet and seal the inlet, and sediment traps or basins. Refer to the Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002, and the most recent versions of the Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG), and Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CASQA).

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DRAWN BY: M.P.				
CHECKED BY: S.E.J.		DRAWING No.		
		STRM-BMP-2		
		STEVEN JESSER, PUBLIC WORKS DIRECTOR		

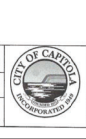
- 1. Effective filtration devices, barriers, and settling devices shall be selected, installed and maintained properly.
- 1. Silt fences must be installed so that the drainage around each fence does not create additional erosion and rills down slope of the fence.
- 1. If straw wattles are used to filter sediment runoff, ensure that the bales are actually filtering the water (and not just causing the water to travel around the bale) and that the straw pieces are not carried into the storm drain system.
- 1. Whenever possible, use temporary, surface roughening (e.g. with a ballzoozer), and erosion dissipaters (such as riprap, sand and rock) on slopes to reduce runoff velocity and top sediments. Do not use asphalt rubble or other demolition debris for this purpose.
- 1. All erosion control control measures and structural devices, both temporary and permanent, shall be properly maintained so that they do not become nuisances with stagnant water, odors, insect breeding, heavy algae growth, debris, and/or safety hazards.
- 1. If a certified person should conduct inspections of on-site BMPs during each rainstorm and after a storm is over to ensure the BMPs are functioning properly. For sites greater than one-acre, onsite inspections are required in accordance with the CGP.

- Earth Moving Activities & Heavy Equipment**
- Soil excavation and grading operations lower the amount of soil that can be transported into storm drains when handled improperly. Effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces. Offsite earth moving activities require use and storage of heavy equipment. Poorly maintained roughened ground surfaces. Offsite earth moving activities require use and storage of heavy equipment. Poorly maintained roughened ground surfaces. Offsite earth moving activities require use and storage of heavy equipment. Poorly maintained roughened ground surfaces. Offsite earth moving activities require use and storage of heavy equipment. Poorly maintained roughened ground surfaces.

- Site Planning**
- 1. Maintain all heavy equipment, inspect frequently for leaks, and repair leaks immediately upon discovery.
  - 1. Perform major auto or heavy equipment maintenance, repair jobs and vehicle or equipment washing off-site.
  - 1. If you must drain and replace motor oil, radiator coolant or other fluids on site, use drip pans, plastic sheeting or drop cloths to catch drips and spills. Collect all spent fluids, store in sealed containers and properly dispose as hazardous waste. Recycle whenever possible.
  - 1. Do not use diesel oil to lubricate equipment parts or clean equipment. Only use water for onsite cleaning.
  - 1. Cover exposed fifth wheel hitch and other oily or greasy equipment during all rain events.

- Practices During Construction**
- 1. Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
  - 1. Protect down slope drainage courses, creeks and storm drains with wattles or temporary drainage swales.
  - 1. Use check dams or ditches to divert runoff around excavations. Refer to the Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002, and the most recent versions of the Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG), and Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CASQA).
  - 1. Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

- Spill Clean Up**
- 1. Maintain a spill clean-up kit on site.
  - 1. Clean up spills immediately using dry cleanup methods if possible.
  - 1. Never hose down dirty pavement or impermeable surfaces where fluids have spilled. Use dry cleanup methods (absorbent material, cat litter and/or rags) whenever possible and properly dispose of absorbent materials.
  - 1. Sweep up spilled dry materials immediately. Never attempt to wash them away with water or bury them.
  - 1. Use as little water as possible for dust control. If water is used, ensure it does not leave silt or discharge to storm drains.
  - 1. Call 911 for significant spills. If a spill poses a significant hazard to human health and safety, you must also report it to the State Office of Emergency Services.


NOT TO SCALE		STANDARD DRAWINGS FOR <b>STORMWATER POLLUTION PREVENTION AND PROTECTION</b>	DRAWN BY: D.T.A.	REV.:
DRAWN BY: M.P.				
CHECKED BY: S.E.J.		DRAWING No.		
		STRM-BMP-3		
		STEVEN JESSER, PUBLIC WORKS DIRECTOR		

- Painting, Varnish & Application of Solvents & Adhesives**
- Paints, varnish, solvents and adhesives contain chemicals that are harmful to wildlife and aquatic life in our community. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint materials and wastes, adhesives and cleaning fluid should be recycled when possible or properly disposed to prevent these substances from entering the storm drains and watercourses.

- Handling of Surface Coatings**
- 1. Keep paint, varnish, solvents and adhesive products and wastes away from the gutter, street and storm drains. Wastewater or runoff containing paint or paint thinner must never be discharged into the storm drain system.
  - 1. When there is a risk of a spill reaching the storm drain, nearby storm drain inlets must be protected prior to starting painting.
- Removal of Surface Coatings**
- 1. Non-hazardous paint chips and dust from dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
  - 1. Chemical paint or varnish stripping residue, chips and dust from marine paints or varnishes, or paints containing lead, mercury or bismuth must be disposed of as hazardous wastes. Lead based paint removal requires a state-certified contractor. Paint may be tested for lead by taking paint scrapings to a local, state-certified laboratory.
  - 1. When stripping or cleaning building exteriors with high-pressure water, block storm drains to prevent flow to creeks and the Monterey Bay.
  - 1. Wash water from painted buildings constructed pre-1978 can contain high amounts of lead even if paint chips are not present. Before starting paint or cleaning a pre-1978 building's exterior with water under high pressure, test paint for lead by taking paint scrapings to a local, state-certified laboratory.

- Clean Up of Surface Coatings**
- 1. Never clean brushes or rinse paint or varnish containers into a gutter, street, storm drain, French drain or creek.
  - 1. For water based paints, paint out brushes to the extent possible and rinse into an interior sink drain that goes to the sanitary sewer.
  - 1. For oil based paints, paint out brushes to the extent possible and clean with thinner or solvent. Filter and reuse thinners and solvents where possible. Excess of liquids and residue as hazardous waste.
  - 1. When thoroughly dry, empty paint cans, used brushes, rags and drop cloths may be disposed of as garbage.
- Disposal of Surface Coatings**
- 1. Recycle, return to supplier, or donate unwanted water-based (latex) paint. Oil-based paint may be recycled or disposed of as hazardous waste. Varnish, thinners, solvents, glues and cleaning fluids must be disposed of as hazardous waste.
  - 1. When the job is completed, collect all unused or waste materials and dispose of properly. Never leave or abandon materials onsite, and ensure that nothing has drifted toward the street, gutter, or catch basin.

- Roadwork & Paving**
- 1. Protect nearby storm drain inlets and adjacent water bodies prior to breaking up asphalt or concrete.
  - 1. Discharge of saw cut slurry to the storm drain system is prohibited. Take measures to contain the slurry and protect nearby catch basins or gutters. If slurry enters the storm drain system, remove material immediately.
  - 1. Dried, cut slurry must be cleaned up and properly disposed so that it will not be carried into the storm drain system by wind, traffic, or rainfall.
  - 1. After breaking up old pavement, sweep up materials and recycle as much as possible. Properly dispose of non-recyclable materials.
  - 1. Cover and seal nearby storm drain inlets and manholes before applying seal coat, slurry seal, etc. Leave covers in place until the oil sealant is dry.
  - 1. In the event of rain during construction, divert runoff around work areas and cover materials.
  - 1. Park paving machines over drip pans or absorbent materials.
  - 1. Never wash sweepings from exposed aggregate concrete into a street or a storm drain inlet. Collect and return to aggregate base stockpile or dispose of in the trash.
  - 1. Remove and clean up materials (i.e. asphalt and sand) by the end of each work or, if during the rainy season, by the end of each day. Stockpiles must be removed by the end of each day if they are located in a public right-of-way.

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		STRM-BMP-4		
		STEVEN JESSER, PUBLIC WORKS DIRECTOR		


- Concrete, Cement, & Masonry Products**
- 1. Concrete, cement, masonry products, sediment or pollutant laden water shall never be discharged into or allowed to reach the storm drain system.
  - 1. Avoid mixing excess amount of fresh concrete or cement mortar on-site.
  - 1. During tile cutting, ensure that the slurry water does not run off into the street or storm drain system. The discharge of slurry to the storm drain system is prohibited. Dried slurry must be cleaned up and disposed of properly.
  - 1. Concrete, cement, and masonry mixing containers may not be washed or rinsed into the street or storm drain system. If a concrete transit mixer is used, a suitable washing box, excavation or self-washing mixer able to contain waste material shall be provided on-site.
  - 1. Never wash or rinse mixing containers and tools into the gutter, street, storm drain inlet, drainage ditches or water body.
  - 1. If conducting sidewalk work, material stockpiles must be removed and cleaned up by the end of each day. Sweep or collect unused materials and debris that remain on pavement and dispose of properly.
  - 1. When the job is completed, collect all unused or waste materials and dispose of properly. Never leave or abandon materials onsite. Ensure that nothing has drifted towards the street, gutter or catch basin.

- Site Clean Up**
- 1. Clean up by sweeping instead of hosing down whenever possible. Dispose of litter and debris in the garbage.
  - 1. The street, sidewalk and other paved areas may not be cleaned by washing or by directing sediment, concrete, asphalt, or other particles into the storm drain system. If water is used to flush sediment or particles from pavement, the water must be directed to a landscaped or grassy area large enough to absorb all the water.
  - 1. If conducting rafter or sidewalk work, materials stockpiles must be removed and cleaned up by the end of each work day.
  - 1. Discarded building materials and demolition wastes must never be left in a street, gutter, or waterway. Dispose of all wastes properly including leftover paint and chemicals. Materials that cannot be reused or recycled must be taken to the landfill or disposed of as hazardous waste.

Signed and Agreed to by:  
Project Owner or General Contractor

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Print Name: \_\_\_\_\_

NOT TO SCALE		STANDARD DRAWINGS FOR <b>STORMWATER POLLUTION PREVENTION AND PROTECTION</b>	DRAWN BY: D.T.A.	REV.:
DRAWN BY: M.P.				
CHECKED BY: S.E.J.		DRAWING No.		
		STRM-BMP-5		
		STEVEN JESSER, PUBLIC WORKS DIRECTOR		

- Painting, Varnish & Application of Solvents & Adhesives**
- Paints, varnish, solvents and adhesives contain chemicals that are harmful to wildlife and aquatic life in our community. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint materials and wastes, adhesives and cleaning fluid should be recycled when possible or properly disposed to prevent these substances from entering the storm drains and watercourses.

- Handling of Surface Coatings**
- 1. Keep paint, varnish, solvents and adhesive products and wastes away from the gutter, street and storm drains. Wastewater or runoff containing paint or paint thinner must never be discharged into the storm drain system.
  - 1. When there is a risk of a spill reaching the storm drain, nearby storm drain inlets must be protected prior to starting painting.
- Removal of Surface Coatings**
- 1. Non-hazardous paint chips and dust from dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
  - 1. Chemical paint or varnish stripping residue, chips and dust from marine paints or varnishes, or paints containing lead, mercury or bismuth must be disposed of as hazardous wastes. Lead based paint removal requires a state-certified contractor. Paint may be tested for lead by taking paint scrapings to a local, state-certified laboratory.
  - 1. When stripping or cleaning building exteriors with high-pressure water, block storm drains to prevent flow to creeks and the Monterey Bay.
  - 1. Wash water from painted buildings constructed pre-1978 can contain high amounts of lead even if paint chips are not present. Before starting paint or cleaning a pre-1978 building's exterior with water under high pressure, test paint for lead by taking paint scrapings to a local, state-certified laboratory.

- Clean Up of Surface Coatings**
- 1. Never clean brushes or rinse paint or varnish containers into a gutter, street, storm drain, French drain or creek.
  - 1. For water based paints, paint out brushes to the extent possible and rinse into an interior sink drain that goes to the sanitary sewer.
  - 1. For oil based paints, paint out brushes to the extent possible and clean with thinner or solvent. Filter and reuse thinners and solvents where possible. Excess of liquids and residue as hazardous waste.
  - 1. When thoroughly dry, empty paint cans, used brushes, rags and drop cloths may be disposed of as garbage.
- Disposal of Surface Coatings**
- 1. Recycle, return to supplier, or donate unwanted water-based (latex) paint. Oil-based paint may be recycled or disposed of as hazardous waste. Varnish, thinners, solvents, glues and cleaning fluids must be disposed of as hazardous waste.
  - 1. When the job is completed, collect all unused or waste materials and dispose of properly. Never leave or abandon materials onsite, and ensure that nothing has drifted toward the street, gutter, or catch basin.

- Roadwork & Paving**
- 1. Protect nearby storm drain inlets and adjacent water bodies prior to breaking up asphalt or concrete.
  - 1. Discharge of saw cut slurry to the storm drain system is prohibited. Take measures to contain the slurry and protect nearby catch basins or gutters. If slurry enters the storm drain system, remove material immediately.
  - 1. Dried, cut slurry must be cleaned up and properly disposed so that it will not be carried into the storm drain system by wind, traffic, or rainfall.
  - 1. After breaking up old pavement, sweep up materials and recycle as much as possible. Properly dispose of non-recyclable materials.
  - 1. Cover and seal nearby storm drain inlets and manholes before applying seal coat, slurry seal, etc. Leave covers in place until the oil sealant is dry.
  - 1. In the event of rain during construction, divert runoff around work areas and cover materials.
  - 1. Park paving machines over drip pans or absorbent materials.
  - 1. Never wash sweepings from exposed aggregate concrete into a street or a storm drain inlet. Collect and return to aggregate base stockpile or dispose of in the trash.
  - 1. Remove and clean up materials (i.e. asphalt and sand) by the end of each work or, if during the rainy season, by the end of each day. Stockpiles must be removed by the end of each day if they are located in a public right-of-way.

NOT TO SCALE		STANDARD DRAWINGS FOR <b>STORMWATER POLLUTION PREVENTION AND PROTECTION</b>	DRAWN BY: D.T.A.	REV.:
DRAWN BY: M.P.				
CHECKED BY: S.E.J.		DRAWING No.		
		STRM-BMP-4		
		STEVEN JESSER, PUBLIC WORKS DIRECTOR		

**5.A.1**

OWNER:  
THOMAS RATHENUS  
307 MCCORMICK AVE  
CAPITOLA, CA 95010  
530-414-6874

RATHENUS RESIDENCE  
307 MCCORMICK AVE  
CAPITOLA, CA 95010  
APN 036-091-04

DENNIS NORTON  
HOME DESIGN AND PROJECT PLANNING  
1715-C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
WWW.DENNISNORTON.COM

BEST MANAGEMENT PRACTICES

DRAWN: GG  
SCALE: NONE  
JOB NO: MCCORM  
DATE: 11/10/20  
SHEET  
**BMP**  
OF SHEETS

**Attachment: 307 McCormick Avenue - Plan Set (307 McCormick Avenue)**

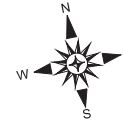


**LEGEND**

- = PROPERTY LINES
- = ADJOINING PROPERTY LINES
- ( N XX°XXXX' W ) = RECORD DATA
- ⊙ = FOUND MONUMENT AS NOTED
- C.O = CLEAN OUT

**BASIS OF BEARINGS**

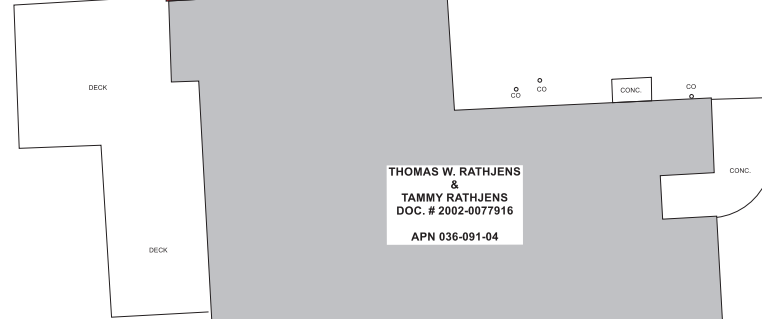
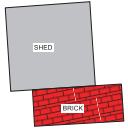
THE BEARING "NORTH 29°54'30" EAST" BETWEEN THE IRON PIPE FOUND 7.74 FEET NORTHERLY OF THE SOUTHWEST CORNER OF LOT 1, BLOCK C, 18 M 62 (SAID IRON PIPE BEING ON THE SOUTHERLY RIGHT OF WAY LINE OF McCORMICK AVE AT THE BEGINNING OF A 160 FOOT RADIUS CURVE) AND THE IRON PIPE TAGGED LS 1225 FOUND AT THE SOUTHEAST CORNER OF LOT 11, BLOCK A, 18 M 62 (LAST SAID IRON PIPE BEING ON THE NORTHERLY RIGHT OF WAY LINE OF McCORMICK AVE) WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.



APN 036-091-05

LOT 5  
18 M 62

PORTION OF NEIGHBORING STRUCTURE



THOMAS W. RATHJENS &  
TAMMY RATHJENS  
DOC. # 2002-0077916  
APN 036-091-04

LOT 4  
18 M 62

BAV AVE

McCORMICK AVE.  
( 40' WIDE )

LOT 3  
18 M 62

APN 036-091-03

PAUL JENSEN  
PROFESSIONAL LAND SURVEYOR  
SANTA CRUZ, CALIFORNIA

SCALE 1" = 5'

NOV. 2020

SITE MAP  
OF A PORTION OF THE  
LANDS OF  
THOMAS W. RATHJENS  
&  
TAMMY RATHJENS  
307 McCORMICK AVE.  
CAPITOLA, CA.

**REFERENCES**

- 18 M 62
- 80 M 08
- DOC. # 2002-0077916

**NOTE**

THIS IS NOT A BOUNDARY SURVEY. THE PROPERTY LINES SHOWN ARE DRAWN FROM RECORD DATA AND MAY BE FOUND TO BE DIFFERENT PENDING THE RESULTS OF A FULL BOUNDARY SURVEY.

Attachment: 307 McCormick Avenue - Plan Set (307 McCormick Avenue)

**CONSTRUCTION COST BREAKDOWN PER Section 17.72.070**

**Existing Building Costs:**

**307 McCormick**

Existing Residence:	1147.5 square feet	=	\$ 229,500.00
	\$ 200.00 square foot		
Existing Garage:	0 square feet	=	\$ -
	\$ 90.00 square foot		
Existing Deck:	268 square feet	=	\$ 6,700.00
	\$ 25.00 square foot		
<u>Total Existing Value:</u>			<u>\$ 236,200.00</u>
<b>80% of Total Existing Value</b>			<b>\$ 188,960.00</b>

**New Construction Costs:**

New Conditioned Space:	495 square feet	=	\$ 99,000.00
	\$ 200.00 square foot		
New Garage:	206 square feet	=	\$ 18,540.00
	\$ 90.00 square foot		
New deck/porch:	46 square feet	=	\$ 1,150.00
	\$ 25.00 square foot		
<u>Total New Construction Value:</u>			<u>\$ 118,690.00</u>

**Remodel Costs: (50% of "new construction" costs)**

Remodel Conditioned Space:	130 square feet	=	\$ 13,000.00
	\$ 100.00 square foot		
Remodel Garage:	0 square feet	=	\$ -
	\$ 45.00 square foot		
Remodel Deck:	0 square feet	=	\$ -
	\$ 12.50 square foot		
<u>Total Remodel Value:</u>			<u>\$ 13,000.00</u>
<b><u>Total Construction/Remodel Cost</u></b>			<b><u>\$ 131,690.00</u></b>
<b>% of Existing Value</b>			<b>55.8%</b>

Attachment: 307 McCormick Avenue - Construction Cost Breakdown (307 McCormick Avenue)

BODY

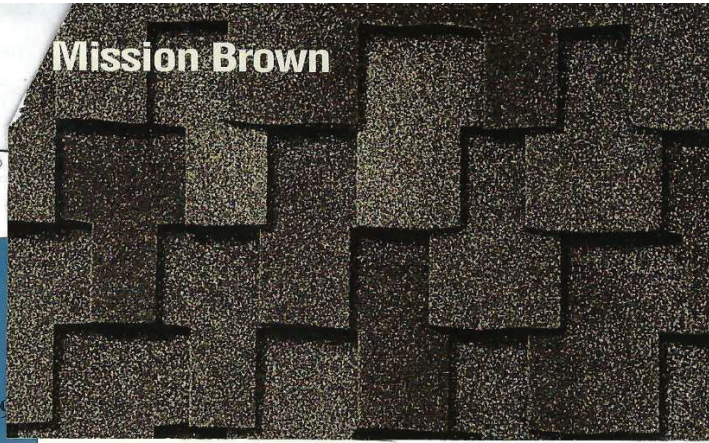
Mission Brown

BENJAMIN MOORE®  
084



bedford blue

1675



HDC-AC-11

HOME  
DECORATORS  
COLLECTION

HDC-AC-11

ROOF

TRIM

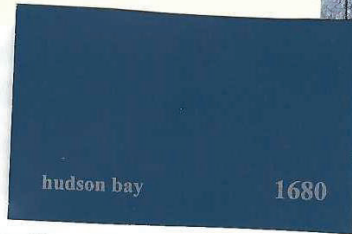


Clean Canvas  
HDC-AC-11®



Cottage Blend

Country Cobble | 14



hudson bay

1680

ENTRY  
DOOR

PAVERS

307 McCORMICK