

# City of Capitola Agenda

Mayor: Ed Botorff  
Vice Mayor: Stephanie Harlan  
Council Members: Jacques Bertrand  
Dennis Norton  
Michael Termini  
Treasurer: Christine McBroom



**REVISED**

## **CAPITOLA CITY COUNCIL REGULAR MEETING**

**THURSDAY, JUNE 9, 2016**

**7:00 PM**

**CITY COUNCIL CHAMBERS  
420 CAPITOLA AVENUE, CAPITOLA, CA 95010**

**CLOSED SESSION - 6:00  
CITY MANAGER'S OFFICE**

*An announcement regarding the items to be discussed in Closed Session will be made in the City Hall Council Chambers prior to the Closed Session. Members of the public may, at this time, address the City Council on closed session items only. There will be a report of any final decisions in City Council Chambers during the Open Session Meeting.*

### **CONFERENCE WITH LEGAL COUNSEL - EXISTING LITIGATION**

**[Govt. Code §54956.9(d)(1)]**

(Two cases)

1. Friends of Monterey Park v. the City of Capitola  
[Santa Cruz Superior Court Case No. CV 16CV01091]
2. GTE Mobilenet of California Limited Partnership, a California limited partnership d/b/a/ Verizon Wireless v. City of Capitola  
[United States District Court Case No 16-CV-02495-PSG]

### **CONFERENCE WITH REAL PROPERTY NEGOTIATOR [Govt. Code §54956.8]**

Property: 2091 Wharf Road, APN 034-241-05, Capitola, CA

City Negotiator: Jamie Goldstein, City Manager

Negotiating Parties: Joseph K. and Debbie A. Genge

Under Negotiation: Terms for potential purchase of property by City

### **LIABILITY CLAIMS [Govt. Code §54956.95]**

Claimant: Sandra Wallace

Agency claimed against: City of Capitola

**REGULAR MEETING OF THE CAPITOLA CITY COUNCIL - 7:00 PM**

*All correspondences received prior to 5:00 p.m. on the Wednesday preceding a Council Meeting will be distributed to Councilmembers to review prior to the meeting. Information submitted after 5 p.m. on that Wednesday may not have time to reach Councilmembers, nor be read by them prior to consideration of an item.*

*All matters listed on the Regular Meeting of the Capitola City Council Agenda shall be considered as Public Hearings.*

**1. ROLL CALL AND PLEDGE OF ALLEGIANCE**

Council Members Dennis Norton, Stephanie Harlan, Jacques Bertrand, Michael Termini and Mayor Ed Bottorff

**2. PRESENTATIONS**

- A. Presentation of the 2016 Herb Ross Community Achievement Award for the Capitola Police Officer of the Year

**3. REPORT ON CLOSED SESSION**

**4. ADDITIONAL MATERIALS**

*Additional information submitted to the City after distribution of the agenda packet.*

- A. Item 10.C. Liability Claim Statement from Sandra Wallace
- B. Item 10.E. Public Communications regarding Rispin Mansion Park Project
- C. Item 11.A. Historical Museum Articles
- D. Item 11.C. Public Communications regarding 519 Oak Drive Appeal

**5. ADDITIONS AND DELETIONS TO AGENDA**

**6. PUBLIC COMMENTS**

*Oral Communications allows time for members of the Public to address the City Council on any item not on the Agenda. Presentations will be limited to three minutes per speaker. Individuals may not speak more than once during Oral Communications. All speakers must address the entire legislative body and will not be permitted to engage in dialogue. All speakers are requested to print their name on the sign-in sheet located at the podium so that their name may be accurately recorded in the minutes. A MAXIMUM of 30 MINUTES is set aside for Oral Communications at this time.*

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**7. CITY COUNCIL / CITY TREASURER / STAFF COMMENTS**

*City Council Members/City Treasurer/Staff may comment on matters of a general nature or identify issues for staff response or future council consideration.*

**8. BOARDS, COMMISSIONS AND COMMITTEES APPOINTMENTS**

- A. Consider Appointments to the Historical Museum Board and the Advisory Council to the Area Agency on Aging of Santa Cruz and San Benito County  
RECOMMENDED ACTION: Accept the recommendation of the Capitola Historical Museum Board (Board) to reappoint four Board members, and accept the Board's recommendation to fill a vacancy; confirm appointment to the Advisory Council to the Area Agency on Aging of Santa Cruz and San Benito County.

**9. REPORT FROM CITY REPRESENTATIVES TO REGIONAL BOARDS / COMMISSIONS**

**10. CONSENT CALENDAR**

*All items listed in the "Consent Calendar" will be enacted by one motion in the form listed below. There will be no separate discussion on these items prior to the time the Council votes on the action unless members of the public or the City Council request specific items to be discussed for separate review. Items pulled for separate discussion will be considered following General Government.*

*Note that all Ordinances which appear on the public agenda shall be determined to have been read by title and further reading waived.*

- A. Consider the May 26, 2016, Regular City Council Minutes  
RECOMMENDED ACTION: Approve Minutes.
- B. Receive Planning Commission Action Minutes for the Regular Meeting of June 2, 2016  
RECOMMENDED ACTION: Receive Minutes.
- C. Deny Liability Claim of Sandra Wallace in the Amount of \$3,468.49  
RECOMMENDED ACTION: Deny liability claim.
- D. Contract Amendment with Strelow Consulting for the Monterey Avenue Skate Park Application  
RECOMMENDED ACTION: Authorize the City Manager to sign a Contract Amendment in the amount of \$4,800 with Strelow Consulting.
- E. Approve the Plans, Specifications, and Construction Estimate and Authorize Advertising for Bids for the Following Projects: Rispin Mansion Park Project and the 2016 Street Rehabilitation Project on Portions of Park Avenue, Kennedy Drive, and Monterey Avenue  
RECOMMENDED ACTION: Approve the plans, specifications, estimate of costs and authorize advertising for bids.

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- F. Consider the Adoption of a Resolution Setting the Fiscal Year 2016-2017 Appropriation Limit  
RECOMMENDED ACTION: Adopt a Resolution setting the Fiscal Year 2016-2017 Appropriation Limit as required by Article XIII B of the California Constitution.
- G. Consider accepting the City's Investment Policy  
RECOMMENDED ACTION: Confirm the City's Administrative Policy Number III-1, Investment Policy, or provide direction to staff regarding any recommended changes.

**11. GENERAL GOVERNMENT / PUBLIC HEARINGS**

*General Government items are intended to provide an opportunity for public discussion of each item listed. The following procedure is followed for each General Government item: 1) Staff explanation; 2) Council questions; 3) Public comment; 4) Council deliberation; 5) Decision.*

- A. Presentation by Frank Perry, Capitola Museum Curator, regarding the History of the Capitola Wharf  
RECOMMENDED ACTION: Receive Presentation.
- B. Zoning Code Update Progress Report  
RECOMMENDED ACTION: Accept staff presentation and provide direction on future review of draft zoning code.
- C. Appeal of Community Development Department's Determinations Regarding 519 Oak Drive  
RECOMMENDED ACTION: Uphold the Community Development Director's decision.

**12. ADJOURNMENT**

**Note:** Any person seeking to challenge a City Council decision made as a result of a proceeding in which, by law, a hearing is required to be given, evidence is required to be taken, and the discretion in the determination of facts is vested in the City Council, shall be required to commence that court action within ninety (90) days following the date on which the decision becomes final as provided in Code of Civil Procedure §1094.6. Please refer to code of Civil Procedure §1094.6 to determine how to calculate when a decision becomes "final." Please be advised that in most instances the decision become "final" upon the City Council's announcement of its decision at the completion of the public hearing. Failure to comply with this 90-day rule will preclude any person from challenging the City Council decision in court.

**Notice regarding City Council:** The City Council meets on the 2nd and 4th Thursday of each month at 7:00 p.m. (or in no event earlier than 6:00 p.m.), in the City Hall Council Chambers located at 420 Capitola Avenue, Capitola.

# CAPITOLA CITY COUNCIL REGULAR MEETING AGENDA

June 9, 2016

**Agenda and Agenda Packet Materials:** The City Council Agenda and the complete Agenda Packet are available for review on the City's website: [www.cityofcapitola.org](http://www.cityofcapitola.org) and at Capitola City Hall and at the Capitola Branch Library, 2005 Wharf Road, Capitola, prior to the meeting. Agendas are also available at the Capitola Post Office located at 826 Bay Avenue, Capitola. Need more information? Contact the City Clerk's office at 831-475-7300.

**Agenda Materials Distributed after Distribution of the Agenda Packet:** Pursuant to Government Code §54957.5, materials related to an agenda item submitted after distribution of the agenda packet are available for public inspection at the Reception Office at City Hall, 420 Capitola Avenue, Capitola, California, during normal business hours.

**Americans with Disabilities Act:** Disability-related aids or services are available to enable persons with a disability to participate in this meeting consistent with the Federal Americans with Disabilities Act of 1990. Assisted listening devices are available for individuals with hearing impairments at the meeting in the City Council Chambers. Should you require special accommodations to participate in the meeting due to a disability, please contact the City Clerk's office at least 24-hours in advance of the meeting at 831-475-7300. In an effort to accommodate individuals with environmental sensitivities, attendees are requested to refrain from wearing perfumes and other scented products.

**Televised Meetings:** City Council meetings are cablecast "Live" on Charter Communications Cable TV Channel 8 and are recorded to be rebroadcasted at 8:00 a.m. on the Wednesday following the meetings and at 1:00 p.m. on Saturday following the first rebroadcast on Community Television of Santa Cruz County (Charter Channel 71 and Comcast Channel 25). Meetings are streamed "Live" on the City's website at [www.cityofcapitola.org](http://www.cityofcapitola.org) by clicking on the Home Page link "Meeting Video." Archived meetings can be viewed from the website at anytime.



## CAPITOLA CITY COUNCIL AGENDA REPORT

**MEETING OF JUNE 9, 2016**

FROM: City Manager Department

SUBJECT: Presentation of the 2016 Herb Ross Community Achievement Award for the  
Capitola Police Officer of the Year

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Report Prepared By: Susan Sneddon  
City Clerk

**Reviewed and Forwarded by:**

A handwritten signature in blue ink, appearing to be "JG", is written over a horizontal line.

Jamie Goldstein, City Manager

6/3/2016

June 8, 2016

JUN 09 2016

CITY OF CAPITOLA  
CITY CLERK

To Members of Capitola City Council:

I see on the Closed Session Agenda for June 9, 2016, that the recommendation regarding the claim for damage to my auto is denial.

On May 25, 2016, I drove to the skatepark on McGregor from Park Avenue. When I turned right into the driveway, I could not see the pipe which was short enough that it didn't show above my passenger side window. The pipe at that time was several feet into the pathway of the driveway.

On May 25, 2016 I was told that the parking lot wasn't officially open. The reason the gate was unlocked resulted from people parking cars on McGregor causing a safety hazard. The finishes to the parking lot were slated to be done prior to the grand opening on June 4, 2016.

I submitted photos taken the day of the accident showing the position of the pole relative to the edge of the driveway.

Clearly, the pipe was recognized as a hazard because changes were made to the driveway rather quickly after I turned in my claim.

I am now submitting photos taken on May 28, 2016, showing an added curb and a barrier over the pipe.

In addition I am submitting photos taken this morning, June 8, 2016, showing the caution tape in the area of the pipe. Also, the pipe itself has been replaced.

It seems obvious to me that the City recognized that the pole stuck way out into the driveway was a hazard and that hazard was mitigated after my accident. I would very much appreciate the Council also making that determination.

Thank you for your consideration.

Sincerely,

Sandra Wallace



I am now submitting photos taken on May 28, 2016, showing an added curb and a barrier over the pipe.

In addition I am submitting photos taken this morning, June 8, 2016, showing the caution tape in the area of the pipe. Also, the pipe itself has been replaced.

It seems obvious to me that the City recognized that the pole stuck way out into the driveway was a hazard and that hazard was mitigated after my accident. I would very much appreciate the Council also making that determination.

Thank you for your consideration.

Sincerely,

Communication: Item 10.C. Liability Claim Statement from Sandra Wallace (ADDITIONAL MATERIALS)



5.25.16



Communication: Item 10.C. Liability Claim Statement from Sandra Wallace (ADDITIONAL MATERIALS)



8.28.16 7:45 a.m.



Communication: Item 10.C. Liability Claim Statement from Sandra Wallace (ADDITIONAL MATERIALS)

6.8.16





6.8.16



Communication: Item 10.C. Liability Claim Statement from Sandra Wallace (ADDITIONAL MATERIALS)



June 8, 2016

Dear Mayor Norton and Council members,

I am writing in regards to Item E on the consent agenda of your June 9<sup>th</sup> meeting. I appreciate the need to repave Monterey and Park Avenues, and I applaud staff for expanding the bike lane on Park Avenue and maintaining the existing sharrows on Monterey.

I ask that staff and City Council continue the public process around the proposed bike lanes on Monterey Avenue between Kennedy and Washburn. This section of Monterey represents a gap in Capitola's bike network and safe routes to school network, and leaves students traveling to New Brighton Middle School without a safe and secure route. We understand that parking removal is always a challenge, and will work to build support among New Brighton Middle School parents, teachers, students and neighbors for this change.

Adding new bike lanes on Monterey Avenue would be a visionary change, and one that looked to a future in which all Capitola residents feel safe and comfortable using their bikes for everyday trips. Last fall, I took a bike infrastructure tour of Coronado, CA, a small beach town near San Diego that reminds me of Capitola. Coronado has one of the highest rates of biking and walking to school in the country—70% of students bike or walk to school. If we could reach these numbers in Capitola, we would significantly reduce the school-based traffic that is reducing quality of life for neighbors, parents and students.

I ask you to approach this public process with an open mind, and take a long-term view of the benefits of bike infrastructure. Through gradual improvements, we can make riding a bike a safe, viable, and popular way to get around Capitola.

Sincerely,

A handwritten signature in black ink, appearing to read "Amelia Conlen".

Amelia Conlen, Executive Director  
director@bikesantacruzcounty.org

Communication: Item 10.E. Public Communications regarding Rispin Mansion Park Project (ADDITIONAL MATERIALS)

**Sneddon, Su (ssneddon@ci.capitola.ca.us)**

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**From:** Steve Piercy - Website Builder <web@stevepiercy.com>  
**Sent:** Thursday, June 09, 2016 12:26 AM  
**To:** Jesberg, Steve (sjesberg@ci.capitola.ca.us)  
**Cc:** Amelia Conlen; City Council; Ward, Andrew  
**Subject:** RE: Letter re: 6/9 agenda

Hi Steve,

I support the staff recommendation to repair the road surfaces as soon as practical. They are in very bad shape, and that along with the planned treatments would improve conditions and safety for all road users.

I look forward to the public discussion of bike routes around New Brighton Middle School.

--steve

On 6/8/16 at 11:34 PM, sjesberg@ci.capitola.ca.us (Jesberg, Steve (sjesberg@ci.capitola.ca.us)) pronounced:

>Hi Amelia, thank you for your letter concerning the proposed paving  
>project along Monterey Avenue.  
>Based on the previous direction of the City Council, staff will be  
>continuing public discussion of bike routes to and from New Brighton  
>Middle School.  
>At this time, staff felt that repair to the road surfaces was paramount  
>and should not be delayed while this planning effort takes place.  
>I will make sure to keep you informed when the bike lane discussions are scheduled.  
>  
>Thanks again, Steve  
>  
>Steven Jesberg  
>Public Works Director  
>City of Capitola  
>(831) 475-7300  
>  
>  
>  
>-----Original Message-----  
>From: Amelia Conlen [mailto:director@bikesantacruzcounty.org]  
>Sent: Wednesday, June 08, 2016 3:24 PM  
>To: City Council  
>Cc: Jesberg, Steve (sjesberg@ci.capitola.ca.us); Ward, Andrew; Steve  
>Piercy  
>Subject: Letter re: 6/9 agenda  
>  
>Hello,  
>  
>Please see attached for a letter on Item E on tomorrow's consent agenda.  
>  
>Thanks for your consideration,  
>

Communication: Item 10.E. Public Communications regarding Rispin Mansion Park Project (ADDITIONAL MATERIALS)

## Some Historic Newspaper Articles on the Capitola Wharf

(Selected from a much larger collection  
in the files of the Capitola Historical Museum)

June, 2016

## Wave-Motor at Capitola<sup>1</sup>

The improvements being made by the Gerlach Wave-Motor Development Co., of San Francisco at Capitola are attracting attention. The company is evidently in earnest in endeavoring to show the world what can be done with their wave motor. About \$20,000 will be expended. The addition of 200 feet to the wharf, which is nearly completed, is a credit to the company as well as to Capitola.

E. Gerlach, the inventor, states that extensive machinery will arrive in about ten days, together with a large force of machinists. It is expected that the motor will be in operation by the middle of January. Mr. Gerlach says that it is astonishing to see the number of people who visit Capitola daily, expecting to see the motor in operation. He has inquiries regarding the motor from different part of the country.

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<sup>1</sup> This article from the November 20, 1895, Santa Cruz Sentinel has been retyped for legibility.

—•••—  
**THE WAVE MOTOR.**  
 —•••—

**A Successful Test Made—Big Wheel Revolves for Three Hours.**

At ten o'clock Friday evening another successful test was made at Capitola with the Gerlach Wave Motor in the presence of the inventor and a few friends. The test bore out the theory advanced by Mr. Gerlach that the waves could be harnessed for the purpose of furnishing power.

The moment the paddles were dipped the big wheel started on its journey, and for three hours revolved, making twenty revolutions a minute.

It was discovered that as the tide became higher and the deeper the paddles were submerged the less was their efficiency. It was found that the paddles operated with surprising regularity in four feet of water, even though there was no perceptible swell. At four o'clock Saturday morning the paddles were hoisted, for the purpose of remedying the gearing, so as to have the paddles remain in the depth of water found to give the best efficiency for the purpose.

Mr. Gerlach, who was pleased with the success of the test, says that it will take perhaps two weeks to make the necessary alterations. When they are completed he will go to San Francisco to arrange for electrical appliances, so that power can be furnished in a few months.

Communication: Item 11.A. Historical Museum Articles (ADDITIONAL MATERIALS)



gold brick scheme all to pieces.

The Gerlach Wave Motor at Capitola does not allow itself to be disturbed by the waves. This we regret. We never owned a share of stock in the wheel, but the success of the application would be one of the biggest things for this section of the hemisphere ever placed on water. Its success meant cheap power and an electric railroad from Capitola to Santa Cruz and from this city to the metropolis. It meant more—a mechanical revolution so vast as to be beyond the powers of comprehension.

Restaurants have grown so numer-

# Battle With King Salmon Continues; Restive Beauties Succumbing By Hundreds

The salmon run this season is beyond question the biggest ever known in the bay. Since the beginning of summer the fishermen have made steady catches, and the rivalry among the various pilots of the fishing launches is very strong, luck one time favoring one and sometimes another. Arthur Googins has made the best record this season in catches, being high boat.

The recent catch of 165 salmon, made by Captain Mitchell in one of the launches from the Capitola wharf, has had the effect of firing the local fishermen to beat the record, and with this purpose in view Jim McCall and Floyd Uhden are out today and a record catch is expected. With two experienced fishermen after the record and the salmon running as they are today something out of the ordinary is looked for.

Ralph Springer, Bert McGown, Bert Nolan, Will Hanahan and W. R. Springer, in Arthur Googins' launch, were the champions today, returning with seventy-nine salmon; L. A. F. Gripenstraw, a funeral director of San

Jose, with Ed R. Rhoades, saught 70; a party in Uhden's launch caught 35; Mr. and Mrs. W. S. Cairns and three boys, of Lindsay, Tulare county, with C. H. Russell, caught 25, in the Faraola launch "Standard"; Clarence Rice, George Tilton, Ray Newport and George Railsbeck of Hanford caught 48 in Jackson and Kent's launch.

Achille Roos, a member of the firm of Roos Brothers of San Francisco, and Colonel Albert Rosenbaum of San Francisco, caught 25 salmon with rod and reel in the John Perez launch, the Jaunita. John Perez caught 40 from another of his launches.

A party of men in a rowboat landed 7 salmon. E. Ray, A. J. Chapple and J. Giblin caught 15 salmon from a rowboat. J. Hill, Mr. Rudy, Hans Carlson and Sam Harris caught 61 salmon in Uhden's launch yesterday.

Jim McCall returned from a fishing excursion on the bay this morning with 100 salmon. Faraola Brothers' fishing boat caught 56 salmon this morning, one of which was the largest fish caught during the day, being a forty-two-pounder.

# A. Gibelli, Marooned At End of Wrecked Capitola Wharf, Saved

For four hours this morning, A. Gibelli, a well-known fisherman of Capitola, calmly flirted with death on the outer end of the Hihn company's wharf with the foam-crested rollers pounding their way shoreward beneath him and around him, and with no possible chance of bridging the gap of over 200 feet between him and safety, caused by the collapse of the old structure in the middle this morning shortly before 9 o'clock. The wharf gave way after an all-night pounding by the mighty combers which rolled ashore with the highest tide ever seen at the resort in its history. At noon the man was pulled ashore after jumping into the water with ropes attached to his body.

Gibelli had assisted this morning in removing all of the fishermen's effects and boats from the wharf, the possibility of the structure falling in being apprehended. He then started for the outer end to get a skiff that belonged to him. He was warned not to go. He persisted in his intention despite the pleadings of his wife and

## RESCUED MAN SAVED MANY LIVES HIMSELF

A. Gibelli, the heroic fisherman who was rescued from a perilous position on the outer end of the wrecked Capitola wharf this morning, desired to live if any man ever did, for it was he who rescued twenty-four souls clinging to the rigging of the liner Rio Janeiro when she sank at the entrance of the Golden Gate in 1902. Gibelli was a fisherman of San Francisco at the time and was cruising around in the neighborhood when the old boat went to the bottom. With his boat he succeeded in carrying two dozen of the unfortunate passengers ashore.

He was given a nurse filled

4.C

Santa Cruz Evening News (Santa Cruz, California) · Wed, Nov 26, 1913 · Page 1

Printed on Jun 8, 2016

despite the pleadings of his wife and children and all of his companions. His trip from the shore to the end of the old wharf was watched with fear and trembling by more than one in the group near the shore.

Gibelli had just reached a point slightly beyond the middle of the wharf when the members of the group were horrified to see the structure sag about twenty feet behind the man and then with a roar it fell into the surging waters—200 feet of it. Gibelli was left alone on the outer end.

His wife was frantic with fear. She fell on her knees and called on heavenly aid to bring her husband relief. Superintendent Frank Reanier of the Hihn company calmed the woman and assured her that as the tide went down he would be rescued.

At noon G. Stagnero, a fisherman of Santa Cruz, threw a fishline with a lead on it to the marooned man. He caught it and hauled it across and the larger rope attached to it, and a life preserver. He put on the life preserver and tied the rope under his arms.

sengers ashore.

He was given a purse filled with gold and a gold medal that he highly prizes to this day. Gibelli is fifty-four years old and has a wife and family.

yond the end of the bridge over the Soquel creek.

The beach is covered with wreckage from the broken wharf and the whole front presents a scene of wild desolation. A higher tide is expected tomorrow morning.

Mr. Reanier was asked this morning to describe the wreck and its causes.

"The tide is the biggest I ever saw," said Mr. Reanier. "We had a small tidal wave fifteen years ago, but that was just one big breaker. The wharf went out in the middle and was caused by the violent action of the water coming from the west, where it strikes the bank and then shoots directly toward the wharf. Here it met the current from the east and the wharf got the benefit of the impact. You would have the same trouble in San

Communication: Item 11.A. Historical Museum Articles (ADDITIONAL MATERIALS)

Packet Pg. 20

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arms.

Meanwhile the two ends of the rope were placed in the hands of a group on the beach and a crowd of fishermen on the shore end of the wharf. The brave fisherman then leaped into the seething water. He was quickly pulled ashore after a good ducking or two.

As he was assisted ashore it was seen that he was as calm as a cucumber and the least ruffled of any one concerned in the crowd.

Superintendent Reanjer said this morning that never in the history of Capitola had there been such a tide as that of last night. The water ran a whole block into the town, reaching the Hihn company's office and flooding the lower levels and the cottage yards back to the street on which the postoffice is situated. The Union Traction streetcar tracks were buried with sand and for a few hours this morning the cars could not run be-

got the benefit of the impact. You would have the same trouble in Santa Cruz if you should build your proposed wharf to the west of the fishermen's wharf. You are building with perfect safety in the proposed location.

"I can't say whether the wharf will be rebuilt right now or not. It will probably be fixed up later to accommodate the fishermen."

## Drops Dead In Church

LOS ANGELES, Nov. 26—The spell of an unexpected solemn and dramatic incident to the sermon of the Rev. Joseph Glass of St. Vincent's Catholic church, upon "the unexpected descent of death," is still deep upon his congregation.

"Death may strike at any moment,"

*Terrible article 1913 This article mentions Harry Hooper*

# PROFESSIONAL SKILL

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## In Fitting Glasses

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**C. M. TABLER,**  
Optometrist and Manufacturing Optician.  
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**HELLO!**  
YES,  
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**BLISS & CO.**

**BERRIES**  
**RAISINS**  
**MEAT**  
**ORANGES**  
**CELERY**  
**KINS**

GOOD BYE

Mrs. Ella Orton left today for Berkeley to spend Thanksgiving with Mr. and Mrs. J. J. Martin.  
The Cox Electric Company carry a Mazda lamp for every socket made, from a flash lamp or automobile to every socket in the house.—Adv 11-20tf  
—A portable cottage brought from Berkeley is being erected by Conrad Scholl at the Advent camp grounds.  
**THANKSGIVING TURKEY DINNER AT WALDO GRILL, 50 CENTS. COURSE DINNER—Adv.**  
Typewriter paper for students and professional use at the Surf job plant, 17 Soquel avenue.—Adv.  
Pacific Coast Undertaking Co., Undertakers and Embalmers, 231 Pacific avenue. Phone Santa Cruz 79. Night

# HIGH WATER ALONG SHORE

## A Storm at Sea Sends the Waves far Inland— A Section of Capitola Wharf Taken Out

With a crash and a quick snap a high swell carried out to sea 200 feet of the middle of the Capitola wharf at 9 o'clock this morning, leaving T. A. Chibella on the outer end of the wave-washed pier. For three hours desperate attempts were made to throw a rope to the lone fisherman, without success, but at about 11:45 o'clock he placed a life preserver about his body and as he was a good strong swimmer and a heavy built man he successfully made shore amid the plaudits of the scores of people, but it was not until after a fierce battle with the heavy sea and swells.

It has been the highest tide and heaviest seas for several years and at Capitola the waves were rolling over the end of the wharf. The fishermen and been engaged in removing the boats to places of safety, but Chibelli went back after a skiff and was at the end of the wharf when 200 feet of the wharf over a hundred feet from him crashed and gave way and was soon floating in pieces about the bay and later the wreckage of piles and planks was thrown on the beach.

It was feared for Chibelli at first, as the waves were high and would wash over the pier and many were fearful lest the wharf left standing would also go down.

Ropes were thrown and Harry Hooper of the Boston team attached a string to a baseball, but could not make it.

A telephone message was sent to town for the Naval Reserves to send a gun and shoot a rope. Chibelli was getting nervous and at last desperate he placed the life preserver about him and made shore. His relatives were especially overjoyed as they were taking it very hard.

Chibelli has a great record and at the time of the sinking of the Valparaiso outside the heads at San Fran-

cisco he, with his launch, rescued 22 persons.

The excitement was great at Capitola and there was much anxiety. The waves covered the entire beach, rolled across the esplanade and on one street went as far as the rink and on the main street to the curve of the track at Mr. Reanler's office. The waves dashed against the windows of the Hotel Capitola bowling alley. The framework for the summer canvas awning was also somewhat crippled from the effects of the breakers.

At the Santa Cruz beach at the foot of Westbrook street the waves were rolling on the esplanade and at the east end of the rink the waves went over the Southern Pacific tracks. They beat against the steps and front of the Casino and along the entire esplanade.

Much sand was carried out from under the Santa Cruz-Portland Cement Company cement piles, which were on the sand opposite the Hotel St. James. The spray was dashing over the wharf and near the Naval Reserve boat house reached nearly the top of that building.

Boats were all taken to a place of safety and even those on the davits were swayed by the top of the high breakers.

There was much anxiety over two launches of Antone Silva and one of Cottardo Stegnaro, but the three reached the wharf in safety about noon.

Three of the drag net boats put out for Monterey.

At Twin Lakes the salt water pump for the plunge was carried out and Wood's, Schivan's and Corcoran's lagoon were filled with water, the high water going over the bar at the end of each.

Along the cliff road the blow holes were working beautifully and spouted spray high in the air.

## MORE TROOPS FOR THE BORDER

(By United Press.)  
WASHINGTON, Nov. 26.—The War Department has ordered the Twentieth Infantry to El Paso on the request of General Bliss. The General thinks that greater protection to Americans in the vicinity of Juarez is needed.

## FIRE AT EDMONTON.

(By United Press.)  
EDMONTON, Nov. 26.—The McKinney block, in the heart of the wholesale district, burned this morning. The loss is estimated at a quarter of a million dollars.

**CATHOLIC LADIES' FOOD SALE**

# BOOKS

## GAMES

## CHRISTMAS GIFTS

Our assortment now ready. The most varied we've ever shown, priced at 5c, 10c, 15c, 19c, 25c, 39c, 50c, 75c, and \$1.

OURS IS THE CHRISTMAS STORE.

See our 5c, 10c, and 15c "Money Savers"

Full value or money back.  
Santa Claus is on the way. Buy early. Buy now. Save money at

## "Kelly's"

The Racket  
30 and 32 Pacific Avenue.

## FIRST METHODIST HARVEST HOME FESTIVAL

The harvest home celebration last Sunday morning was an occasion of great interest and highly successful in every way. At the Sunday school hour a brief program of thanksgiving music and addresses was given and the pastor, Rev. H. E. Milnes, told the school about the orphanages to which the gifts of the school were to be sent.

The decorating committee had done its work well and all about the church were the floral evidences of the harvest season of the year. Before the pulpit on a large platform were displayed the jars of fruit and glasses of jellies that thoughtful people had sent in for the gladdening of the little ones in the orphanages, while at the foot of the altar were ranged the boxes of apples and sacks of potatoes. One gift that will especially appeal to the boys was a box of tops containing over a gross of these toys, given by J. H. Sintonson.

On Monday the committee prepared the gifts for shipment, sending a barrel of canned fruit to the Oriental Home for Chinese Children, one to the Japanese Home for Children, and one to the Deaconess' Home. All these are in San Francisco and are under the auspices of the Woman's Home Missionary Society of

Communication: Item 11-A. Historical Museum Articles (ADDITIONAL MATERIALS)

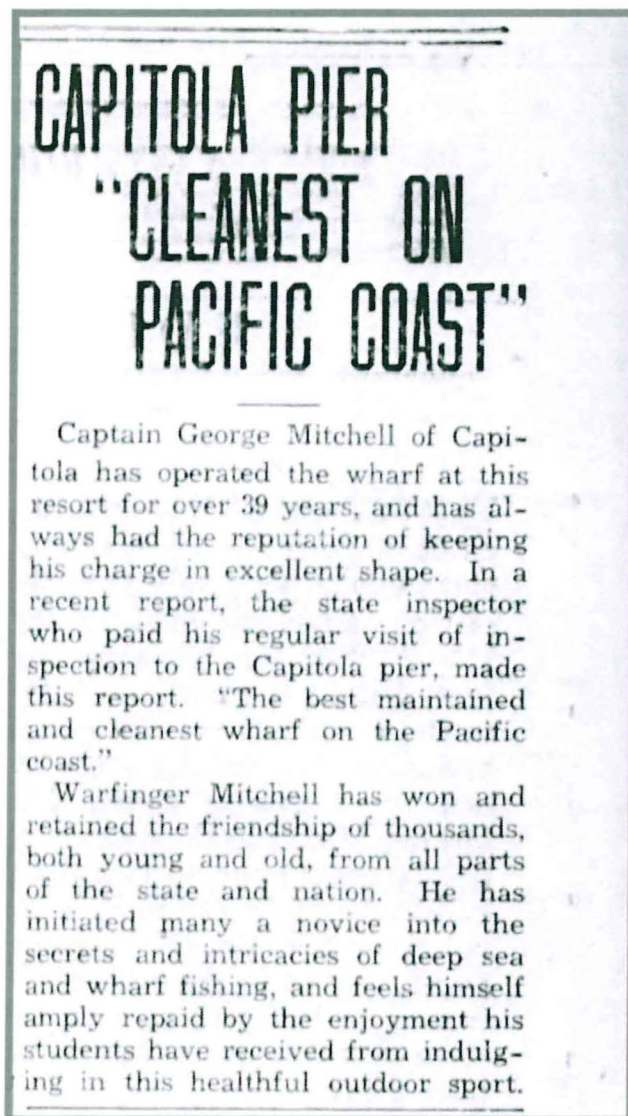
spoke with bated breath of the ghastly details.

\* \* \*

An excited female phoned in to say that she had heard there had been a bloody gun battle between rum-runners and Coast Guard men on the Capitola wharf.

\* \* \*

y  
n  
t  
And Vinton Kegg wanted to know if it was true that his old pal and former employer had been



## George Mitchell lauded for Capitola wharf management (Koehle Twins Collection)

Clipped By:



**SCMAH**

Tue, Jul 14, 2015



## Fireworks Show July Fourth At Capitola Wharf

Capitola chamber of commerce will put on the biggest Fourth of July fireworks display since the war this year, according to President E. M. Gramm.

The fireworks committee includes: Chairman Larry Wessell, Bill Trout, W. B. Newman, and L. W. Parr. At the next meeting of the chamber in the Capitola ballroom Monday at 8 p.m. Wessell is to give a report.

Gramm said the annual display will be larger than it has for eight years. It is to last 45 minutes. At the meeting it will be decided whether to hold it the night of July 3 or on the evening of the holiday. Fireworks will be set off on the end of the pier.

A color, sound film on the history of leather also on the meeting program, will be shown. All Capitola area residents are invited and refreshments will be served.

**Sneddon, Su (ssneddon@ci.capitola.ca.us)**

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**From:** afeinfo@aol.com  
**Sent:** Tuesday, June 07, 2016 7:16 PM  
**To:** City Council  
**Subject:** Re: June 9 City Council, agenda item 11C

Dear City Council Members,

We are writing in response to agenda item 11C for the June 9 meeting regarding the dispute between the new neighbors at 519 Oak Dr. and the old neighbors at 521 Oak Dr.

We live in Sacramento and have owned our beach house at 524 Oak Drive since 1981. For 35 years we have watched the sun set over the houses across the street through our living room and kitchen windows and our front yard patio.

It is our understanding that the Manley's of 519 Oak Drive have planted 3 cyanide trees in their front yard which will grow to a height of 35 feet or more, and create a wall that blocks the sunlight and air flow to their neighbors to the north, the Daniels/Graves of 521 Oak Drive. This wall of trees will also block the afternoon sun to our front yard, and we will no longer be able to see a sunset from our house.

A favorite thing to do when we come to use our house in Capitola several times a month is to garden, and we have had an organic garden for many years. It is very troubling to us that someone would introduce cyanide trees of such known toxicity into the neighborhood. The cyanide trees produce seeds and leaves that can blow into other neighbors yards and present a health threat to the neighborhood children, cats, dogs and raccoons.

We oppose the planting of the three cyanide trees and believe there are more reasonable alternatives which can achieve privacy for the Manley's without overshadowing the neighborhood. Ten years ago when a new house was being constructed next to our house, we appealed several issues to the city council. The builder had requested variances from the council and when a new survey revealed a property line only 7 inches from the fireplace on our side yard, the council members wisely made suggestions that enabled reasonable compromises.

We hope you will consider the effect of the cyanide tree plantings on the neighborhood as a whole, and go beyond an individuals right to do whatever they want with their property at the expense of other legitimate concerns by neighbors who are affected.

Respectfully Yours,

Larry and Anita Fein  
524 Oak Drive

Communication: Item 11.C. Public Communications regarding 519 Oak Drive Appeal (ADDITIONAL MATERIALS)

**Sneddon, Su (ssneddon@ci.capitola.ca.us)**

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**From:** Nan Fuller <nan.d.fuller@gmail.com>  
**Sent:** Tuesday, June 07, 2016 1:38 PM  
**To:** City Council  
**Subject:** Preservation of a valuable neighborhood asset at 521 Oak Drive

My husband and I are visitors who hope to be Capitola residents. Over the years, we've come to share a concern for environment-friendly gardening with the longtime owners of 521 Oak Drive. We, along with many other Capitola residents and visitors, have really enjoyed seeing and appreciating the interesting things that these folks have done and continue doing with their garden at 521 Oak Drive. Decades in the making, this particular garden represents a real community resource and an educational opportunity to all passers-by. With all the water problems in our state, we need examples like this yard in congested urban neighborhoods.

Exactly because the houses in this neighborhood between Gayle's Bakery and the beach are so tightly packed together, this great example of what can be done needs preservation effort.

This spring we were shocked to learn that the very survival of this organic, drought-tolerant garden is being threatened by new neighbors at 519 Oak Drive, who have planted poisonous trees that will grow fast to block out the sun which the garden needs to live. We were even more shocked to see that over the last months since being informed of the problem, the new neighbors have not been willing to correct the problem, even though people have stepped forward to pay for the correction.

Clearly the intervention of the city is needed to protect older residents and true community resources. We ask the Capitola Council to get rid of these terrible, dangerous trees at 519 Oak and protect the garden thriving a few inches away. It is worth saving.

Thank you for your attention and time.

Nancy Fuller

Communication: Item 11.C. Public Communications regarding 519 Oak Drive Appeal (ADDITIONAL MATERIALS)

**Sneddon, Su (ssneddon@ci.capitola.ca.us)**

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**From:** Shea Graves <shealyane@gmail.com>  
**Sent:** Tuesday, June 07, 2016 5:23 PM  
**To:** City Council  
**Subject:** 521 Oak Drive

[citycouncil@ci.capitola.ca.us](mailto:citycouncil@ci.capitola.ca.us)  
Concerning June 9 agenda  
June 7, 2016

Dear Capitola Leaders,

I was upset to learn that the new neighbors at 519 Oak Drive are not respecting the right of my Aunt and Uncle to continue the vegetable and fruit garden they've been nourishing for more than 20 years.

My cousins and I have been visiting 521 Oak Drive since we were children. I have the fondest memories of Dennis Norton taking us out on his boat. I remember block parties where I learned how caring an urban neighborhood can be. This has been my belief about Capitola until the recent threat upon the garden I've treasured at 521 Oak.

Through their patient and loving tending of their organic food garden situated between their side fence and their driveway at 521 Oak, my Aunt Barbara and Uncle Bruce have taught us all about the benefits of conservation and the joys of eating produce that's grown in a way that's friendly to the environment. They showed us over years how a little light, air, and lots of worm composting can boost food production using only a little water from the rinse of their washing machine. Some of my cousins are now using the 521 Oak example to teach their own children how to care about the future. In my time as an adult visiting their home, I have seen neighbors and their visiting friends and family admire the garden and inquire about their practices of sustainable gardening.

Their garden is not only a staple of my fondest memories, but is unique as an education tool, and I urge you to protect it against the aggression of new neighbors. My Aunt and Uncle have offered to pay for new plants, so I don't see the problem the neighbors have that required this to come before the city council. The height, density and invasiveness of their plants are as important to the survival of this unique organic garden as the poisonous nature of *Prunus Caroliniana*.

Thank you,  
Shea Graves

Communication: Item 11.C. Public Communications regarding 519 Oak Drive Appeal (ADDITIONAL MATERIALS)

Sneddon, Su (ssneddon@ci.capitola.ca.us)

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**From:** Jeffrey Kiehl <jtkiehl@me.com>  
**Sent:** Wednesday, June 08, 2016 5:30 PM  
**To:** City Council  
**Subject:** Bruce Daniels

Dear Capitola City Council:

I am writing to you as a friend and scientific colleague of Bruce Daniels. Bruce has established himself through his research and presentations at scientific meetings. He has carried out important research on water resource issues and recognizes the importance of not only studying problems, but also taking the personal responsibility of applying science to everyday living. For example, he and his wife Barbara have created a wonderful garden around their home at 521 Oak Drive that requires less water than the typical garden. Bruce's efforts are not just focused on conservation, but on creating a pleasant environment where he and Barbara live. Many prefer to create and enjoy pleasant surroundings to their homes through gardening for it not only benefits the individual, but the neighborhood as a whole. It seem we should have the right to enjoy our gardens, especially ones created with great care. Bruce Daniels cares not only about large issues like how our climate is changing, but he cares about his home and the garden that surrounds it. I would urge you to recognize Bruce's stature not only in the fields of technology and science, but also as a person who wants to own and tend a garden.

Sincerely,

Jeffrey T. Kiehl, Ph.D.

Santa Cruz, CA

Communication: Item 11.C. Public Communications regarding 519 Oak Drive Appeal (ADDITIONAL MATERIALS)

**Sneddon, Su (ssneddon@ci.capitola.ca.us)**

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**From:** Robyn Marshall <robyninsc@comcast.net>  
**Sent:** Thursday, June 09, 2016 8:35 AM  
**To:** City Council  
**Subject:** GARDEN AT 521 OAK DRIVE BEING CONSIDERED TONIGHT 6/9

Please note: I am sending this to you again, because I neglected to put a Subject and, as this matter is being considered this evening, I want to make sure you read it before the city council meeting. Thank you! See below:

To Whom It May Concern:

I am a former Capitola resident who is regularly inspired by the front yard at 521 Oak Drive and I would like the City Council to act to save it from giant species being planted next door at 519 Oak. This drought-tolerant garden has been a model for the community and I delight in it whenever I go by.

I think this conflict would be easily solved if the new neighbors would replace the giant plants with something more in scale with the neighborhood, something that will not over-shade or invade the beautiful organic garden that has flourished there for years. By doing so, they could not only beautify their own front yard, but their act would be a gesture of goodwill! It would be an indication of their willingness to work with their long established neighbors to create peace and harmony.

Thank you for your kind consideration of this matter.

Sincerely,

Robyn Marshall  
French Instructor  
Cabrillo College

Communication: Item 11.C. Public Communications regarding 519 Oak Drive Appeal (ADDITIONAL MATERIALS)

**Sneddon, Su (ssneddon@ci.capitola.ca.us)**

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**From:** Nancy Thornburn <nancyt.18@thornburns.com>  
**Sent:** Thursday, June 09, 2016 9:20 AM  
**To:** City Council  
**Subject:** 521 Oak Drive

Dear City Council,

We are former residents of Capitola and still have many friends there. We heard that the residents at 521 Oak Drive are going before the city council to appeal to have plants replaced on a neighboring property. These plants are VERY LARGE and contain quite strong toxins in their leaves.

It's my understanding that the owners of 521 Oak Drive are organic gardeners and are rightfully concerned with the toxicity of the Prunus Caroliniana, as well as the fact that they are planted on the south side of their garden and will shade existing plants. I'm told that the residents offered to replace the plants with something more suitable, but the neighbors would not consider the offer.

As an avid gardener, I can fully understand the concern of the residents. We moved into our current house 6+ years ago. At the time an unassuming bush/tree was planted on the south side of our fence by our neighbors. This plant is now approximately 25 ft. tall and has forced me to move a large number of my plants due to lack of light. It sheds and I have to pay to have it pruned twice a year to keep it from coming over the fence.

Sometimes people don't realize how large something can become, but these neighbors have obviously been informed and offered an alternative. They have chosen to continue with a plant that is inappropriate for the space. Cities always have regulation about how high a fence can be, but don't consider what's planted behind the fence.

Please consider negotiating a settlement of some kind to replace these plants.

Nancy and Roger Thornburn  
Fort Bragg, CA 95437

Communication: Item 11.C. Public Communications regarding 519 Oak Drive Appeal (ADDITIONAL MATERIALS)

June 8, 2016

To the Members of the Capitola City Council,

I'm writing to encourage you to support the organic, drought-tolerant garden at 521 Oak Drive, Capitola. I urge you to disallow new screen planting at 519 Oak Drive so tall and dense that the garden at 521 Oak Drive will be ruined. I do not know the new vacation home owners at 519 Oak, so I thought I'd tell you that Barbara Graves and Bruce Daniels (521 Oak Drive) would not bring this issue before you if they hadn't first tried every means available to reach a peaceful and mutually beneficial compromise.

As leaders of various political and charitable organizations, my wife and I have worked with Barbara Graves and Bruce Daniels on issues of social justice, the environment and community resources for many years.

Barbara and Bruce have fostered several nonprofit organizations like Traffic Busters in Schools, which required bringing different stakeholders to the table to keep kids safe and decrease air pollution around schools. Those who do not know Barbara and Bruce may not know the depth of their commitment to bringing communities together, or the many awards they've received over the last twenty years.

Not many people would merit recognition from seemingly opposing camps, such as the Capitola Chamber of Commerce Citizen of the Year, the Bob Hattoy and Bob Mack California Activists of the Year, the Surfrider Outstanding Community Leader, the RTC Transportation Excellence Certificate of Merit, and certificates of recognition from the California legislature and national congressional leaders. For many years they've served on government commissions to protect water and air quality.

These are people who care. This Thursday's discussion of their rights to keep the use of their garden and driveway should be simple and quick. If the discussion turns into personal attacks on Barbara and Bruce from folks who might have disagreed with them politically over the years, all I ask is that you keep this character reference in mind as you strive to be fair.

Regards,  
Brian Murtha

(Public Service: People's Democratic Club; Delegate to the State Democratic Party; boards of: Habitat for Humanity, Child Abuse Prevention Council, SC County Bar Association, SC City Schools Personnel Commission, California Rural Legal Assistance. Past Governor SC Moose Lodge 545.)

JUN 08 2016  
CITY OF CAPITOLA  
CITY CLERK

Communication: Item 11.C. Public Communications regarding 519 Oak Drive Appeal (ADDITIONAL MATERIALS)







## CAPITOLA CITY COUNCIL AGENDA REPORT

**MEETING OF JUNE 9, 2016**

FROM: City Manager Department

SUBJECT: Consider Appointments to the Historical Museum Board and the Advisory Council to the Area Agency on Aging of Santa Cruz and San Benito County

**RECOMMENDED ACTION:** Accept the recommendation of the Capitola Historical Museum Board (Board) to reappoint four Board members, and accept the Board's recommendation to fill a vacancy; confirm appointment to the Advisory Council to the Area Agency on Aging of Santa Cruz and San Benito County.

**DISCUSSION:**

**Historical Museum Board (Board)**

Pursuant to Capitola Municipal Code Section 2.28.020B, the Board shall be appointed by the Mayor, subject to the approval of three City Council members. The four Board Members whose terms expire on June 9, 2016, are as follows: Niels Kisling, Kristen Petersen, Stephanie Tetter, and Gordon van Zuiden. All four Board members have expressed a desire to assume an additional term on the Board. The Board voted to recommend reappointment of all four Board members.

In addition, there is one vacancy on the Board for a term that will expire on June 13, 2018. The following two applications have been received to fill the vacancy:

- Mr. Stacey Ross
- Ms. Elizabeth Schilling

The Board will meet on June 7, 2016, and Frank Perry, Museum Curator, will provide the Board's letter of recommendation to the City Council at the June 9, 2016, City Council meeting.

**Advisory Council to the Area Agency on Aging of Santa Cruz and San Benito County (Advisory Council)**

On February 10, 2016, Al Carlson, City Representative on the Advisory Council, resigned as the City's Representative. Council Member Harlan is the Alternate Representative and is interested in being appointed as the Representative.

At the May 12, 2016, City Council meeting, the Council directed staff to continue the appointments to provide additional time for the Alternate Representative applicant, Ms. Pippin, to attend an Advisory Council meeting. The Advisory Council met on May 18, 2016, however Ms. Pippin was unable to attend; the next meeting of the Advisory Council will be on June 15, 2016.

Staff recommends the Council appoint Council Member Harlan as the Representative and provide direction to staff regarding the recruitment to fill the Alternate Representative. The next

Museum Board and Advisory Council to the Area Agency on Aging Appointments  
June 9, 2016

Advisory Council meeting will be June 15, 2016.

The required noticing for the Museum Board and the Advisory Council were posted at City Hall, on the City's website, placed on the Charter Community Channel 8 scroll, and a press release was issued to local publications.

FISCAL IMPACT: None

ATTACHMENTS:

1. Museum Board Members Requests for Reappointment
2. Museum Board Letter Confirming Reappointments
3. Museum Recruitment Notice Reappointments
4. Mr. Stacey Ross Application
5. Ms. Elizabeth Schilling Application
6. Museum Recruitment Notice Vacancy
7. Museum Board Roster
8. Linda Pippin Application
9. Seniors Council Recruitment Notice

Report Prepared By: Susan Sneddon  
City Clerk

**Reviewed and Forwarded by:**



Jamie Goldstein, City Manager

6/3/2016

**Sneddon, Su (ssneddon@ci.capitola.ca.us)**

---

**From:** Niels Kisling <nkisling@pacbell.net>  
**Sent:** Friday, May 13, 2016 7:10 AM  
**To:** Sneddon, Su (ssneddon@ci.capitola.ca.us)  
**Subject:** RE: Capitola Historical Museum Board Recruitment (Kisling)?

Hi Su-

Thanks for the reminder. I have another term in me, so I will reapply.

Thanks again-

Niels

## Black Labs Matter.

**From:** Sneddon, Su (ssneddon@ci.capitola.ca.us) [mailto:ssneddon@ci.capitola.ca.us]  
**Sent:** Tuesday, May 10, 2016 8:40 AM  
**To:** Kisling, Niels (nkisling@pacbell.net)  
**Subject:** Capitola Historical Museum Board Recruitment (Kisling)?

Hi Niels,

Please email me letting me know that you want to continue on the Museum Board.

Thank you,

Su

Susan Sneddon, City Clerk  
City of Capitola  
420 Capitola Avenue  
Capitola, CA 95010  
P | 831-475-7300 F | 831-479-8879  
[www.cityofcapitola.org/](http://www.cityofcapitola.org/)

**Sneddon, Su (ssneddon@ci.capitola.ca.us)**

---

**From:** Sneddon, Su (ssneddon@ci.capitola.ca.us)  
**Sent:** Thursday, May 05, 2016 2:01 PM  
**To:** Petersen, Kristen  
**Cc:** Perry, Frank (fperry@ci.capitola.ca.us)  
**Subject:** Capitola Historical Museum Board Recruitment (Petersen)

Hi Kristen,

This will acknowledge receipt of your message requesting reappointment to the Capitola Historical Museum Board. A copy of this message will be forwarded to the City Council and Frank Perry, Museum Curator is being copied on this email. An agenda and agenda staff report will be sent to you regarding the City Council meeting to be held on June 9, 2016, where it is anticipated that the appointments will be made.

Thank you for your interest in continuing to serve on the Capitola Historical Museum Board.

Sincerely,

Su

Susan Sneddon, City Clerk  
 City of Capitola  
 420 Capitola Avenue  
 Capitola, CA 95010  
 P | 831-475-7300 F | 831-479-8879  
[www.cityofcapitola.org/](http://www.cityofcapitola.org/)

**From:** Kristen Petersen [mailto:ladykpetersen@gmail.com]  
**Sent:** Thursday, May 05, 2016 1:50 PM  
**To:** Sneddon, Su (ssneddon@ci.capitola.ca.us) <ssneddon@ci.capitola.ca.us>  
**Subject:** Re: Capitola Historical Museum Board Recruitment

Hi Su,

I would like to be considered for reappointment to the Museum Board.

I also have a question regarding the board: At the last meeting, one of the other board members asked if I would still be allowed to serve on the museum board if I become a City Council Member. I did not know the answer and Frank suggested I ask you. Any information you can provide would be greatly appreciated.

Thanks so much!

**Sneddon, Su (ssneddon@ci.capitola.ca.us)**

---

**From:** Sneddon, Su (ssneddon@ci.capitola.ca.us)  
**Sent:** Thursday, May 05, 2016 2:02 PM  
**To:** Tetter, Stephanie  
**Cc:** Perry, Frank (fperry@ci.capitola.ca.us)  
**Subject:** Capitola Historical Museum Board Recruitment (Tetter)

Hi Stephanie,

This will acknowledge receipt of your message requesting reappointment to the Capitola Historical Museum Board. A copy of this message will be forwarded to the City Council and Frank Perry, Museum Curator is being copied on this email. An agenda and agenda staff report will be sent to you regarding the City Council meeting to be held on June 9, 2016, where it is anticipated that the appointments will be made.

Thank you for your interest in continuing to serve on the Capitola Historical Museum Board.

Sincerely,

Su

Susan Sneddon, City Clerk  
 City of Capitola  
 420 Capitola Avenue  
 Capitola, CA 95010  
 P | 831-475-7300 F | 831-479-8879  
[www.cityofcapitola.org/](http://www.cityofcapitola.org/)

**From:** Stephanie Tetter [mailto:stephanie.tetter@gmail.com]  
**Sent:** Thursday, May 05, 2016 12:48 PM  
**To:** Sneddon, Su (ssneddon@ci.capitola.ca.us) <ssneddon@ci.capitola.ca.us>  
**Cc:** Kisling, Niels (nkisling@pacbell.net) <nkisling@pacbell.net>; Petersen, Kristen <ladykpetersen@gmail.com>; van Zuiden, Gordon (gordon@cybermanor.com) <gordon@cybermanor.com>; Perry, Frank (fperry@ci.capitola.ca.us) <fperry@ci.capitola.ca.us>  
**Subject:** Re: Capitola Historical Museum Board Recruitment

Thanks, Su. I would like to be considered for reappointment.

Stephanie Tetter

Sent from my iPad

**Sneddon, Su (ssneddon@ci.capitola.ca.us)**

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**From:** Sneddon, Su (ssneddon@ci.capitola.ca.us)  
**Sent:** Friday, May 06, 2016 8:14 AM  
**To:** van Zuiden, Gordon (gordon@cybermanor.com)  
**Cc:** Perry, Frank (fperry@ci.capitola.ca.us)  
**Subject:** Capitola Historical Museum Board Recruitment (van Zuiden)

Hi Gordon,

This will acknowledge receipt of your message requesting reappointment to the Capitola Historical Museum Board. A copy of this message will be forwarded to the City Council and Frank Perry, Museum Curator is being copied on this email. An agenda and agenda staff report will be sent to you regarding the City Council meeting to be held on June 9, 2016, where it is anticipated that the appointments will be made.

Thank you for your interest in continuing to serve on the Capitola Historical Museum Board.

Sincerely,

Su

Susan Sneddon, City Clerk  
 City of Capitola  
 420 Capitola Avenue  
 Capitola, CA 95010  
 P | 831-475-7300 F | 831-479-8879  
[www.cityofcapitola.org/](http://www.cityofcapitola.org/)

**From:** Gordon van Zuiden [mailto:gordon@cybermanor.com]  
**Sent:** Thursday, May 05, 2016 6:17 PM  
**To:** Sneddon, Su (ssneddon@ci.capitola.ca.us) <ssneddon@ci.capitola.ca.us>  
**Cc:** Kisling, Niels (nkisling@pacbell.net) <nkisling@pacbell.net>; Petersen, Kristen <ladykpetersen@gmail.com>; Tetter, Stephanie <Stephanie.tetter@gmail.com>; Perry, Frank (fperry@ci.capitola.ca.us) <fperry@ci.capitola.ca.us>  
**Subject:** Re: Capitola Historical Museum Board Recruitment

Su,

I would like to be considered for reappointment to the Capitola Museum Board.

Thank you,

Gordon van Zuiden



420 CAPITOLA AVENUE  
 CAPITOLA, CALIFORNIA 95010  
 TELEPHONE (831) 475-7300  
 FAX (831) 479-8879

## *Capitola Historical Museum*

May 26, 2016

Mayor Ed Bottorff and Capitola City Council  
 410 Capitola Avenue  
 Capitola, CA 95010

Subject: Reappointments to Capitola Museum Board of Trustees

Dear Mayor Bottorff and Members of the Council:

The Capitola Historical Museum Board of Trustees recommends the reappointment of Niels Kisling, Kristen Petersen, Stephanie Tetter, and Gordon van Zuiden.

Each of these board members has been an asset to the board. Niels has worn several hats the past year including president, newsletter editor, and events coordinator. Kristen Petersen and Stephanie Tetter have contributed lots of good ideas and have helped the board make wise decisions. They also take volunteer shifts at the front desk. Gordon did much of the research and located the majority of the photographs for the current exhibition on photographer Ole Ravnos. All have brought unique talents and perspectives that are helping the Museum meet its mission of serving the public and preserving Capitola history.

Sincerely,

Frank Perry, Curator  
 Capitola Historical Museum





**CITY OF CAPITOLA**  
 420 Capitola Avenue  
 Capitola, CA 95010  
 (831) 475-7300  
 FAX (831) 479-8879

## APPLICATIONS FOR APPOINTMENT TO: Capitola Historical Museum Board

**NOTICE IS HEREBY GIVEN**, that four (4) seats on the Capitola Historical Museum Board are up for reappointment/appointment in June of 2016. The term of Office shall be for three (3) years. Current members may submit a letter of intent to continue to serve, and others interested in applying to serve may do so at this time. The City Council is seeking applications from persons who are preferably Capitola residents, 18 years of age or older, with a general interest in local history and in becoming involved in local government. Duties of the board are specified in the attached Municipal Code Chapter 2.28. The board meets on the first Tuesday of each month in the Community Room located at 420 Capitola Avenue, Capitola, at 5:30 p.m. Specific questions regarding duties or other information regarding the Capitola Historical Museum Board can be directed to Frank Perry, Museum Curator, at (831) 464-0322 or by email at [fperry@ci.capitola.ca.us](mailto:fperry@ci.capitola.ca.us), or you may contact Niels Kisling, Museum Board President, (831) 476-7532 or email at [nkisling@pacbell.net](mailto:nkisling@pacbell.net).

Pursuant to the board's bylaws, applications for the Museum Board members will be received by the City and forwarded to the President of the Museum Board. Applicants will be interviewed by the President and Members of the Museum Board at their June 7, 2016, regular meeting. The President will forward the Board's recommendations for approval to the City Clerk and Mayor. An appointment to the Museum Board shall be made by the Mayor, subject to the approval of three (3) Council Members (one of whom can be the Mayor) at the Council's Regular Meeting to be held on Thursday, June 9, 2016.

### **Application Deadline: May 27, 2016**

Applications may be obtained from the Receptionist at Capitola City Hall, 420 Capitola Avenue, or by calling (831) 475-7300 and requesting an application be sent to you. In addition, a notice with an application form is available in the foyer at City Hall, at the Capitola Branch Library, 2005 Wharf Road, and on the City's Website <http://www.cityofcapitola.org/> by clicking on "I Want To" and selecting "Serve on a City Board, Committee, or Commission".

I, Susan Sneddon, City Clerk of the City of Capitola, California, hereby certify that the above Notice was posted on May 5, 2016.

Dated: May 5, 2016

Susan Sneddon, City Clerk



APR 20 2016  
CITY OF CAPITOLA  
CITY CLERK

# CITY of CAPITOLA

## BOARDS AND COMMISSIONS APPLICATION

Application for:

- Art & Cultural Commission  
*[Artist; Arts Professional; At Large Member]*  
*Please underline category above.*
- Architecture & Site Committee  
*[Architect; Landscape Architect; Historian]*  
*Please underline category above.*
- Finance Advisory Committee  
*[Business Representative; At Large Member]*  
*Please underline category above.*
- Traffic & Parking Commission  
*[Village Resident; Village Business Owner; At Large Member]*  
*Please underline category above.*
- Historical Museum Board
- Planning Commission
- Library Advisory Committee
- Other Committee \_\_\_\_\_

Name: Ross Stacey  
Last First

Residential Neighborhood: 41st & Clares St.

Occupation: Sales Representative

Describe your qualifications and interest in serving on this Board/Commission/Committee: First of all, I love Capitola. I've watched it grow for a long time. The Historical museum is my very favorite piece of Capitola. This will also help me in my venture into government. I want to be a bigger part of Capitola.

(Use additional paper, if necessary)

**Please Note:** Appointment to this position may require you to file a conflict of interest disclosure statement with the City Clerk. This information is a public record and these statements are available to the public on request.

4-13-16  
Date

Stacey Ross  
Signature of Applicant

Mail or Deliver Application to:  
Capitola City Hall  
Attn: City Clerk  
420 Capitola Avenue, Capitola, CA 95010

All information contained in this page of the application is public data and will be made available for public review and copying for anyone requesting it, and may be posted on the website of the City of Capitola. All information in this page will be provided to the Capitola City Council in a public forum and will be reviewed in public. It will therefore be part of the public record.

Attachment: Mr. Stacey Ross Application (1464 : Museum Board and Advisory Council to the Area Agency on Aging Appointments)

RECEIVED

MAY 18 2016

CITY OF CAPITOLA



MAY 18 2016  
CITY OF CAPITOLA  
CITY CLERK

# CITY of CAPITOLA BOARDS AND COMMISSIONS APPLICATION

Application for:

- Art & Cultural Commission  
[Artist; Arts Professional; At Large Member]  
*Please underline category above.*
- Architecture & Site Committee  
[Architect; Landscape Architect; Historian]  
*Please underline category above.*
- Finance Advisory Committee  
[Business Representative; At Large Member]  
*Please underline category above.*
- Traffic & Parking Commission  
[Village Resident; Village Business Owner; At Large Member]  
*Please underline category above.*
- Historical Museum Board
- Planning Commission
- Library Advisory Committee
- Other Committee \_\_\_\_\_

Name: Schilling, Elizabeth  
Last First

Residential Neighborhood: Live Oak

Occupation: retired

Describe your qualifications and interest in serving on this Board/Commission/Committee:

*As a graduate of New Brighton school & Sequel High I have many fond memories of Capitola. My interest in local history began in 1991 when I began recording oral histories with the Pajaro Valley Historic Association and continues today to collect artifacts & documents regarding Live Oak/Capitola. I have also been a professional events coordinator.*

**Please Note:** Appointment to this position may require you to file a conflict of interest disclosure statement with the City Clerk. This information is a public record and these statements are available to the public on request.

5-16-16  
Date

[Signature]  
Signature of Applicant

**Mail or Deliver Application to:**  
 Capitola City Hall  
 Attn: City Clerk  
 420 Capitola Avenue, Capitola, CA 95010

All information contained in this page of the application is public data and will be made available for public review and copying for anyone requesting it, and may be posted on the website of the City of Capitola. All information in this page will be provided to the Capitola City Council in a public forum and will be reviewed in public. It will therefore be part of the public record.

Attachment: Ms. Elizabeth Schilling Application (1464 : Museum Board and Advisory Council to the Area Agency on Aging Appointments)



**CITY OF CAPITOLA**  
 420 Capitola Avenue  
 Capitola, CA 95010  
 (831) 475-7300  
 FAX (831) 479-8879

## APPLICATIONS FOR APPOINTMENT TO: Capitola Historical Museum Board

**NOTICE IS HEREBY GIVEN**, pursuant to Section 54974 of the California Government Code, that one (1) vacancy exists on the Capitola Historical Museum Board. The unexpired term ends in June of 2018. The City Council is seeking applications from persons who are preferably Capitola residents, 18 years of age or older, with a general interest in local history and in becoming involved in local government. Duties of the board are specified in the attached Municipal Code Chapter 2.28. The board meets on the first Tuesday of each month in the Community Room located at 420 Capitola Avenue, Capitola, at 5:30 p.m. Specific questions regarding duties or other information regarding the Capitola Historical Museum Board can be directed to Frank Perry, Museum Curator, at (831) 464-0322 or by email at [fperry@ci.capitola.ca.us](mailto:fperry@ci.capitola.ca.us), or you may contact Niels Kisling, Museum Board President, (831) 476-7532 or email at [nkisling@pacbell.net](mailto:nkisling@pacbell.net).

Pursuant to the board's bylaws, applications for the Museum Board members will be received by the City and forwarded to the President of the Museum Board. Applicants will be interviewed by the President and Members of the Museum Board and will be scheduled after one or more applications are received. The President will forward the Board's recommendations for approval to the City Clerk and Mayor. An appointment to the Museum Board shall be made by the Mayor, subject to the approval of three (3) Council Members (one of whom can be the Mayor) at a Council's Regular Meeting to be scheduled.

### Application Deadline: Open until filled

Applications may be obtained from the Receptionist at Capitola City Hall, 420 Capitola Avenue, or by calling (831) 475-7300 and requesting an application be sent to you. In addition, a notice with an application form is available in the foyer at City Hall, at the Capitola Branch Library, 2005 Wharf Road, and on the City's Website <http://www.cityofcapitola.org> by clicking on "I Want To" and selecting "Serve on a City Board, Committee, or Commission".

I, Susan Sneddon, City Clerk of the City of Capitola, California, hereby certify that the above Notice was posted on March 10, 2016.

Dated: March 10, 2016

Susan Sneddon, City Clerk



**CITY OF CAPITOLA**  
 420 Capitola Avenue  
 Capitola, CA 95010  
 (831) 475-7300  
 FAX (831) 479-8879

## CAPITOLA HISTORICAL MUSEUM BOARD CURRENT MEMBERS (3 year term)

NAME	ADDRESS & PHONE NO. AND EMAIL	DATE APPOINTED	TERM EXPIRES
Church, Kathleen	3845 Floral Court Santa Cruz, CA 95062 (H) 831-477-0106; (C) 831-359-6647 <a href="mailto:kathyandbear@sbcglobal.net">kathyandbear@sbcglobal.net</a>	7/23/15	6/13/18
Greeninger, Pam Vice-President & Secretary	701 Escalona Drive Capitola, CA 95010 (H) 831-462-1009; (C) 831-239-8469 <a href="mailto:pamgreeninger@gmail.com">pamgreeninger@gmail.com</a>	7/23/15	6/13/18
Vacancy			6/13/18
Kisling, Niels President	1820 Wharf Road Capitola, CA 95010 (H) 476-7532 (C) 332-7454 <a href="mailto:nkisling@pacbell.net">nkisling@pacbell.net</a>	9/27/07 7/8/10 6/13/13	6/9/16
Petersen, Kristen	207 Oakland Avenue, #2 Capitola, CA 95010 (H) 435-0806 <a href="mailto:ladykpetersen@gmail.com">ladykpetersen@gmail.com</a>	2/26/15	6/9/16
Tetter, Stephanie	222 Junipero Court Capitola, CA 95010 (H) 831-475-9330 (C) 831-252-0787 <a href="mailto:Stephanie.tetter@gmail.com">Stephanie.tetter@gmail.com</a>	12/10/15	6/9/16
van Zuiden, Gordon (Leave of absence 1/1/15-12/31/15)	206 Fanmar Way Capitola, CA 95010 Mailing address: 17573 Eaton Lane Monte Sereno, CA 95030 (H) (408) 205-5440 (C) 205-5440 <a href="mailto:gordon@cybermanor.com">gordon@cybermanor.com</a>	6/24/04 6/28/07 7/8/10 6/13/13	6/9/16

Frank Perry, Museum Curator  
 410 Capitola Ave, Capitola, CA 95010  
 464-0322; Email: [fperry@ci.capitola.ca.us](mailto:fperry@ci.capitola.ca.us)  
 Pursuant to Chapter 2.28 "Public Museum"

- 7 members.
- Serve 3-year terms [staggered with 3 members serving a coextensive term & the other 4 members serving another coextensive term.
- Terms shall expire on the second Thursday of June in the year of term expiration.

RECEIVED

FEB 16 2016

CITY OF CAPITOLA



# CITY of CAPITOLA BOARDS AND COMMISSIONS APPLICATION

Application for:

- Art & Cultural Commission  
[Artist; Arts Professional; At Large Member]  
Please underline category above.
- Architecture & Site Committee  
[Architect; Landscape Architect; Historian]  
Please underline category above.
- Finance Advisory Committee  
[Business Representative; At Large Member]  
Please underline category above.
- Traffic & Parking Commission  
[Village Resident; Village Business Owner; At Large Member]  
Please underline category above.
- Historical Museum Board
- Planning Commission
- Library Advisory Committee
- Other Committee Advisory Council to the Area on Aging

Name: Pippin Linda  
Last First

Residential Neighborhood: Santa Cruz / Capitola

Occupation: NON-profit - Dev.

Describe your qualifications and interest in serving on this Board/Commission/Committee:

In addition to my non-profit background in working with frail populations I feel I have an extensive knowledge of the economic issues facing both older men & women and also the challenges facing social service agencies.

(Use additional paper, if necessary)

**Please Note:** Appointment to this position may require you to file a conflict of interest disclosure statement with the City Clerk. This information is a public record and these statements are available to the public on request.

2-10-16  
Date

[Signature]  
Signature of Applicant

Mail or Deliver Application to:  
Capitola City Hall  
Attn: City Clerk  
420 Capitola Avenue, Capitola, CA 95010

All information contained in this page of the application is public data and will be made available for public review and copying for anyone requesting it, and may be posted on the website of the City of Capitola. All information in this page will be provided to the Capitola City Council in a public forum and will be reviewed in public. It will therefore be part of the public record.

Attachment: Linda Pippin Application (1464 : Museum Board and Advisory Council to the Area Agency on Aging Appointments)

LINDA PIPPIN  
 1040 38<sup>TH</sup> AVENUE #39, SANTA CRUZ, CA 95062  
 408-931-5268 EMAIL: PIPPIN.LINDA@GMAIL.COM

### PROFESSIONAL SUMMARY

SIXTEEN YEARS OF PROGRESSIVE RESPONSIBILITY IN NON-PROFITS. EXPERIENCE INCLUDES; GRANT WRITING, PROGRAM DEVELOPMENT, COMMUNITY ORGANIZING, VOLUNTEER MANAGEMENT, SUPERVISION OF PAID AND UN-PAID STAFF, SPECIAL EVENTS, EVALUATION, , ANNUAL APPEALS, MARKETING AND PUBLIC RELATIONS.

### EXPERIENCE

#### CATHOLIC CHARITIES OF SANTA CLARA COUNTY – ANNUAL GIVING MANAGER SAN JOSE, CA 3/2011- PRESENT

- Responsible for all aspects of the Annual Appeal (\$1.3mil annually) employee and United Way Annual Appeals, agency tours and Donor Events and Receptions.
- Work with the Development Director to develop and execute matching gift opportunities and other giving vehicles. Plan and execute all fundraising and cultivation activities and events.
- Prepare prospect briefings, compelling proposals, reports, appeals, and other correspondence and presentations for prospects, donors and Board.
- Work with Communications staff to develop content for website, FB, Twitter, Email blasts, publications, newsletters, invitations, and other communication as it relates to fundraising.
- Research, write and prepare grant applications, corporate sponsorship solicitations, and reports.
- United Way Community Assessment Team.
- Experience with Razors Edge, CTK, Paradigm, AWARDS and *resultsp/plus!*<sup>™</sup> software and client/volunteer databases.

#### THE HEALTH TRUST - SAN JOSE, CA 2010-2011 (CONTRACT)

The Health Trust support regional initiatives and programs related to Healthy Aging, Healthy Living and Healthy Communities.

- Maintain existing funding sources, research/approach new funding sources.
- Initiate revenue collaborations with community partners leveraging new and existing resources.
- Update donor information utilizing Paradigm database.

#### VOICES UNITED - SAN JOSE, CA 2009-2010

VOICES UNITED IS THE SILICON VALLEY RESOURCE ON SUBSTANCE USE AND ADDICTION.

#### VOLUNTEER COORDINATOR/RESOURCE DEVELOPMENT

- Develop grants (business and foundations) program for agency and maintain existing city-state and federal funding.
- Collaborate with community partners leveraging new and existing resources (\$300,000 3 year Santa Clara County grant secured).
- Increase participation and revenue from existing 5k Run/Walk event.

(SILICON VALLEY AIDS LEADERSHIP CENTER - DEVELOPMENT DIRECTOR -PLEASE ASK)

NEIGHBORHOOD INVOLVEMENT PROGRAM (N.I.P) - MINNEAPOLIS, MN (2004-2009)

N.I.P PROVIDES HEALTH CARE, DENTAL CARE MENTAL HEALTH YOUTH AND SENIORS SERVICES TO LOW-INCOME INDIVIDUALS AND FAMILIES.

DEVELOPMENT DIRECTOR

- Maintain existing funding sources, research/approach new funding sources. (75-100 per- year, \$300,000 to \$500,000 per year-primarily private grants and sponsorships.)
- United Way grants manager. (\$400,000 per year)
- Initiate revenue collaborations with community partners leveraging new and existing resources.
- Provide lead internal/external communication; agency brochures annual report, newsletters,
- Involved in the successful completion of \$1.4M capital campaign.
- Developed and implemented first signature event *Music for Medicine*.
- Experience with CTK, Paradigm and results*plus!*™ software and client/volunteer databases.

SOUTHEAST MINNESOTA AREA AGENCY ON AGING - ROCHESTER, MN (2002-2004)

SENIOR LINKAGE LINE PROVIDES HIGH QUALITY, OBJECTIVE INFORMATION AND ASSISTANCE RELATED TO SENIOR SERVICES AND HOUSING OPTIONS TO HELP ELDERS AND THEIR FAMILIES MAKE INFORMED CHOICES.

SENIOR LINKAGE LINE COORDINATOR

- Certified Minnesota State Insurance Counselor.
- Resolve client complaints using excellent conflict resolution skills.
- High volume call center responsible for accurate and timely information and referral calls.

AIDS RESOURCE CENTER OF WISCONSIN - LA CROSSE, WI (2000-2002)

HOUSING SERVICES FOR HOMELESS INDIVIDUALS AND FAMILIES LIVING WITH HIV/AIDS.

HOUSING CASE MANAGER

- Case management services; including needs assessment, coordination of services, monitoring
- Referrals to additional human service agencies for case load of 30-40 clients statewide.

OLIVIA CRUISES AND RESORTS - SEATTLE, WA (1997-2000)

NATIONAL SPECIALIZED TOUR COMPANY.

MARKETING ASSOCIATE

- Assisted the Director of Marketing in developing marketing strategies and worked with multiple
- Vendors to ensure timely advertising and distribution of marketing materials.

CHICKEN SOUP BRIGADE - SEATTLE, WA (1990-1997)

PROVIDED FOOD, TRANSPORTATION AND CHORE SERVICES FOR PEOPLE LIVING WITH HIV/AIDS.

DIRECTOR OF CLIENT SERVICES

- Manage all aspects of volunteer supported fresh meal/grocery delivery program serving 500 clients a week. 85,000 bags of groceries and 120,000 fresh meals delivered per year.
- Responsible for support services; food, transportation and chore services for county wide residents.



EDUCATION/PROFESSIONAL DEVELOPMENT

Antioch University, BA Social Work/Community Organizing  
 Centralia College, AA Liberal Arts  
 Non-Profit Development Series – Gill Foundation  
 Workshops on grant writing and fundraising.

Seattle, WA  
 Centralia, WA  
 La Crosse, WI  
 WA/WI/MN

PROFESSIONAL ASSOCIATIONS

National Association of Professional Fundraisers, Active Member  
 Diversity Council of Rochester, Board Member  
 SE MN GLBT Services Center, Board Member  
 Ryan White Planning Council Member  
 Planning Committee for GMHS 2003 and LGBTI 2004/06  
 Seattle Community Center, Founding Board Member  
 Social Justice Liaison, Member

San Jose/Minneapolis, MN  
 Rochester, MN  
 Rochester, MN  
 Seattle, WA  
 Raleigh, NC  
 Seattle, WA  
 San Jose, CA

Community Organizing

Planning Committee for GMHS 2003 and LGBTI 2004/06  
 Chair, 1<sup>st</sup> GLBT Pride Weekend  
 Co-Chair – Latino Forum, Fundraising within the Catholic Diocese

Raleigh, NC  
 La Crosse, WI  
 San Jose, CA



**CITY OF CAPITOLA**  
 420 Capitola Avenue  
 Capitola, CA 95010  
 (831) 475-7300  
 FAX (831) 479-8879

**APPLICATIONS FOR APPOINTMENT FOR:**

**Capitola Alternate Representative on the  
 Advisory Council to the Area Agency on Aging of Santa  
 Cruz and San Benito Counties**

**NOTICE IS HEREBY GIVEN**, that the City of Capitola is seeking applications for its alternate representative on the Advisory Council to the Area Agency on Aging of Santa Cruz and San Benito Counties.

The Advisory Council usually meets on the third Wednesday of the month from 10 a.m. to 12 noon. Meeting locations vary, but most are in Aptos or Watsonville. Specific questions regarding duties or other information regarding the Area Agency on Aging can be directed to Clay Kempf at 688-0400, Ext. 115.

Upon review of the applications received, the Mayor will make an appointment at a future Regular Meeting of the City Council.

**Application Deadline: Ongoing until filled**

Applications may be obtained at Capitola City Hall, 420 Capitola Avenue, or by calling (831) 475-7300 and requesting an application be sent to you by calling (831)-475-7300.

I, Susan Sneddon, City Clerk of the City of Capitola, California, hereby certify that the above Notice was posted on February 10, 2016.

Dated: February 10, 2016

Susan Sneddon  
 City Clerk



## CAPITOLA CITY COUNCIL AGENDA REPORT

**MEETING OF JUNE 9, 2016**

FROM: City Manager Department

SUBJECT: Consider the May 26, 2016, Regular City Council Minutes

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RECOMMENDED ACTION: Approve Minutes.

DISCUSSION: Attached for City Council review and approval are the minutes of the subject meetings.

ATTACHMENTS:

1. Draft May 26, 2016, City Council Minutes

Report Prepared By: Susan Sneddon  
City Clerk

**Reviewed and Forwarded by:**

A handwritten signature in blue ink, appearing to be "JG", is written over a horizontal line.

Jamie Goldstein, City Manager

6/3/2016

**DRAFT CAPITOLA CITY COUNCIL  
REGULAR MEETING ACTION MINUTES  
THURSDAY, MAY 26, 2016**

**CLOSED SESSION – 6:00 PM  
CITY MANAGER’S OFFICE**

Mayor Bottorff called the meeting to order at 6:00 PM. He announced the item to be discussed in Closed Session, as follows:

**CONFERENCE WITH LEGAL COUNSEL - EXISTING LITIGATION [Govt. Code §54956.9(d)(1)]**

(Three cases)

1. Schroedel et al. v. the City of Capitola  
[Santa Cruz Superior Court Case No. CV 175684]
2. GTE Mobilenet of California Limited Partnership, a California limited partnership d/b/a/ Verizon Wireless v. City of Capitola  
[United States District Court Case No 16-CV-02495-PSG]
3. Friends of Monterey Park v. the City of Capitola  
[Santa Cruz Superior Court Case No. CV 16CV01091]

**LIABILITY CLAIMS [Govt. Code §54956.95]**

Claimant: Vaccine Choice Santa Cruz County  
Agency claimed against: City of Capitola

Mayor Bottorff noted that there was no one in the audience; therefore, the City Council recessed at 6:00 p.m. to the Closed Session

**REGULAR MEETING OF THE CAPITOLA CITY COUNCIL - 7:00 PM**

**1. ROLL CALL AND PLEDGE OF ALLEGIANCE**

Councilmember Dennis Norton: Present, Mayor Ed Bottorff: Present, Council Member Jacques Bertrand: Present, Vice Mayor Stephanie Harlan: Present, Council Member Michael Termini: Present.

City Treasurer McBroom was present.

**2. PRESENTATIONS**

**A. Meet Your Police Officers**

Police Chief Escalante introduced Parking Enforcement Officer Oscar Valdez and Senior Officer Leo Moreno.

Attachment: Draft May 26, 2016, City Council Minutes (1500 : Approval of City Council Minutes)

CAPITOLA CITY COUNCIL REGULAR MEETING MINUTES  
May 26, 2016

- B. Presentation of Appreciation Plaques to the City Council and the Police Department for Supporting Operation Surf

Laura Miller (Operation Surf representative) and Brent Edwards (Operation Surf Board Member) presented appreciation plaques to the City Council and the Police Department for Supporting Operation Surf.

**3. REPORT ON CLOSED SESSION**

City Attorney Condotti stated that the Council discussed the following two cases of existing litigation: (1) GTE Mobilenet of California Limited Partnership, a California limited partnership d/b/a/ Verizon Wireless v. City of Capitola; and (2) Friends of Monterey Park v. the City of Capitola. There was no reportable action. Council discussed Schroedel et al. v. the City of Capitola existing litigation. City Attorney Condotti stated that the City Council unanimously accepted the terms of the settlement agreement between Schroedel et. al. and the City of Capitola. In addition, the Vaccine Choice Santa Cruz County liability claim was discussed and is listed on the Council's regular meeting Consent Calendar this evening.

4. **ADDITIONAL MATERIALS** (None provided)
5. **ADDITIONS AND DELETIONS TO AGENDA** (None provided)

**6. PUBLIC COMMENTS**

Carol Lerno, former Pacific Cove Mobile Home Park resident, thanked the City Council and staff for arriving at a settlement between the City and Schroedel.

Marilyn Garrett, local resident, thanked the City Council for attempting to preserve the community's quality of life in relation to the Verizon cell tower appeal. She stated that she is opposed to microwave radiation.

**7. CITY COUNCIL / CITY TREASURER / STAFF COMMENTS**

Council Member Termini stated that the Red Cross will be conducting a blood drive at the Community Center on June 3<sup>rd</sup>. He stated that the Heroes Breakfast will be held on Friday, June 17<sup>th</sup> at the Twin Lakes Church in Aptos. He stated that the Santa Cruz County Business Council has reported an AT&T issue which removes AT&T's requirement to have simultaneous analogue and digital switching.

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<sup>1</sup> A motion to reconsider may be made only by certain members of the body. Accordingly, a motion to reconsider may be made only by a member who voted in the majority on the original motion. If such a member has a change of heart, he or she may make the motion to reconsider (any other member of the body — including a member who voted in the minority on the original motion — may second the motion)... If the motion to reconsider passes, then the original matter is back before the body, and a new

CAPITOLA CITY COUNCIL REGULAR MEETING MINUTES  
May 26, 2016

<b>RESULT:</b>	<b>APPROVED TO SUSPEND ROSENBERG'S RULE OF ORDER REGARDING THE MOTION TO RECONSIDER<sup>1</sup>;</b>
<b>MOVER:</b>	Michael Termini, Council Member
<b>SECONDER:</b>	Jacques Bertrand, Council Member
<b>AYES:</b>	Bottorff, Bertrand, Harlan, Norton, Termini

<b>RESULT:</b>	<b>APPROVED TO RECONSIDER AN ITEM AT THE JUNE 16, 2016, OR THE JUNE 23, 2016, CITY COUNCIL MEETING REGARDING AN APPEAL OF THE PLANNING COMMISSION DECISION TO APPROVE A WIRELESS TELECOMMUNICATIONS ANTENNA AT 1200 41<sup>ST</sup> AVENUE, CAPITOLA.</b>
<b>MOVER:</b>	Michael Termini, Council Member
<b>SECONDER:</b>	Jacques Bertrand, Council Member
<b>AYES:</b>	Bottorff, Bertrand, Harlan, Norton, Termini

Council Member Bertrand stated that he attended the following:

- City's May 17<sup>th</sup> Finance Advisory Committee meeting
- League of Women Voters of Santa Cruz County Forum
- Attending breakfast meeting with two trustees from the Soquel Union Elementary School District
- City's Volunteer dinner on May 24<sup>th</sup>
- Santa Cruz County Children's Network meeting

Council Member Harlan stated that the Capitola Rod & Custom Classic Car Show will be held in the Village on June 4<sup>th</sup> and 5<sup>th</sup>. The City's Historical Museum will have a 60's pop-up display at the classic car show on June 5<sup>th</sup>.

City Manager Goldstein stated that KION News highlighted Capitola in the evening broadcast. He provided an update regarding the beach grading; the grand opening and dedication of the Monte Family Skateboard Park on June 4<sup>th</sup> at 11 a.m.

Public Works Director Jesberg provided an update regarding various Capital Improvement Program projects.

## 8. REPORT FROM CITY REPRESENTATIVES TO REGIONAL BOARDS / COMMISSIONS

Mayor Bottorff, as the City's representative on the Santa Cruz Metropolitan Transit District Board (Metro), stated that Metro public meetings are being held with an attempt to resolve their 6.5 million structural deficit. In addition, he stated that as the City's representative on the FAA (Federal Aviation Administration) Select Subcommittee on South Bay Arrivals, he attended a public meeting and two more public hearings are scheduled.

## 9. CONSENT CALENDAR

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original motion is in order. The matter may be discussed and debated as if it were on the floor for the first time.

CAPITOLA CITY COUNCIL REGULAR MEETING MINUTES  
May 26, 2016

<b>RESULT:</b>	<b>ADOPTED ITEMS 9.A., 9.B., 9.C., 9.D., 9.E., 9.F., AND 9.G. [UNANIMOUS]</b>
<b>MOVER:</b>	Michael Termini, Council Member
<b>SECONDER:</b>	Stephanie Harlan, Vice Mayor
<b>AYES:</b>	Norton, Bottorff, Bertrand, Harlan, Termini

- A. Consider the May 12, 2016, Regular City Council Minutes  
RECOMMENDED ACTION: Approve Minutes.
- B. Approval of City Check Registers dated April 1, April 8, April 15, April 22 and April 29, 2016 [300-10]  
RECOMMENDED ACTION: Approve Check Register Reports.
- C. Deny Liability Claim and Forward to the City's Liability Insurance Carrier [Claims Binder]  
RECOMMENDED ACTION: Deny liability claim.
- D. Adoption of ***Resolution No. 4049*** – a Resolution of Intention to Levy Business Improvement Assessments for Fiscal Year 2016-2017, Which Receives the Capitola Village and Wharf Business Improvement Area Annual Report and the Proposed Fiscal Year 2016-2017 Budget; Sets a Public Hearing to Receive Oral or Written Protests on the Levy of Assessments for Fiscal Year 2016-2017 for Thursday, June 16, 2016; and Directs Required Noticing of the Public Hearing by the City Clerk and the Capitola Village and Wharf Business Improvement Area[140-05]  
RECOMMENDED ACTION: Adopt Resolution.
- E. Authorize the City to Surplus Four City Vehicles and One Coin Change Machine [370-10]  
RECOMMENDED ACTION: Approve the declaration of four vehicles and one change machine as surplus property and direct the Public Works Department to sell or dispose of the property.
- F. Consider extending the Wharf House Restaurant Lease [280-25/500-10 AC: Case, Willie]  
RECOMMENDED ACTION: Approve the lease extension.
- G. Set Public Hearing Date to Consider an Appeal of the Community Development Director's Determination Related to a Residential Remodel Project Located at 519 Oak Drive [730-10]  
RECOMMENDED ACTION: Set a Public Hearing Date for June 9, 2016.

**10. GENERAL GOVERNMENT / PUBLIC HEARINGS**

- A. Consider Adopting an Administrative Policy Regarding City Proclamations [100-10]  
RECOMMENDED ACTION: Adopt the Administrative Policy.

City Clerk Sneddon provided the report for this item. She stated that the proposed Administration Policy includes two types of proclamations: (1) Type I proclamations

CAPITOLA CITY COUNCIL REGULAR MEETING MINUTES  
May 26, 2016

would give recognition to local individuals/organizations or recognize local regular and special events; and (2) Type II proclamations are more routine in nature and are for regional or statewide events/recognitions that would be issued administratively and would generally not be read at a City Council meeting.

Council Member Termini suggested adding flexibility to the Administrative Policy regarding Type II proclamations so that if a group/individual wants to promote an organization and be present at a Council meeting for the reading of a proclamation.

City Manager Goldstein stated that staff will add flexibility into the Administrative Policy so that the Mayor and City Manager can make the determination if Type II proclamations should be read at a Council meeting.

<b>RESULT:</b>	<b>ADOPTED WITH THE ADDITION OF TYPE II PROCLAMATIONS BEING READ AT A COUNCIL MEETING IF DIRECTED BY THE CITY MANAGER AND THE MAYOR [UNANIMOUS]</b>
<b>MOVER:</b>	Michael Termini, Council Member
<b>SECONDER:</b>	Stephanie Harlan, Vice Mayor
<b>AYES:</b>	Norton, Bottorff, Bertrand, Harlan, Termini

11. **ADJOURNMENT**

The meeting adjourned at 7:45 p.m.

\_\_\_\_\_  
Ed Bottorff, Mayor

ATTEST:

\_\_\_\_\_,CMC  
Susan Sneddon, City Clerk

Attachment: Draft May 26, 2016, City Council Minutes (1500 : Approval of City Council Minutes)





# CAPITOLA CITY COUNCIL AGENDA REPORT

**MEETING OF JUNE 9, 2016**

FROM: Community Development

SUBJECT: Receive Planning Commission Action Minutes for the Regular Meeting of June 2, 2016

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RECOMMENDED ACTION: Receive Minutes.

ATTACHMENTS:

1. Planning Commission Action Minutes of June 2, 2016

Report Prepared By: Linda Fridy  
Planning Commission Minutes Clerk

**Reviewed and Forwarded by:**



**ACTION MINUTES  
CAPITOLA PLANNING COMMISSION MEETING  
THURSDAY, JUNE 2, 2016  
7 P.M. – CAPITOLA CITY COUNCIL CHAMBERS**

**1. ROLL CALL AND PLEDGE OF ALLEGIANCE**

Commissioner Linda Smith: Present, Commissioner Gayle Ortiz: Present, Commissioner Edward Newman: Present, Chairperson TJ Welch: Present, Commissioner Susan Westman: Present.

**2. ORAL COMMUNICATIONS**

**A. Additions and Deletions to Agenda**

**B. Public Comments**

**C. Commission Comments**

**D. Staff Comments**

**3. APPROVAL OF MINUTES**

**A. Planning Commission Minutes for the Regular Meeting of May 5, 2016**

<b>RESULT:</b>	<b>ACCEPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Gayle Ortiz, Commissioner
<b>SECONDER:</b>	Edward Newman, Commissioner
<b>AYES:</b>	Smith, Ortiz, Newman, Welch, Westman

**4. CONSENT CALENDAR – NO ITEMS**

**5. PUBLIC HEARINGS**

**A. 503 Capitola Avenue #16-008 APN: 035-093-12**

Design Permit to remodel the existing commercial space and build two new residential units above, and a Variance request to allow architectural features to encroach into the side and rear yard setbacks located in the CN (Neighborhood Commercial) Zoning District.

This project is in the Coastal Zone and requires a Coastal Development Permit, which is not appealable to the California Coastal Commission.

Environmental Determination: Categorical Exemption

Property Owner: Vincente Valente

Representative: Matson & Britton Architects, filed: 1/19/16

MOTION: Approve a Design Permit, Coastal Development Permit and Variance for existing non-conforming commercial space.

<b>RESULT:</b>	<b>APPROVED [3 TO 0]</b>
<b>MOVER:</b>	Edward Newman, Commissioner
<b>SECONDER:</b>	Linda Smith, Commissioner
<b>AYES:</b>	Smith, Newman, Welch
<b>RECUSED:</b>	Ortiz, Westman

**B. 1890 Wharf Road #16-043 APN: 035-031-35**

Variance request and Major Revocable Encroachment Permit to extend an existing non-conforming roof overhang two feet further into the Wharf Road public right-of-way area and a Fence Permit height exception to allow for a six-foot tall fence in the public right-of-way, located in the AR/R-1 (Automatic Review / Single-Family Residential) Zoning District.

This project is in the Coastal Zone and requires a Coastal Development Permit, which is appealable to the California Coastal Commission.

Environmental Determination: Categorical Exemption

Property Owner: James P. DeMangos

Representative: James P. DeMangos, filed: 3/17/16

MOTION: Approve a Variance, Coastal Development Permit, Major Revocable Encroachment Permit and Fence Height Exception.

<b>RESULT:</b>	<b>APPROVED [4 TO 0]</b>
<b>MOVER:</b>	Linda Smith, Commissioner
<b>SECONDER:</b>	Susan Westman, Commissioner
<b>AYES:</b>	Smith, Newman, Welch, Westman
<b>RECUSED:</b>	Ortiz

**C. 201 Esplanade #16-095 APN: 035-211-05**

Sign Permit and Design Permit application for two new awning signs on the front of the building and two new awning signs on the rear of the building for Rocks of Petra restaurant located in the CV (Central Village) Zoning District.

This project is in the Coastal Zone but is exempt from a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: Xavier Sanchez

Representative: Amjad Al Asad, filed: 5/6/16

MOTION: Approve a Sign Permit and Design Permit for two awning signs on the front of the building and deny the two awning signs at the back.

<b>RESULT:</b>	<b>APPROVED AS AMENDED [UNANIMOUS]</b>
<b>MOVER:</b>	Gayle Ortiz, Commissioner
<b>SECONDER:</b>	Susan Westman, Commissioner
<b>AYES:</b>	Smith, Ortiz, Newman, Welch, Westman

**D. 231 Esplanade #15-198 APN: 035-211-01**

Design Permit and Conditional Use Permit for the installation of a new Verizon wireless antenna and ancillary equipment on the roof of 231 Esplanade, a mixed-use building in the CV (Central Village) Zoning District.

This project is located in the Coastal Zone and requires a Coastal Development Permit, which is appealable to the California Coastal Commission.

Environmental Determination: Categorical Exemption

Property Owner: Steve Yates

Representative: Jay Gruendle, filed 12/16/15

MOTION: Approve a Design Permit, Conditional Use Permit and Coastal Development Permit.

<b>RESULT:</b>	<b>APPROVED AS AMENDED [UNANIMOUS]</b>
<b>MOVER:</b>	Linda Smith, Commissioner
<b>SECONDER:</b>	Susan Westman, Commissioner
<b>AYES:</b>	Smith, Ortiz, Newman, Welch, Westman

**6. ADJOURNMENT**



## CAPITOLA CITY COUNCIL AGENDA REPORT

**MEETING OF JUNE 9, 2016**

FROM: City Manager Department

SUBJECT: Deny Liability Claim of Sandra Wallace in the Amount of \$3,468.49

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RECOMMENDED ACTION: Deny liability claim.

DISCUSSION: The following claimant has filed a liability claim against the City of Capitola:

1. Sandra Wallace: \$3,468.49

Report Prepared By: Liz Nichols  
Executive Assistant to the City Manager

**Reviewed and Forwarded by:**

A handwritten signature in blue ink, appearing to be "JG", is written over a horizontal line.

Jamie Goldstein, City Manager

6/3/2016



## CAPITOLA CITY COUNCIL AGENDA REPORT

**MEETING OF JUNE 9, 2016**

FROM: Community Development

SUBJECT: Contract Amendment with Strelow Consulting for the Monterey Avenue Skate Park Application

**RECOMMENDED ACTION:** Authorize the City Manager to sign a Contract Amendment in the amount of \$4,800 with Strelow Consulting.

**BACKGROUND:** The City Council authorized two residents to submit permit applications to develop an approximately 6,000 square-foot skate park in Monterey Park on February 11, 2015. On May 14, 2015, staff executed a contract with Strelow Consulting to prepare an Environmental Impact Report (EIR) pursuant to the California Environmental Quality Act (CEQA).

A Draft EIR for the proposed Monterey Avenue Skate Park was completed by Strelow Consulting in November 2015, and circulated for a 52-day public review and comment period. A Final EIR was subsequently completed to incorporate public comments, staff responses, and final revisions. The Planning Commission approved the project and certified the Final EIR at their March 31, 2016 hearing; however, the project and EIR certification have since been appealed to the City Council.

**DISCUSSION:** At their March 31, 2016 hearing, the Planning Commission approved a relocated skate park as described by Alternative 1 of the EIR, which shifts the facility closer to the street to improve visibility, public safety, and to reduce noise impacts. Accordingly, the applicants have developed two design options which respond to the Planning Commission's direction. The first would be to move the skate park immediately adjacent to the existing parking lot. The second would shift the facility north along the school district property line to an area presently occupied by eucalyptus trees.

Under this contract, Strelow Consulting will further evaluate the two design options for consistency with Alternative 1 from the original EIR. The additional work is outside the original contract scope of work; therefore a contract amendment is required.

The proposed contract amendment is for an additional \$4,800 which would raise the overall contract value to \$29,700. The contract is funded entirely through the applicant's developer deposit account.

**FISCAL IMPACT:** None. The contract is funded entirely through the applicant's developer deposit account.

Contract Amendment for Strelow Consulting  
June 9, 2016

ATTACHMENTS:

1. Strelow Contract Amendment

Report Prepared By: Rich Grunow  
Community Development Director

**Reviewed and Forwarded by:**



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Jamie Goldstein, City Manager

6/3/2016

1<sup>st</sup> AMENDMENT TO THE  
PROFESSIONAL SERVICES AGREEMENT

between

CITY OF CAPITOLA AND STRELOW CONSULTING

The City of Capitola and Strelow Consulting, hereby agree to the following Amendment to the Contract dated May 14, 2015:

- 1) Increase the contract value from \$24,900 to \$29,700 to revise the Environmental Impact Report for the Monterey Avenue Skate Park to evaluate alternative skate park locations pursuant to Alternative #1.

All other terms and conditions of the Professional Services Agreement remain in full force and effect.

**CONSULTANT:** Strelow Consulting

By: Stephanie Strelow Date: 5-27-16

**CITY OF CAPITOLA**

By: \_\_\_\_\_ Date: \_\_\_\_\_  
Benjamin Goldstein, City Manager

APPROVED AS TO FORM:

\_\_\_\_\_ Date: \_\_\_\_\_  
Tony Condotti, City Attorney

Attachment: Strelow Contract Amendment (1483 : Contract Amendment for Strelow Consulting)



TO: Rich Grunow, Community Development Director  
FROM: Stephanie Strelow  
RE: Monterey Avenue Skate Park EIR Revisions  
DATE: May 26, 2016

As a follow-up to our recent discussions, this letter provides a cost estimate for additional services requested by the City on the Monterey Avenue Skate Park as follows.

1. Consult with City staff regarding conceptual site plan layouts developed for EIR Alternative 1 and review plans and potential impacts. It is my understanding that two site plan layouts are being prepared with additional analysis for each undertaken by the City's noise consultant. The noise evaluation will be reviewed.
2. Prepare revisions to the Final EIR, consisting of review and assessment of two concept skate park layouts under EIR Alternative 1. The revision will be included with the Final EIR as an expanded discussion of Alternative 1 presented in the Draft EIR. Potential impacts will be addressed for each of the two conceptual layouts. The City Council must act on re-certification of the EIR in response to appeals on the Planning Commission's decision.
3. Review comments on the EIR that were received after the Planning Commission meeting and consult with City staff regarding responses.
4. Attend the City Council meeting in which the additional analysis as part of the Final EIR will be considered.

The cost for the additional requested work is up to \$4,800; invoices would be submitted only for actual time spent. The requested work was not included in our original scope of work.

**CITY OF CAPITOLA  
PROFESSIONAL SERVICES AGREEMENT**  
Preparation of an Environmental Impact Report  
for the  
Proposed Monterey Park Skate Park  
Strelow Consulting

THIS AGREEMENT is entered into on May 14, 2015, by and between the City of Capitola, a Municipal Corporation, hereinafter called "City" and Strelow Consulting, hereinafter called "Consultant".

WHEREAS, City desires certain services described in Appendix One and Consultant is capable of providing and desires to provide these services;

NOW, THEREFORE, City and Consultant for the consideration and upon the terms and conditions hereinafter specified agree as follows:

**SECTION 1  
Scope of Services**

The services to be performed under this Agreement are set forth in Appendix One.

**SECTION 2  
Duties of Consultant**

All work performed by Consultant, or under its direction, shall be sufficient to satisfy the City's objectives for entering into this Agreement and shall be rendered in accordance with the generally accepted practices, and to the standards of, Consultant's profession.

Consultant shall not undertake any work beyond the scope of work set forth in Appendix One unless such additional work is approved in advance and in writing by City. The cost of such additional work shall be reimbursed to Consultant by City on the same basis as provided for in Section 4.

If, in the prosecution of the work, it is necessary to conduct field operations, security and safety of the job site will be the Consultant's responsibility excluding, nevertheless, the security and safety of any facility of City within the job site which is not under the Consultant's control.

Consultant shall meet with the Community Development Director, called "Director," or other City personnel, or third parties as necessary, on all matters connected with carrying out of Consultant's services described in Appendix One. Such meetings shall be held at the request of either party hereto. Review and City approval of completed work shall be obtained monthly, or at such intervals as may be mutually agreed upon, during the course of this work.

**SECTION 3  
Duties of the City**

City shall make available to Consultant all data and information in the City's possession which City deems necessary to the preparation and execution of the work, and City shall actively aid and assist Consultant in obtaining such information from other agencies and individuals as necessary.

The Director may authorize a staff person to serve as his or her representative for conferring with Consultant relative to Consultant's services. The work in progress hereunder shall be reviewed from time to time by City at the discretion of City or upon the request of Consultant. If the work is satisfactory, it will

Attachment: Strelow Contract Amendment (1483 : Contract Amendment for Strelow Consulting)

be approved. If the work is not satisfactory, City will inform Consultant of the changes or revisions necessary to secure approval.

#### SECTION 4 **Fees and Payment**

Payment for the Consultant's services shall be made upon a schedule and within the limit, or limits shown, upon Appendix Two. Such payment shall be considered the full compensation for all personnel, materials, supplies, and equipment used by Consultant in carrying out the work. If Consultant is compensated on an hourly basis, Consultant shall track the number of hours Consultant, and each of Consultant's employees, has worked under this Agreement during each fiscal year (July 1 through June 30) and Consultant shall immediately notify City when the number of hours worked during any fiscal year by any of Consultant's employees reaches 900 hours. In addition each invoice submitted by Consultant to City shall specify the number of hours to date Consultant, and each of Consultant's employees, has worked under this Agreement during the current fiscal year.

#### SECTION 5 **Changes in Work**

City may order major changes in scope or character of the work, either decreasing or increasing the scope of Consultant's services. No changes in the Scope of Work as described in Appendix One shall be made without the City's written approval. Any change requiring compensation in excess of the sum specified in Appendix Two shall be approved in advance in writing by the City.

#### SECTION 6 **Time of Beginning and Schedule for Completion**

This Agreement will become effective when signed by both parties and will terminate on the earlier of:

- The date Consultant completes the services required by this Agreement, as agreed by the City; or
- The date either party terminates the Agreement as provided below.

Work shall begin on or about May 18, 2015.

In the event that major changes are ordered or Consultant is delayed in performance of its services by circumstances beyond its control, the City will grant Consultant a reasonable adjustment in the schedule for completion provided that to do so would not frustrate the City's objective for entering into this Agreement. Consultant must submit all claims for adjustments to City within thirty calendar days of the time of occurrence of circumstances necessitating the adjustment.

#### SECTION 7 **Termination**

City shall have the right to terminate this Agreement at any time upon giving ten days written notice to Consultant. Consultant may terminate this Agreement upon written notice to City should the City fail to fulfill its duties as set forth in this Agreement. In the event of termination, City shall pay the Consultant for all services performed and accepted under this Agreement up to the date of termination.

## SECTION 8 Insurance

Consultant shall procure and maintain for the duration of the contract insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the work hereunder by the Consultant, his agents, representatives, or employees.

### ***Minimum Scope of Insurance***

Coverage shall be at least as broad as:

1. Insurance Services Office Commercial Liability coverage (Occurrence Form CG 0001).
2. Workers' Compensation insurance as required by the State of California.
3. Errors and Omissions Liability insurance appropriate to the consultant's profession. Architects' and engineers' coverage shall include contractual liability.

### ***Minimum Limits of Insurance***

Consultant shall maintain limits no less than:

- |  |  |
|--|--|
| 1. General Liability:<br>(including operations,<br>products and completed<br>operations) | <b>\$1,000,000</b> per occurrence and \$2,000,000 in<br>aggregate (including operations, for bodily injury,<br>personal and property damage. |
| 2. Errors and Omissions<br>Liability:<br>Limits  | <b>\$1,000,000</b> per claim and in the aggregate.   |

### ***Other Insurance Provisions***

The commercial general liability and automobile liability policies are to contain, or be endorsed to contain, the following provisions:

1. The City of Capitola, its officers, officials, employees and volunteers are to be covered as additional insured's as respects: liability arising out of work or operations performed by or on behalf of the Consultant or automobiles owned, leased, hired or borrowed by the Consultant.
2. For any claims related to this project, the Consultant's insurance coverage shall be primary insurance as respects the City, its officers, officials, employees and volunteers. Any insurance or self-insurance maintained by the City, its officers, officials, employees or volunteers shall be excess of the Consultant's insurance and shall not contribute with it.
3. Each insurance policy required by this clause shall be endorsed to state that coverage shall not be canceled by either party, except after thirty (30) days' prior written notice by certified mail, returned receipt requested, has been given to the City.

4. Coverage shall not extend to any indemnity coverage for the active negligence of the additional insured in any case where an agreement to indemnify the additional insured would be invalid under Subdivision (b) of Section 2782 of the Civil Code.

### ***Acceptability of Insurers***

Insurance is to be placed with insurers with a current A.M. Best's rating of no less than A:VII, unless otherwise acceptable to the City.

### ***Verification of Coverage***

Consultant shall furnish the City with original certificates and amendatory endorsements affecting coverage by this clause. The endorsements should be on forms provided by the City or on other than the City's forms provided those endorsements conform to City requirements. All certificates and endorsements are to be received and approved by the City before work commences. The City reserves the right to require complete, certified copies of all required insurance policies, including endorsements affecting the coverage required by these specifications at any time.

## **SECTION 9 Indemnification**

Consultant and City agree to indemnify one another and hold harmless the other's officers, agents and employees, from and against any and all claims, demands, actions, damages, or judgments, including reasonable associated costs of defense to the extent caused by their negligence or intentional misconduct in the performance of this Agreement.

## **SECTION 10 Civil Rights Compliance/Equal Opportunity Assurance**

Every supplier of materials and services and all consultants doing business with the City of Capitola shall be in compliance with the applicable provisions of the Americans with Disabilities Act of 1990, and shall be an equal opportunity employer as defined by Title VII of the Civil Rights Act of 1964 and including the California Fair Employment and Housing Act of 1980. As such, consultant shall not discriminate against any person on the basis of race, religious creed, color, national origin, ancestry, disability, medical condition, marital status, age or sex with respect to hiring, application for employment, tenure or terms and conditions of employment. Consultant agrees to abide by all of the foregoing statutes and regulations.

## **SECTION 11 Legal Action/Attorneys' Fees**

If any action at law or in equity is brought to enforce or interpret the provisions of this Agreement, the prevailing party shall be entitled to reasonable attorney's fees in addition to any other relief to which he or she may be entitled. The laws of the State of California shall govern all matters relating to the validity, interpretation, and effect of this Agreement and any authorized or alleged changes, the performance of any of its terms, as well as the rights and obligations of Consultant and the City.

## SECTION 12 Assignment

This Agreement shall not be assigned without first obtaining the express written consent of the Director after approval of the City Council.

## SECTION 13 Amendments

This Agreement may not be amended in any respect except by way of a written instrument which expressly references and identifies this particular Agreement, which expressly states that its purpose is to amend this particular Agreement, and which is duly executed by the City and Consultant. Consultant acknowledges that no such amendment shall be effective until approved and authorized by the City Council, or an officer of the City when the City Council may from time to time empower an officer of the City to approve and authorize such amendments. No representative of the City is authorized to obligate the City to pay the cost or value of services beyond the scope of services set forth in Appendix Two. Such authority is retained solely by the City Council. Unless expressly authorized by the City Council, Consultant's compensation shall be limited to that set forth in Appendix Two.

## SECTION 14 Miscellaneous Provisions

1. *Project Manager.* Director reserves the right to approve the project manager assigned by Consultant to said work. No change in assignment may occur without prior written approval of the City.
2. *Consultant Service.* Consultant is employed to render professional services only and any payments made to Consultant are compensation solely for such professional services.
3. *Licensure.* Consultant warrants that he or she has complied with any and all applicable governmental licensing requirements.
4. *Other Agreements.* This Agreement supersedes any and all other agreements, either oral or in writing, between the parties hereto with respect to the subject matter, and no other agreement, statement or promise related to the subject matter of this Agreement which is not contained in this Agreement shall be valid or binding.
5. *City Property.* Upon payment for the work performed, or portion thereof, all drawings, specifications, records, or other documents generated by Consultant pursuant to this Agreement are, and shall remain, the property of the City whether the project for which they are made is executed or not. The Consultant shall be permitted to retain copies, including reproducible copies, of drawings and specifications for information and reference in connection with the City's use and/or occupancy of the project. The drawings, specifications, records, documents, and Consultant's other work product shall not be used by the Consultant on other projects, except by agreement in writing and with appropriate compensation to the City.
6. *Consultant's Records.* Consultant shall maintain accurate accounting records and other written documentation pertaining to the costs incurred for this project. Such records and documentation shall be kept available at Consultant's office during the period of this Agreement, and after the term of this Agreement for a period of three years from the date of the final City payment for Consultant's services.


7. *Independent Contractor.* In the performance of its work, it is expressly understood that Consultant, including Consultant's agents, servants, employees, and subcontractors, is an independent contractor solely responsible for its acts and omissions, and Consultant shall not be considered an employee of the City for any purpose.


8. *Conflicts of Interest.* Consultant stipulates that corporately or individually, its firm, its employees and subcontractors have no financial interest in either the success or failure of any project which is, or may be, dependent on the results of the Consultant's work product prepared pursuant to this Agreement.

9. *Notices.* All notices herein provided to be given, or which may be given by either party to the other, shall be deemed to have been fully given and fully received when made in writing and deposited in the United States mail, certified and postage prepaid, and addressed to the respective parties as follows:

CITY  
CITY OF CAPITOLA  
420 Capitola Avenue  
Capitola, CA 95010  
831-475-7300

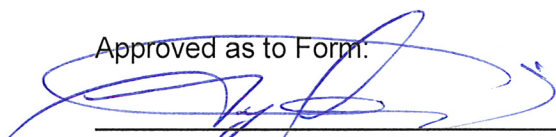
CONSULTANT  
Strelow Consulting  
PO Box 51945  
Pacific Grove, CA 93950  
831-425-6523

By:   
Benjamin Goldstein, City Manager

By:   
Stephanie Strelow

Dated: 5/22/15

Dated: 5-15-15

Approved as to Form:  
  
Anthony Condotti, City Counsel

Attachment: Strelow Contract Amendment (1483 : Contract Amendment for Strelow Consulting)

## APPENDIX ONE Scope of Services

The Consultant shall prepare a legally defensible Environmental Impact Report (pursuant to Public Resources Code 21000 et seq. and State CEQA Guidelines §15000 et seq.) for the proposed Monterey Park Skate Park project. Environmental technical studies necessary to support the EIR shall be prepared under separate contract. The consultant shall complete the scope of work as outlined in the March 13, 2015 proposal attached as appendix three.



## APPENDIX TWO Fees and Payments

For the services performed, City will pay consultant on a not-to-exceed, lump sum basis upon satisfactory completion of the services and delivery of work products. Payments will be issued monthly as charges accrue, the sum of consultant's salary expenses and non-salary expenses.

Consultant hereby represents and warrants, based upon Consultant's independent determination of the time and labor, including overtime, which will be required to perform said services, that Consultant will provide all said services at a cost which will not exceed the maximum price set forth in this agreement for Consultant's services. Consultant hereby assumes the risk that Consultant will perform said services within this maximum price constraint and Consultant acknowledges that its inability to do so shall not excuse completion of the services and shall not provide a basis for additional compensation.

Salary expenses include the actual direct pay of personnel assigned to the project (except for routine secretarial and account services) plus payroll taxes, insurance, sick leave, holidays, vacation, and other fringe benefits. The percentage of compensation attributable to salary expenses includes all of Consultant's indirect overhead costs and fees. For purposes of this Agreement, Consultant's salary expenses and non-salary expenses will be compensated at the rates set forth in the fee schedule attached to this appendix and in accordance with the terms set forth therein. Non-salary expenses include travel, meals and lodging while traveling, materials other than normal office supplies, reproduction and printing costs, equipment rental, computer services, service of subconsultants or subcontractors, and other identifiable job expenses. The use of Consultant's vehicles for travel shall be paid at the current Internal Revenue Service published mileage rate.

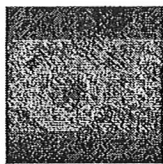
Salary payment for personnel time will be made at the rates set forth in the attached fee schedule for all time charged to the project. Normal payroll rates are for 40 hours per week. Consultant shall not charge the City for personnel overtime salary at rates higher than those set forth in the attached fee schedule without the City's prior written authorization.

In no event shall the total fee charged for the scope of work set forth in Appendix One exceed the total budget of \$24,900 (Twenty-Four Thousand Nine Hundred Dollars and Zero Cents), without specific, written advance authorization from the City.

Payments shall be made monthly by the City, based on itemized invoices from the Consultant which list actual costs and expenses. Such payments shall be for the invoice amount. The monthly statements shall contain the following affidavit signed by a principal of the Consultant's firm:

"I hereby certify as principal of the firm of \_\_\_\_\_, that the charge of \$\_\_\_\_\_ as summarized above and shown in detail on the attachments is fair and reasonable, is in accordance with the terms of the Agreement dated \_\_\_\_\_, \_\_, and has not been previously paid."

## Appendix 3



## STRELOW CONSULTING

Environmental Planning &amp; Analysis

March 13, 2015

Rich Grunow, Community Development Director  
 City of Capitola  
 420 Capitola Avenue  
 Capitola, CA 95010

RE: Skateboard Park EIR Proposal

Dear Rich,

I am pleased to submit a proposal to prepare an EIR for a proposed skateboard park in the City of Capitola. The proposal consists of construction of an approximate 6,000-square foot skateboard park at the existing neighborhood park located on Monterey Avenue. It is my understanding that the City would like to prepare an EIR with a focus on noise and other potential significant impacts. The following proposal is organized as follows:

- Work Plan and Scope of Work
- Schedule
- Cost Estimate
- Qualifications

## WORK PLAN & EIR SCOPE OF WORK

**TASK 1. Project Coordination-Management, Meetings, & Data Review.** A start-up meeting with City staff will be held to further discuss project issues, the work plan and scope of work. A site visit will be conducted with City staff to review features of the proposed facility. Four meetings with City staff are included to discuss project and/or CEQA issues throughout the process as may be needed. It is also assumed that the start-up meeting/call will be held with the noise consultant in order to review details of the noise study scope of work and coordination with the CEQA process. Contact with the City's traffic consultant in conjunction with City staff if needed.

P.O. Box 2896  
 Santa Cruz, CA 95063-2896

steph@strelowconsulting.com  
 Phone: 831-425-6523

Attachment: Strelow Contract Amendment (1483 : Contract Amendment for Strelow Consulting)

**TASK 2. Initial Study and EIR Notice of Preparation and Scoping.** A draft Initial Study will be prepared that will be used to identify issues to be addressed in the EIR, and to identify topics for which there would be no impact or a less-than-significant impact. The intent is to eliminate issues from the EIR analysis for which there are clearly no impacts or less-than-significant impacts, and thus focus the EIR analyses on potentially significant impacts. This approach would best satisfy the requirements of State CEQA Guidelines section 15128 in which effects not found to be significant must be explained in the EIR or in an Initial Study. It is expected that the City's General Plan EIR and other existing documents will be utilized for the Initial Study.

A Notice of Preparation (NOP) will be drafted. The draft Initial Study and NOP will be finalized based on comments/changes provided by City staff.

Twenty-five hard copies and an electronic version of the NOP and Initial Study will be submitted to the Community Development Department for distribution. The proposal assumes that City staff will distribute the NOP, which will include the Initial Study as an attachment. A recommended mailing list will be submitted to staff. The NOP need not be circulated to the State Clearinghouse unless there are any state responsible agencies or state agencies with review or approval process over the project.

A scoping meeting is not required, and but it is my understanding that the City would like to hold a scoping meeting, Attendance at, and assistance with conducting, one public scoping session is included. It is anticipated that the scoping meeting will be held during the NOP period. Slides related to the environmental review process and EIR will be provided to City staff for inclusion in the City's Power Point presentation. The EIR Scope of Work will be revised if needed, based upon written comments received during the NOP period and oral comments received at the scoping meeting.

**TASK 3. Prepare Administrative Draft EIR (ADEIR).** Preparation of and Administrative Draft EIR (ADEIR) will commence during the NOP 30-day review period. A clear and concise ADEIR will be prepared in accordance with State CEQA Guidelines. The emphasis will be on thorough documentation of existing conditions, careful identification of probable impacts, and presentation of realistic and feasible mitigation measures for any identified significant impacts. The EIR will clearly identify criteria for determining impact significance for each topic addressed. Pre- and post-mitigation level of significance will be identified for each impact.

Five hard copies of the ADEIR and one electronic version will be provided to the City Community Development Department for internal review and distribution to other City departments. The ADEIR is intended for City review prior to public distribution.

Based on preliminary discussions with City staff, it appears that the EIR will be focused on the topics outline below. It is my understanding that technical noise and traffic reports are or will be prepared under direct contract to the City, and the cost for these studies is not included. An archaeological report may or may not be required depending on whether the site is mapped in a sensitive archaeological area and other City regulations and procedures.

- ❑ Aesthetics – Potential effects on the surrounding visual character will be assessed in accordance with CEQA Guidelines.
- ❑ Noise – A noise study will be prepared for the City which will be utilized in the impact analyses regarding noise impacts in the surrounding area. It is anticipated that the EIR will be prepared in consultation with the City’s noise consultant.
- ❑ Land Use. The review will focus on policies adopted for purpose of mitigating an environmental impact per Appendix G of the State CEQA Guidelines and will include relevant policies in the City’s General Plan and Local Coastal Program.

The EIR will consider up to two alternatives in addition to the required “No Project” Alternative. The alternatives will be developed in consultation with City staff based on the outcome of the impact analyses. The development of the alternatives will be driven by the State CEQA directives to avoid or lessen significant impacts while reasonably attaining project objectives. Pursuant to State CEQA Guidelines, the EIR will include the following sections: Summary of Impacts and Mitigation Measures, Unavoidable Adverse Impacts, and Cumulative Impacts.

**TASK 4. Prepare Draft EIR (DEIR).** Upon review by City staff, the ADEIR will be revised in accordance with staff comments. The proposal assumes that Community Development Department staff will collate all City staff comments and revisions into one document, and that staff revisions will not require substantial editing based on experience with other CEQA documents prepared for Capitola. The Draft EIR (DEIR) will be submitted to the City for final review as a “screencheck” document prior to printing of the public review DEIR if requested.

Forty hard copies of the DEIR and 25 CDs will be provided to the City for public distribution. The document will also be provided in PDF format suitable for inclusion on the City’s website. The task includes preparation of the Notice of Completion/Availability and transmittal forms. The proposal assumes that the City will distribute the DEIR.

**TASK 5. Prepare Final EIR (FEIR).** Comments received on the DEIR will be reviewed with City staff, and a Final EIR (FEIR) will be prepared. The FEIR will be prepared to include responses to all written comments, a section identifying revisions that are made to the DEIR in response to comments, and a mitigation monitoring and reporting program (MMRP) if mitigation measures have been developed for any identified significant impacts. The Summary of Impacts section will be included as well. The FEIR will not include reprinting of the DEIR. Given some known controversy regarding the project, up to 24 hours are budgeted for response to comments. The cost estimate may require revision if a substantial number of comments are received.

The Draft FEIR (DFEIR) will be submitted to the City for final review as a “screencheck” document prior to printing of the FEIR if requested. The Final EIR will be submitted to the Community Development Department for distribution. Thirty hard copies of the Final EIR and 15 CDs will be submitted to the Planning Department for distribution. This proposal assumes that distribution of the FEIR will be conducted by City staff.

**TASK 6. Prepare Findings & Attend Public Hearings.** The scope of work includes assistance with preparation of draft CEQA resolutions and CEQA Findings. Attendance at up to two public hearings is included in the cost. This proposal assumes that distribution of the FEIR and filing of the Notice of Determination will be conducted by City staff.

 **SCHEDULE**

This proposal anticipates that the Tasks 1 through 3 can be completed within 6-9 weeks upon receipt of authorization to proceed and assuming that the technical noise report and traffic study can be completed within this timeframe. The schedule will be further reviewed and modified as needed based on the meetings with City staff conducted under Task 1 and outcome of the scoping process. The schedule assumes timely receipt of project information and studies provided by the applicant, as well as timely review of administrative draft documents by City staff.

 **COST ESTIMATE**

The following cost estimate reflects my understanding of the project scope and environmental issues known at this time. Invoices will be submitted only for actual time and expenses incurred. The schedule and scope of work assume that the Project Description is not substantially changed or no new issues arise. Changes in project description and/or scope by the City or Applicant after contract initiation or identification of significant new issues as a result of the NOP process may require amendment of the schedule, cost estimate and/or Scope of Work.

**STRELOW CONSULTING**

▪ TASK 1:	Project Coordination & Management	\$ 1,900.00
▪ TASK 2:	Initial Study, NOP & Scoping Meeting	4,350.00
▪ TASK 3:	Prepare ADEIR	8,700.00
▪ TASK 4:	Prepare Draft EIR	1,750.00
▪ TASK 5:	Prepare Final EIR	4,650.00
▪ TASK 6:	Attend Hearings	2,350.00
	<b>SUBTOTAL:</b>	<b>\$ 23,700.00</b>

**EXPENSES**

▪	Reproduction & Graphics	\$ 1,200.00
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<b>TOTAL</b>	<b>\$ 24,900.00</b>
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 **QUALIFICATIONS**

STRELOW CONSULTING has served the Monterey Bay area for over 20 years in the fields of environmental and land use planning. I have coordinated and prepared planning, environmental and resource management studies and plans for a diverse range of private and public projects. I have worked regularly with the City of Capitola and other local Monterey Bay agencies and have established an excellent working relationship with local agencies as evidenced by the fact that a large portion of Strelow Consulting's business comes from repeat clients that are public agencies. I have been involved with all aspects of EIR preparation, including project management, technical research and analysis, development of policies and programs, and public presentations.

My experience includes preparation of over 350 environmental, resource management and planning reports, and management of multi-disciplinary teams for major regional projects, including the City of Santa Cruz General Plan 2030 EIR, the Tannery Arts Center EIR in the City of Santa Cruz, and Regional Transportation Plans. I am currently assisting the City of Santa Cruz with revision of its LCP as a separate planning, and I was a consultant to the City of Santa Cruz Water Department in assisting with technical review of the proposed scwd<sup>2</sup> Regional Desalination Project EIR.

I have worked on numerous projects throughout the City of Capitola and Monterey Bay region, involving park projects or uses with noise and other issues of concern in residential neighborhoods as summarized to the right. Recent work with the City of Capitola includes preparation of Initial Studies for the new parking lot adjacent to City Hall and for the City's proposed single bag reduction

<p><b>Representative Projects</b></p> <ul style="list-style-type: none"> <li>▪ Pajaro Park EIR (Monterey County)</li> <li>▪ Sports Arena Environmental Review</li> <li>▪ Fairfield Inn Initial Study (Capitola)</li> <li>▪ Depot Park EIR (City of Santa Cruz)</li> <li>▪ Pogonip Multi-Use Trail Initial Study</li> <li>▪ San Lorenzo River Paths Initial Studies</li> <li>▪ DeLaveaga Golf Course Master Plan Initial Study</li> </ul>
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Attachment: Strelow Contract Amendment (1483 : Contract Amendment for Strelow Consulting)

ordinance. I have also served as an on-call environmental consultant with the city of Capitola, as well as with the cities of Santa Cruz, Pacific Grove and Seaside, the University of California Santa Cruz, Monterey County and the Town of Los Gatos.

My work park experience with recreational facilities includes preparation of an Initial Study for a new multi-use trail at Pogonip and preparing CEQA documents for a new temporary sports arena, both within the city of Santa Cruz. I also prepared an EIR for a new park in the community of Pajaro for Monterey County. The EIR was prepared within a tight schedule and came in below budget, and the park was recently successfully completed. As a contract planner with the Monterey County Planning Department from 2002 to 2006, I assisted the County Planning Department staff with processing permit applications submitted by the Pebble Beach Company that included proposals for a new golf course, expansion of the Spanish Bay Resort and relocation of an Equestrian Center. I would be happy to provide a full Statement of Qualifications upon request.

I appreciate the opportunity to submit this proposal and look forward to working with the City in completing the EIR. I believe I bring a unique blend of experience and background to this project, as well as a solid understanding of area issues and concerns, which will enable a thorough and timely completion of the EIR analyses. Please call if you would like to discuss this further or if you have refinements to the EIR Work Plan or Scope of Work. I look forward to talking with you soon.

Sincerely,

Stephanie Strelow

Attachment: Strelow Contract Amendment (1483 : Contract Amendment for Strelow Consulting)



## CAPITOLA CITY COUNCIL AGENDA REPORT

**MEETING OF JUNE 9, 2016**

**FROM:** Public Works Department

**SUBJECT:** Approve the Plans, Specifications, and Construction Estimate and Authorize Advertising for Bids for the Following Projects: Rispin Mansion Park Project and the 2016 Street Rehabilitation Project on Portions of Park Avenue, Kennedy Drive, and Monterey Avenue

**RECOMMENDED ACTION:** Approve the plans, specifications, estimate of costs and authorize advertising for bids.

**BACKGROUND:** The design and engineering work for these two projects in the 2015/2016 Capital Improvement Program is now complete and ready to advertise for bids.

The Rispin Mansion Park Project will refurbish the historic elements on grounds, make modifications to the Wharf Road Wall, and create new gardens. The new amphitheater is included in the project plans, but reconstruction of the fountain and reflecting pond have been removed from the project scope at this time.

The 2016 Street Rehabilitation Project will reconstruct the road sections and access ramps along Park Avenue from Cabrillo Avenue to Kennedy Drive, Kennedy Drive from Park Avenue to Monterey Avenue, and Monterey Avenue from Kennedy Drive to Washburn Avenue. The scope of work involves using an asphalt recycling process that minimizes trucking and has a quicker construction period. In addition, the bicycle lanes along Park Avenue between Coronado Avenue and Kennedy Drive will be widened to five feet.

**DISCUSSION:** The construction estimate for the Rispin Mansion Park is \$777,000 and it is estimated that it will take three months to complete construction.

The construction estimate for the 2016 Road Rehabilitation Project is \$1,195,000 and will take an estimated six weeks to complete.

Bids for both projects will be received in mid-July with construction beginning in either August or September. A reduced set of plans is attached for each project.

**FISCAL IMPACT:** Complete funding for these projects is dependent upon the adoption of the 2016/2017 Budget as presented to the City Council on June 1, 2016, which includes the following additional allocations to these projects:



Rispin Mansion Park and Pavement Management Program Projects to Bid  
June 9, 2016

Rispin Mansion Park Project: \$293,000  
2016 Street Rehabilitation Project: \$195,000

With these additional funds, the available funding will equal the construction estimates at this time.

ATTACHMENTS:

1. Rispin Mansion Park Plans
2. 2016 Street Rehabilitation Project Plans

Report Prepared By: Steve Jesberg  
Public Works Director

**Reviewed and Forwarded by:**



\_\_\_\_\_  
Jamie Goldstein, City Manager

6/3/2016

construction documents for:  
**RISPIN MANSION PARK**  
 CITY OF CAPITOLA  
 WHARF ROAD AND CLARES STREET  
 December 30, 2015



vicinity map



Clares Street and Wharf Road

project contact information

City of Capitola  
 Steve Jesberg, Director of Public Works  
 400 Capitola Avenue  
 Capitola, CA 95010  
 831.475.7300

MA+A Landscape Architects  
 Michael Arnone, Project Manager  
 3370 Samuel Place  
 Santa Cruz, CA 95062  
 831.462.4988

Bowman & Williams, Civil Engineer  
 Joel Ricca, RCE  
 1011 Cedar Street  
 Santa Cruz, CA 95060  
 831.426.3560

Urfer and Associates, Structural Engineer  
 Scott Haggblade  
 2715 Porter Street  
 Soquel, CA 95073  
 831.476.3681

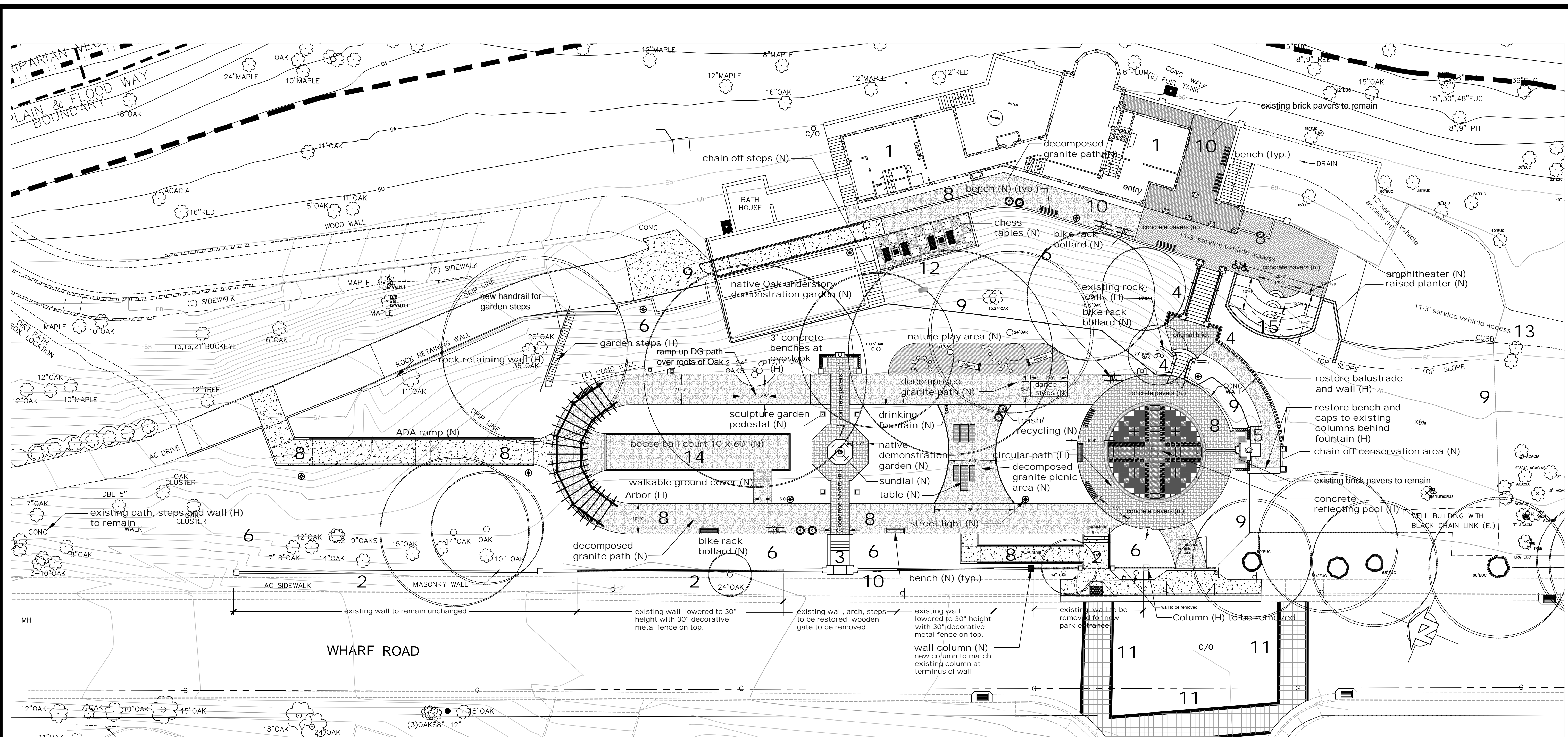
Pacific Crest Engineering, Geotechnical Engineers  
 444 Airport Blvd.  
 Watsonville, CA 95076  
 831.722.9446

Bonjardin Water Works  
 Edison Bonjardin  
 P. O. Box  
 Soquel, CA 95073  
 831.476.3079

Maureen Hamb, Certified Arborist  
 849 Almar Avenue # C  
 Santa Cruz, CA 95060  
 831.420.1287

sheet index

cs	cover sheet
L1.0	site plan
L1.1	hardscape master plan
L1.2	hardscape plan south end
L1.3	hardscape plan north end
L1.4	Wharf Road wall elevations and details
L1.5	wall fountain elevations and details
L1.6	grand staircase and fence elevations and details
L1.7	entry gate, arbor, overlook and sundial elevations and details
L1.8	amphitheater and reflecting pool elevations and details
L1.9	site furnishing photos
L1.10	lighting and fencing plan
L1.11	nature play area
L1.12	mansion window mural concept
L2.0	planting south end
L2.1	planting north end
L3.0	irrigation south end (blank)
L3.1	irrigation north end (blank)
C0.0	general notes & specifications
C1.0	site plan
C1.1	details
C1.2	city standard details
C1.3	site sections & profiles (blank)
C2.0	grading plan
C3.0	stormwater control plan
C4.0	erosion control plan
C4.1	erosion and sediment control details
S1.1	general notes /typical details
S2.1	foundation and framing plans
S3.1	details
S3.2	details
WF1.01	water feature notes and symbols
WF1.02	water feature notes and symbols (cont'd.)
WF2.01	water feature flow diagram
WF3.01	water feature site plan



- EXISTING FEATURES AND PROJECT GOALS**  
 (N) denotes new element  
 (H) denotes existing element found on site
1. RISPIN MANSION BUILDING (H)
  2. WHARF ROAD ENTRY AND WALL(H)
  3. WHARF ROAD ENTRY STEPS(H)
  4. GRAND STAIRCASE AND BALUSTRADE (H)
  5. FOUNTAIN AND REFLECTION POOL (H)
  6. PLANTS AND LANDSCAPE (N)
  7. SUNDIAL (H) AND SCULPTURE GARDEN (N)
  8. UNIVERSAL ACCESS PATH OF TRAVEL (N)
  9. FENCING AND GATES (N)
  10. SIGNAGE (N)
  11. IMPROVE STRIPING AND CROSSWALKS AT CLARES/WHARF ROAD INTERSECTION (N)
  12. MURAL ON CONCRETE WALL OF SAINT CLARES BUILDING(N)
  13. INFORMAL SERVICE DRIVE/PEDESTRIAN PATH FROM MANSION TERRACE TO SOUTH ENTRANCE AT WHARF ROAD (H)
  14. BOCCIE BALL COURT (N)
  15. AMPHITHEATER (N)

80% SUBMITTAL - NOT FOR CONSTRUCTION

**Summary of Historic Elements found on Rispin Site and Proposed Renovations**

**Discussion of Intent.**

The project goals for Rispin Park are to create a community park that provides passive recreation and focuses on the cultural, historical, and open space resources that are unique to the Rispin Mansion Site. The intent of the restoration is to provide examples of the architectural style of the mansion and to create a public awareness of the significance of the Mansion building and grounds as part of the history of the City of Capitola. It should be stated that the park is not intended to be an exact replication of the mansion grounds during the time it was the residence of Henry Rispin. A summary of the existing historic elements and the proposed modifications are explained below and noted on the Site Plan.

**Wharf Road Wall, Entry Arch and Entry Staircase:**

- Portions of the Existing wall along Wharf Road will remain unchanged, while some sections of the existing wall height will be reduced to 30" with a 30" decorative metal fence on top. One portion of the wall at the southern end of the road frontage will be removed to allow a new universally accessible entrance to the park. The section to be removed will incorporate a new column to match the existing last column at the southern terminus of the wall. Bollards and metal fencing will be added to the new park entrance.
- Steps and side walls of the staircase at the entry will be rebuilt and repaired. The Arch and side walls will be painted to match the Mansion.
- Existing wood gate to be removed and stored for display with other artifacts

**Arbor:**

- New columns will match historic columns found on site in height and architectural detail.
- Spacing of columns and location will be changed to accommodate new universally accessible path, and mature oaks on site.
- New vine species compatible with native oaks will be selected.

**Sundial:**

- Existing sundial base will remain in its present location. Pedestal will be rebuilt according to archive photographs. New, contemporary sundial/compass will be chosen, no archive photos are available that show the sundial piece.

**Overlook:**

- Existing overlook columns and base wall to remain. All caps and balustrades to be rebuilt according to archive photographs and existing artifacts on-site.
- New benches in same location as historical shown in archive photographs, architectural details not discernable in photos. New benches will be simple without ornamentation.

**Reflecting Pool:**

- Existing location and size of pool will remain unchanged. Depth of pool will be reduced to maximum of 6 inches. Repairs will be made to coping, pool sides and bottom. Plumbing and bottom of pool will be retrofitted to incorporate rainwater harvesting system.
- Brick path around pool will be installed, consistent with archive photos.
- New sculpture in center of pool will replace water feature(s) shown in archive photos. New sculpture will be distinctly different in style than those of the Rispin period.
- A tile mosaic is proposed for the bottom of the fountain. Mosaic will be commissioned by Capitola Arts Commission.

**Wall Fountain and Lower Seating Area behind Wall Fountain:**

- Existing fountain will be repaired to working condition. Missing parts will be reconstructed using archive photographs and site artifacts.
- Urn will be selected to match historic using archive photographs.
- New fountain spout will be selected, historical fountain spout style not discernable in photos. New fountain spout will be simple without ornamentation.
- Lower seating area behind fountain and balustrade wall from grand staircase will be repaired according to archive photographs and existing artifacts on-site. Pathway from brick landing to seating area will be rebuilt.

**Grand Staircase:**

- All walls, columns, column caps, brick landings, to be repaired according to archive photographs and existing artifacts on-site. Steps to be rebuilt.
- A new metal handrail as per code will be added on each side, mounted in ground outside of cheek wall.

**Miscellaneous Garden Features**

- 12" high concrete wall along old walkway at northwest corner of park to remain.
- Rock fossil walls by staircase to remain.
- Stone wall at north end of park by new ramp to remain.
- Existing 18" wide red concrete steps north of arbor to remain; add handrail as per code
- Existing 4" wide concrete steps by Game Table area to remain; add chain barricade and sign to close off

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 831.462.4888 m.arnone@arnonelandscap.com www.arnonelandscap.com

**RISPIN MANSION PARK**  
 WHARF ROAD AND CLARES STREET  
 CAPITOLA, CALIFORNIA

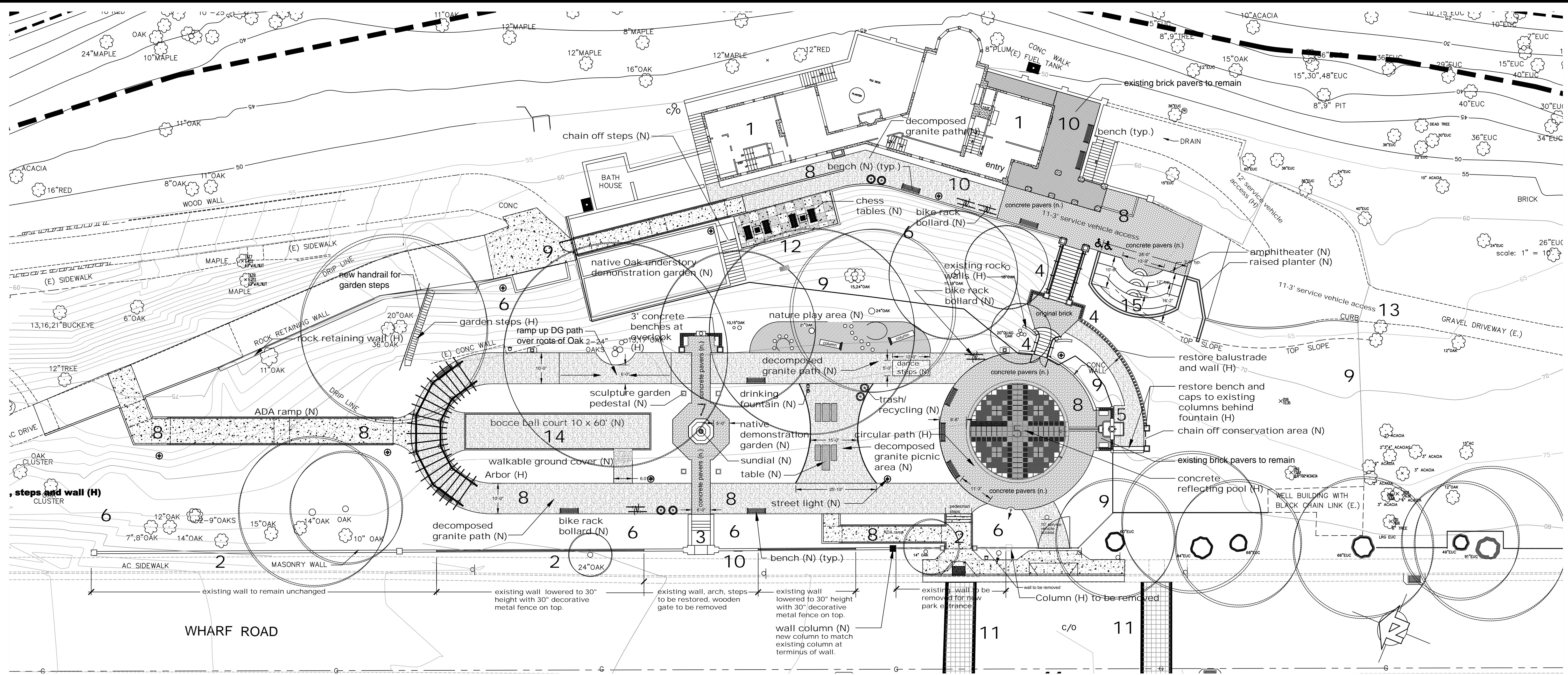


DATE	PURPOSE	BY
4.11.15	first issue review	MAA
4.24.15	second review submission	MAA
5.28.15	City Council review	MAA
12.30.15	80% bid set	MAA

scale:  
 1/16" = 1' - 0"

sheet title:  
**site plan**

sheet number:  
**L - 1.0**



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**RISPIN MANSION PARK**  
**WHARF ROAD AND CLARES STREET**  
**CAPITOLA, CALIFORNIA**



**Site Furnishings Legend**

Key	Description	Quantity	Manufacturer	Model #	Color/Finish
□	3' Concrete Bench for fountain and outlook	4	Pottery Planet 831.465.9216 2600 Soquel Ave, Santa Cruz	to be selected	stone gray
○	Container w/ Color for fountain and outlook	2		tall urn style to be selected	Red
□	Container w/ Color for grandstaircase columns	4		square style to be selected	Red
not shown	Acanto Fountain Emitter	1	Fountains Unique 949.305.7372 www.fountainsunique.com	No. M5822	9 1/2" diameter Distressed Copper, 3 GPM flow
■	Accessible Chess Table with two Benches	1	Kenneth Lynch & Sons 203.264.2831 www.klynchandsons.com	6732 (chess table) 6737C (bench)	Concrete table top with metal legs Wood slats with metal legs
○	Pelican Sundial	1		No. 2554 Hourglass and Pelican Sundial	11 1/2" diameter Bronze
■	Bike Post Bollard	4	Reliance Foundry 888.735.5680 www.reliance-foundry.com	R-7530-B	Cuticle Iron Bike Bollard 39" High w/ two loops; Black Textured Semi Gloss finish
○	Historical Series Accessible Pedestal Drinking Fountain	1	Most Dependable Fountains, Inc. www.mostdependable.com 800.552.6331	2008 SM	"Hi-Lo" barrier-free antique historic style heavy-duty aluminum alloy pedestal Textured Bergundy powder coat finish
■	6' Metal Bench with armrest	12	DuMor, Inc., Site Furnishings 800.598.4018 www.dumor.com	Bench 57 - 60PL - 3AR	6' long recycled plastic bench w/ armrest Deep Red color base w/ Cedar color recycled plastic top
○	Trash Receptacle	3		Receptacle 107	32 gal. Steel with Deep Red Powder Coat finish
○	Recycling Container	3		Receptacle 107	32 gal. Steel with Deep Red Powder Coat finish
■	Table/Benches	1		77 Series PL 6', (2) 6' benches with surface plate mount	Deep Red color base w/ Cedar color recycled plastic top
■	Accessible Table/Benches	1		77 - 68 - 1 PL table 8', (2) 5' benches with surface plate mount	Deep Red color base w/ Cedar color recycled plastic top
⊕	Street Light fixture on Light Pole	8	Sternberg Lighting 510.638.3800 www.sternberglighting.com	AVENUE Series- B750SRLED Barrington 5201-SS Base on 5216 - FPS - GFI - OI light pole	Olde Iron finish Acorn Style w/ roof mounted downlighting optics and LED light source with white textured polycarbonate acorn 5" fluted 16' high Old Iron finish pole with GFI
○	DOG STATION	2	DOODY CALLS DIRECT doodycallsdirect.com	THE SENTRY STATION	GREEN ANCHOR TO CONCRETE FOOTING
■	WALL MOUNT SIGN	3	TO BE SELECTED	PORCELAIN ENAMEL	LIGHT CREAM FIELD WITH GOLD TITLE LETTERING SELECTION OF PHOTOGRAPHS AND TEXT TO BE AND DESIGNED FOR APPROVAL BY CITY
■	PEDESTAL MOUNT SIGN	2	TO BE SELECTED	PORCELAIN ENAMEL	LIGHT CREAM FIELD WITH GOLD TITLE LETTERING SELECTION OF PHOTOGRAPHS AND TEXT TO BE AND DESIGNED FOR APPROVAL BY CITY

**HARDSCAPE AND FENCING LEGEND**

SYMBOL	DESCRIPTION	MANUFACTURER	COLOR	FINISH/PATTERN	SQ FT/LN FT
■	CONCRETE PAVERS ON PREPARED BASE SEE CIVIL PLANS	TO BE SELECTED ORIGINAL BRICK WILL BE USED ON LANDING BETWEEN STAIRS	TO MATCH ORIGINAL CLAY BRICK ON SITE	HERRINGBONE	SEE CIVIL PLANS
■	BRICK PAVER ON CONCRETE	EXISTING TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL	COLOR TO MATCH	MATCH PATTERN AND CUT	SEE CIVIL PLANS
■	CONCRETE RAMPS	N/A	NATURAL GRAY	MEDIUM BROOM FINISH	SEE CIVIL PLANS
■	CONCRETE STEPS	N/A	COLOR TO MATCH	TO MATCH ORIGINAL	SEE CIVIL PLANS
■	CAL GOLD DECOMPOSED GRANITE	N/A	CALIFORNIA GOLD	WITH STABILIZER	SEE CIVIL PLANS
■	STAMPED ASPHALT CROSS WALKS	N/A	TERRE COTTA	16" SQUARE TILE STAMP	1190 SF
—	5' DECORATIVE METAL FENCE	N/A	BLACK	SEE LEGEND SHEET L1.10	54' LF
—	6' DECORATIVE METAL FENCE	N/A	BLACK	SEE DETAIL	284 LF
—	5' METAL SERVICE GATE	N/A	BLACK	SEE LEGEND SHEET L1.10 SEE ELEVATION SHEET	10' LF
—	6' BLACK CHAIN LINK FENCE	N/A	BLACK	SEE LEGEND SHEET L1.10 N/A	110 LF
—	30" DECORATIVE METAL GUARDRAIL ON TOP OF EXISTING WALL	N/A	BLACK	SEE LEGEND SHEET L1.10 SEE DETAIL	100 LF

**EXISTING FEATURES AND PROJECT GOALS (N) denotes new element (H) denotes existing element found on site**

- RISPIN MANSION BUILDING (H)
- WHARF ROAD ENTRY AND WALL(H)
- WHARF ROAD ENTRY STEPS(H)
- GRAND STAIRCASE AND BALUSTRADE (H)
- FOUNTAIN AND REFLECTION POOL (H)
- PLANTS AND LANDSCAPE (N)
- SUNDIAL (H) AND SCULPTURE GARDEN (N)
- UNIVERSAL ACCESS PATH OF TRAVEL (N)
- FENCING AND GATES (N)
- SIGNAGE (N)
- IMPROVE STRIPING AND CROSSWALKS AT CLARES/WHARF ROAD INTERSECTION (N)
- MURAL ON CONCRETE WALL OF SAINT CLARES BUILDING(N)
- INFORMAL SERVICE DRIVE/PEDESTRIAN PATH FROM MANSION TERRACE TO SOUTH ENTRANCE AT WHARF ROAD (H)
- BOCCE BALL COURT (N)
- AMPHITHEATER (N)

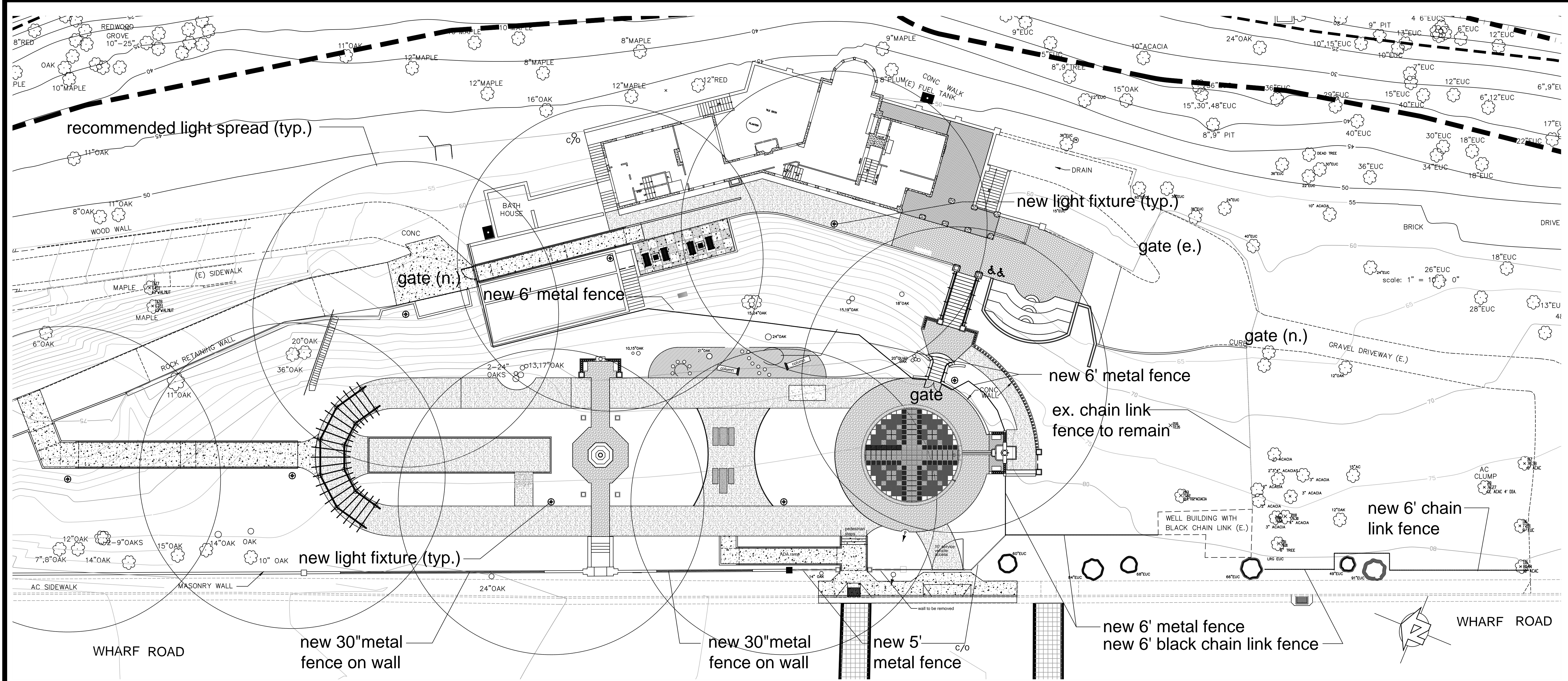
DATE	PURPOSE	BY
4.11.15	first issue review	MAA
4.24.15	second review submission	MAA
5.28.15	City Council review	MAA
12.30.15	80% bid set	MAA

scale:  
 1/16" = 1' - 0"

sheet title:  
**master plan**

sheet number:  
**L - 1.1**

**80% SUBMITTAL - NOT FOR CONSTRUCTION**



**FENCE LEGEND**

ELEVATION VIEW	PLAN VIEW	DESCRIPTION	LOCATION	LENGTH
		5' DECORATIVE METAL FENCE w/ 6" PICKET SPACING black semi gloss powder coat finish	AT ENTRY OFF WHARF ROAD	54' LF
		6' DECORATIVE METAL FENCE w/ 6" PICKET SPACING black semi gloss powder coat finish	AT TOP OF SLOPE TO FOUNTAIN FROM FOUNTAIN TO WHARF ROAD	284 LF
		30" DECORATIVE METAL GUARDRAIL w/ 4" PICKET SPACING black semi gloss powder coat finish	ON TOP OF SECTIONS OF WALL ALONG WHARF ROAD	100 LF
		6' BLACK CHAIN LINK FENCE	PERIMETER OF PARK AREA	110 LF

**Lighting Legend**

Key	Description	Quantity	Manufacturer	Model #	Color/Finish
	Street Light fixture on Light Pole	8 8	Sternberg Lighting 510.638.3800 www.sternberglighting.com	AVENUE Series- B750SRLED Barrington 5201-SS Base on 5212 - FP5 - GFI - OI	Olde Iron finish Acorn Style w/ roof mounted downlighting optics and LED light source with white textured polycarbonate acorn 5" fluted 12' high Old Iron finish pole with GFI

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**RISPIN MANSION PARK**  
WHARF ROAD AND CLARES STREET  
CAPITOLA, CALIFORNIA



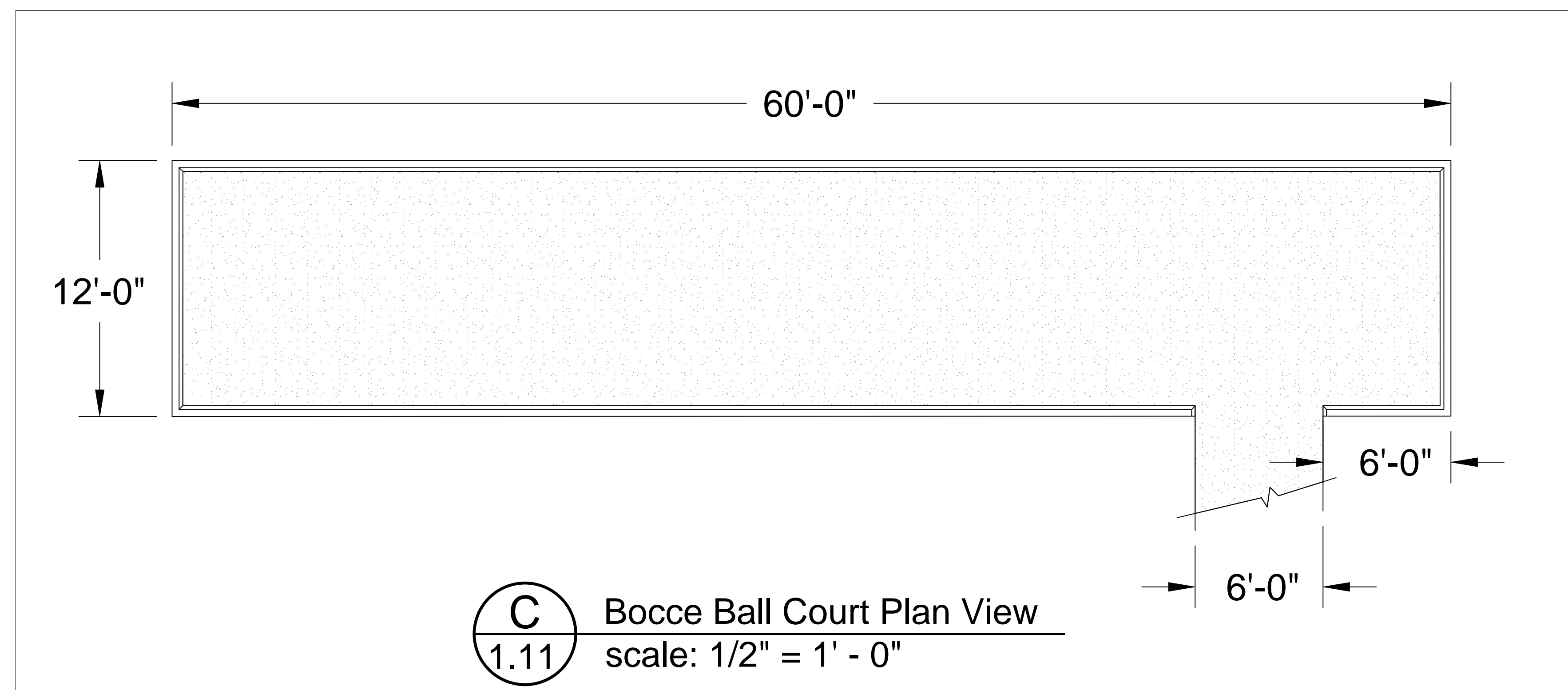
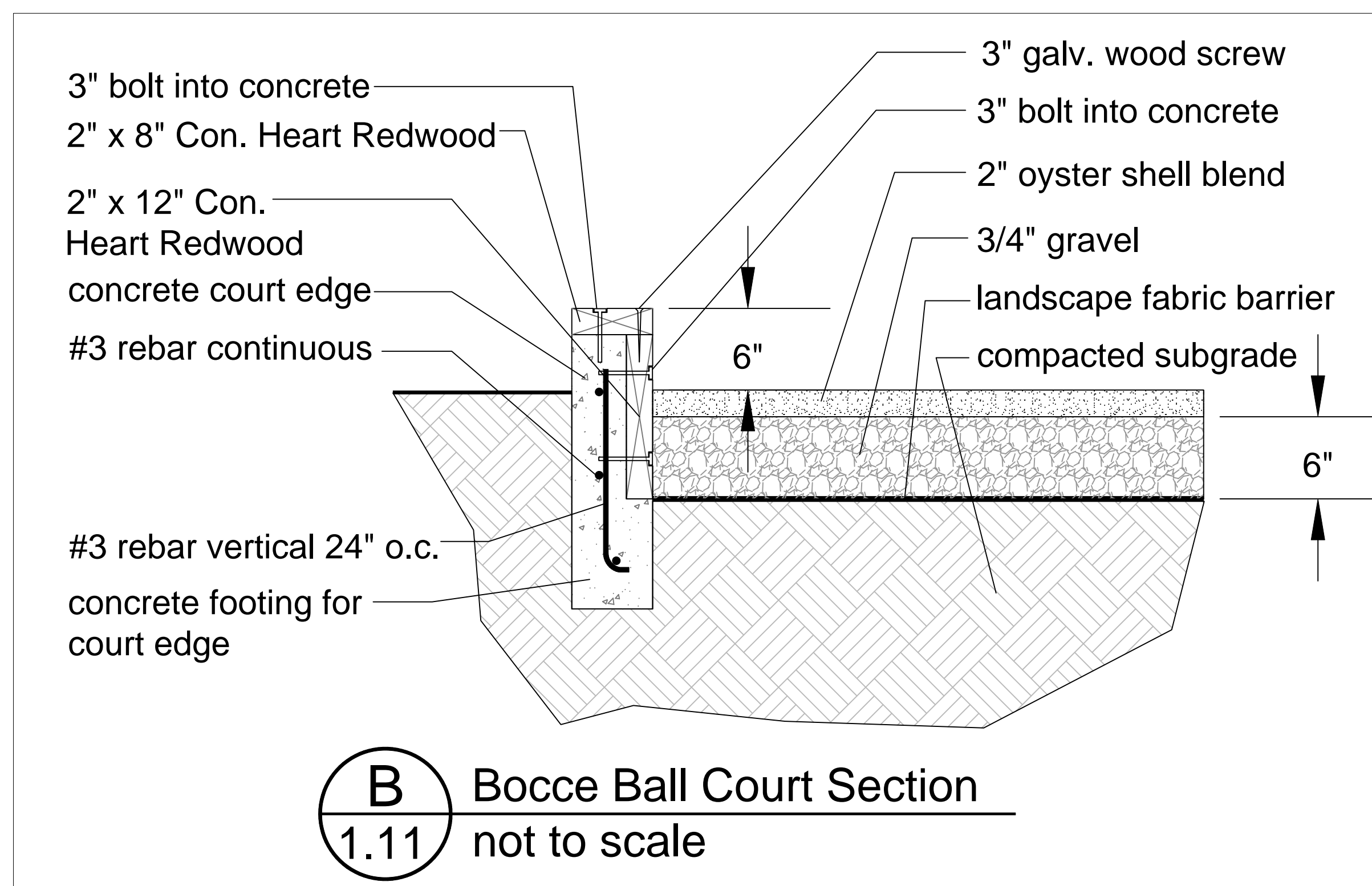
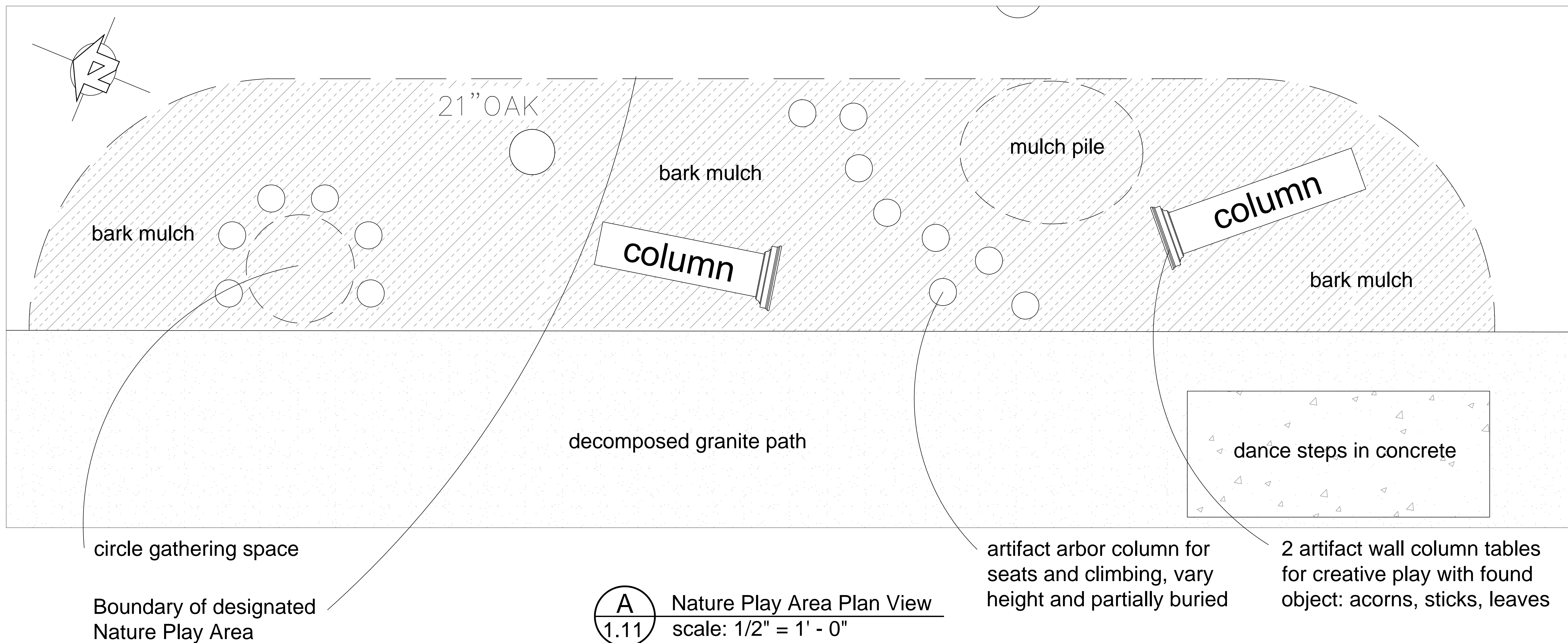
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4.11.15	first issue review	MAA
4.24.15	second review submission	MAA
5.28.15	City Council review	MAA
6.1.15	material revision	MAA
12.30.15	80% bid set	MAA

scale:  
**1/16" = 1' - 0"**

sheet title:  
**fencing & lighting**

sheet number:  
**L - 1.10**

80% SUBMITTAL - NOT FOR CONSTRUCTION



80% SUBMITTAL - NOT FOR CONSTRUCTION

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CAPITOLA, CALIFORNIA

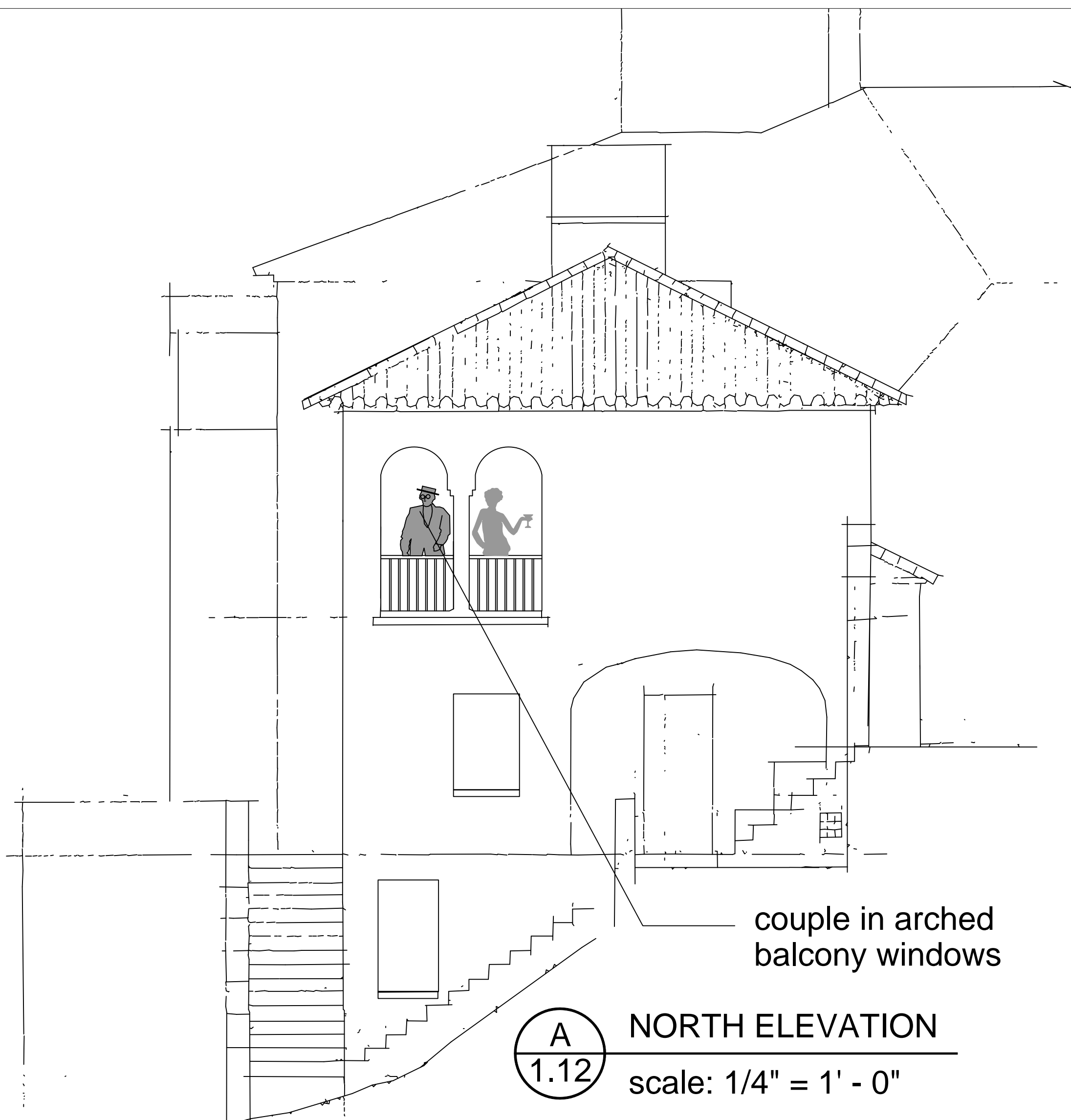


DATE	PURPOSE	BY
5.28.15	City Council review	MAA
12.30.15	80% bid set	MAA

scale:  
**as noted**

sheet title:  
Nature Play and Bocce Ball

sheet number:  
**L - 1.11**

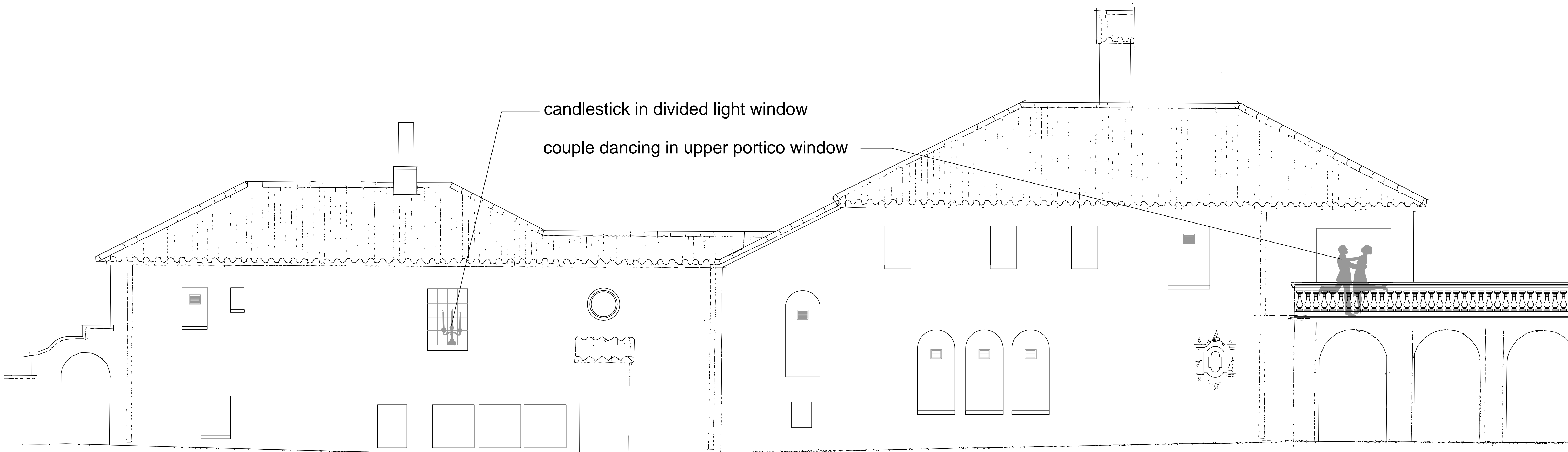


**A**  
1.12  
**NORTH ELEVATION**  
scale: 1/4" = 1' - 0"

**NOTE:**  
Murals to be designed and painted by a commissioned artist to be selected with final approval of design by the City and Landscape Architect. Concepts shown here are intended to illustrate the number of murals and the general theme. All other arched and rectangular 'windows' shall be painted a darker slate color to accentuate their architectural contribution to the building.



**B**  
1.12  
**SOUTH ELEVATION**  
scale: 1/4" = 1' - 0"



**C**  
1.12  
**WEST ELEVATION**  
scale: 1/4" = 1' - 0"

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**RISPIN MANSION PARK**  
WHARF ROAD AND CLARES STREET  
CAPITOLA, CALIFORNIA



DATE	PURPOSE	BY
5.28.15	city council review submission	MAA
5.28.15	City Council review	MAA
12.30.15	80% bid set	MAA

scale:  
1/4" = 1' - 0"

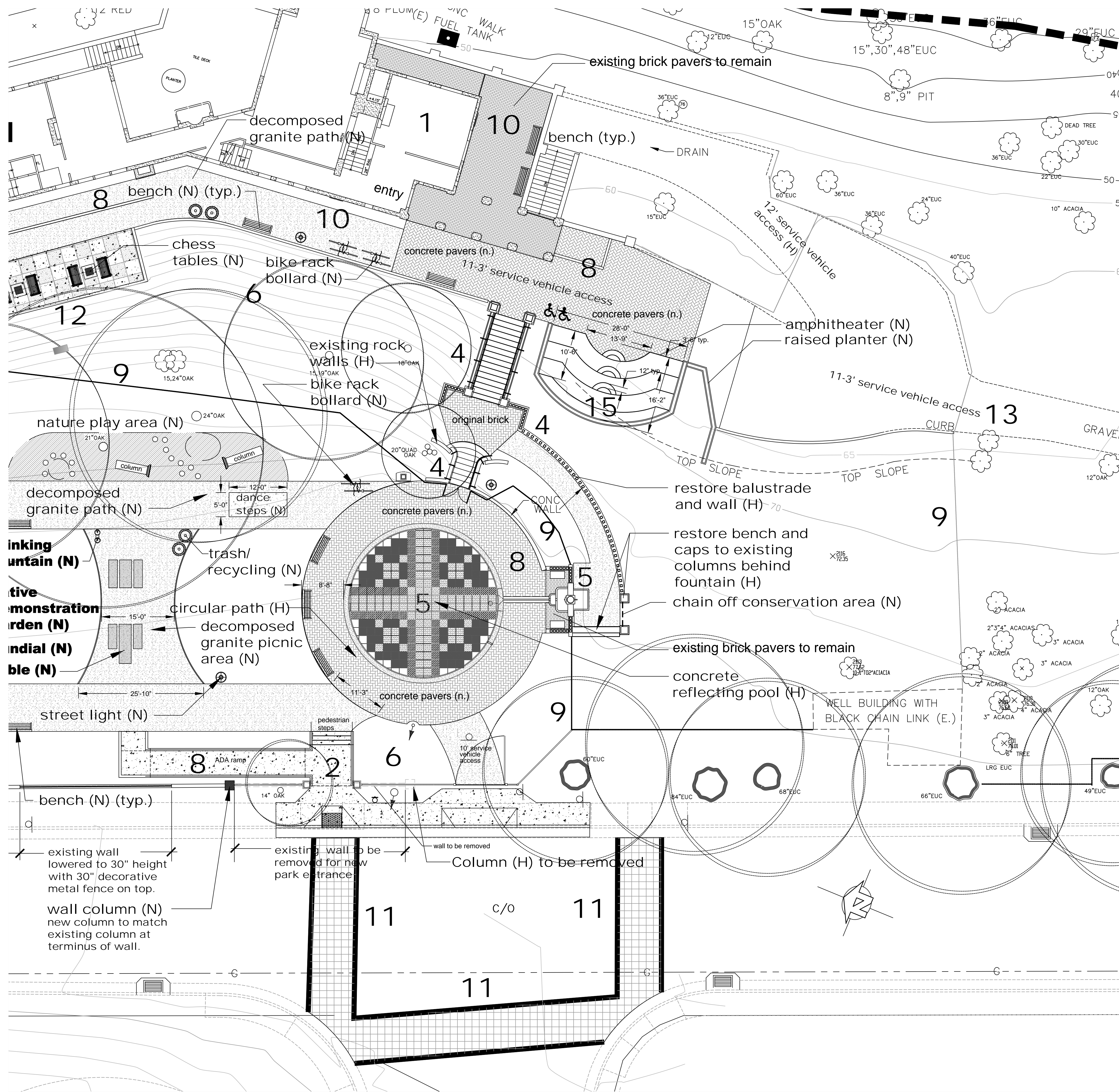
sheet title:  
**mansion window murals**

sheet number:  
**L - 1.12**

**EXISTING FEATURES AND PROJECT GOALS**

(N) denotes new element  
(H) denotes existing element found on site

1. RISPIN MANSION BUILDING (H)
2. WHARF ROAD ENTRY AND WALL(H)
3. WHARF ROAD ENTRY STEPS(H)
4. GRAND STAIRCASE AND BALUSTRADE (H)
5. FOUNTAIN AND REFLECTION POOL (H)
6. PLANTS AND LANDSCAPE (N)
7. SUNDIAL (H) AND SCULPTURE GARDEN (N)
8. UNIVERSAL ACCESS PATH OF TRAVEL (N)
9. FENCING AND GATES (N)
10. SIGNAGE (N)
11. IMPROVE STRIPING AND CROSSWALKS AT CLARES/WHARF ROAD INTERSECTION (N)
12. MURAL ON CONCRETE WALL OF SAINT CLARES BUILDING(N)
13. INFORMAL SERVICE DRIVE/PEDESTRIAN PATH FROM MANSION TERRACE TO SOUTH ENTRANCE AT WHARF ROAD (H)
14. BOCCIE BALL COURT (N)
15. AMPHITHEATER (N)



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**RISPIN MANSION PARK**  
WHARF ROAD AND CLARES STREET  
CAPITOLA, CALIFORNIA



DATE	PURPOSE	BY
4.11.15	first issue review	MAA
4.24.15	second review submission	MAA
5.28.15	City Council review	MAA
12.30.15	80% bid set	MAA

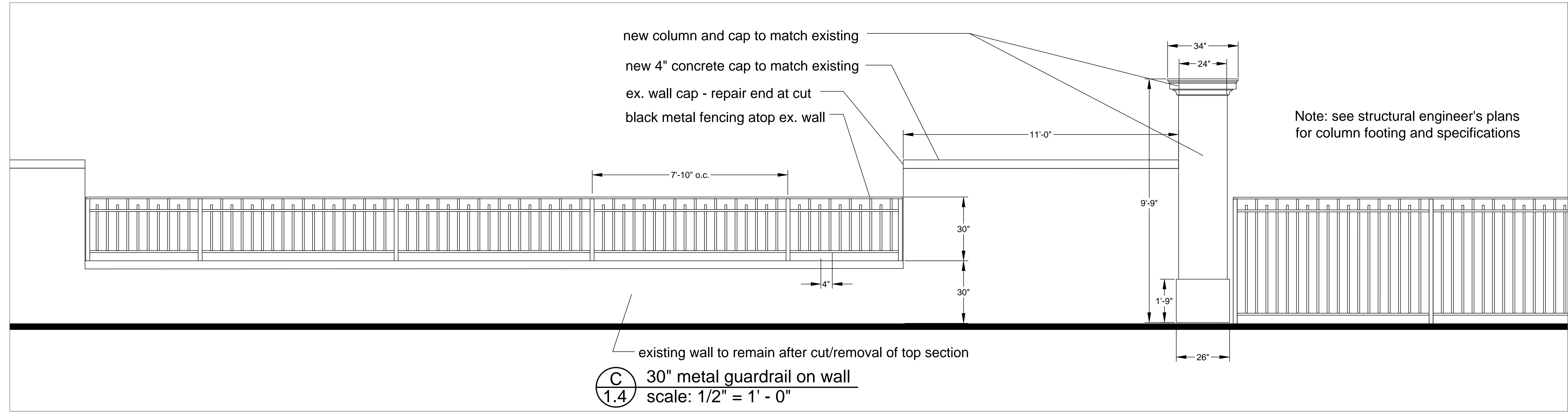
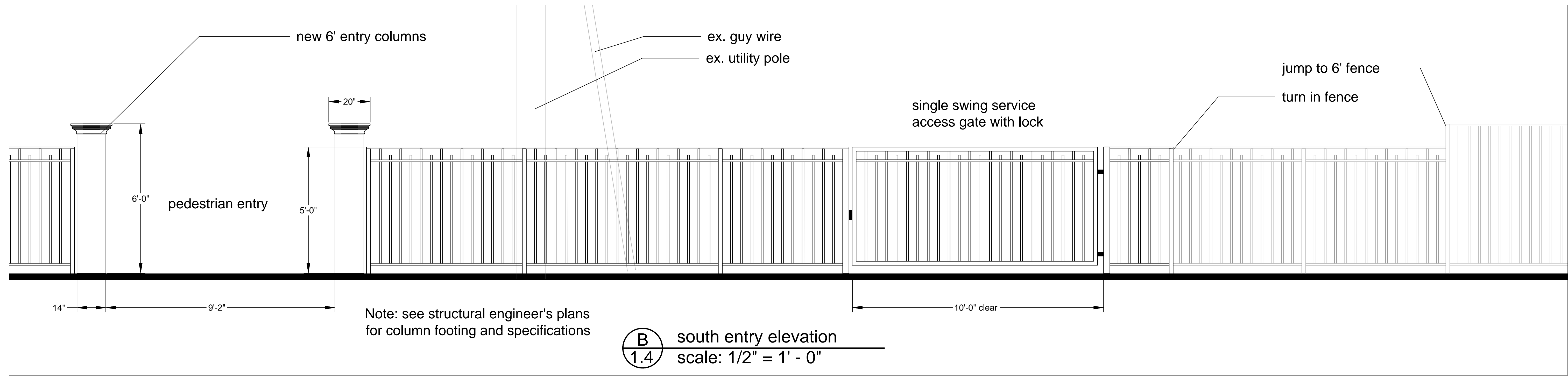
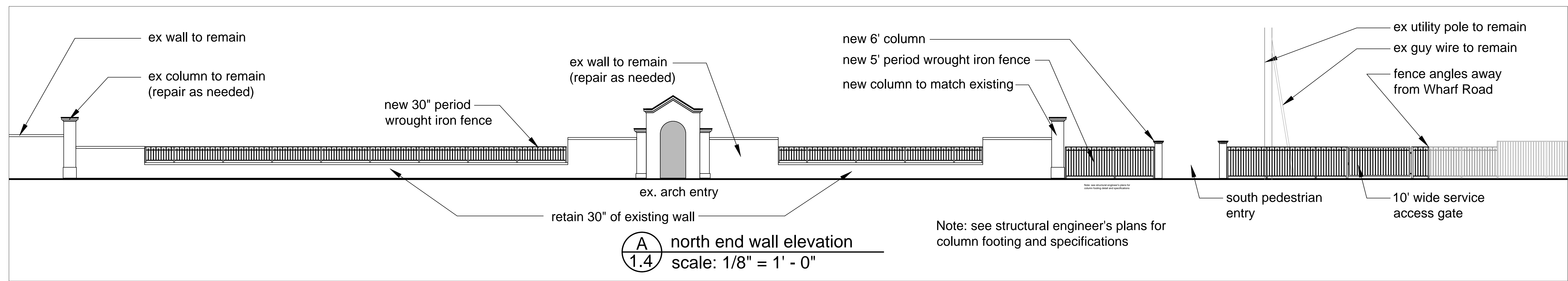
scale:  
1" = 10' - 0"

sheet title:  
hardscape plan  
south end

sheet number:  
L - 1.2







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**RISPIN MANSION PARK**  
WHARF ROAD AND CLARES STREET  
CAPITOLA, CALIFORNIA

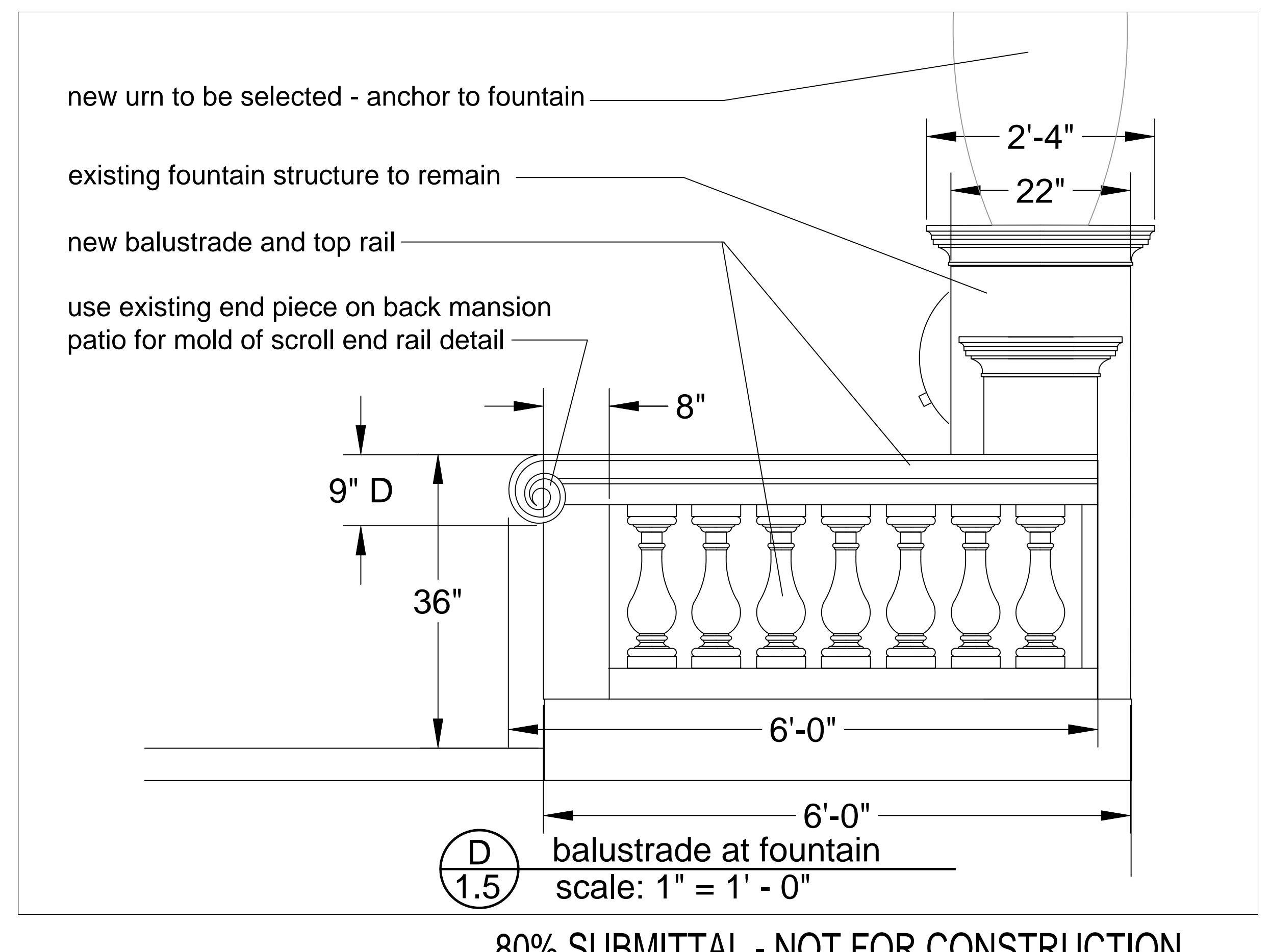
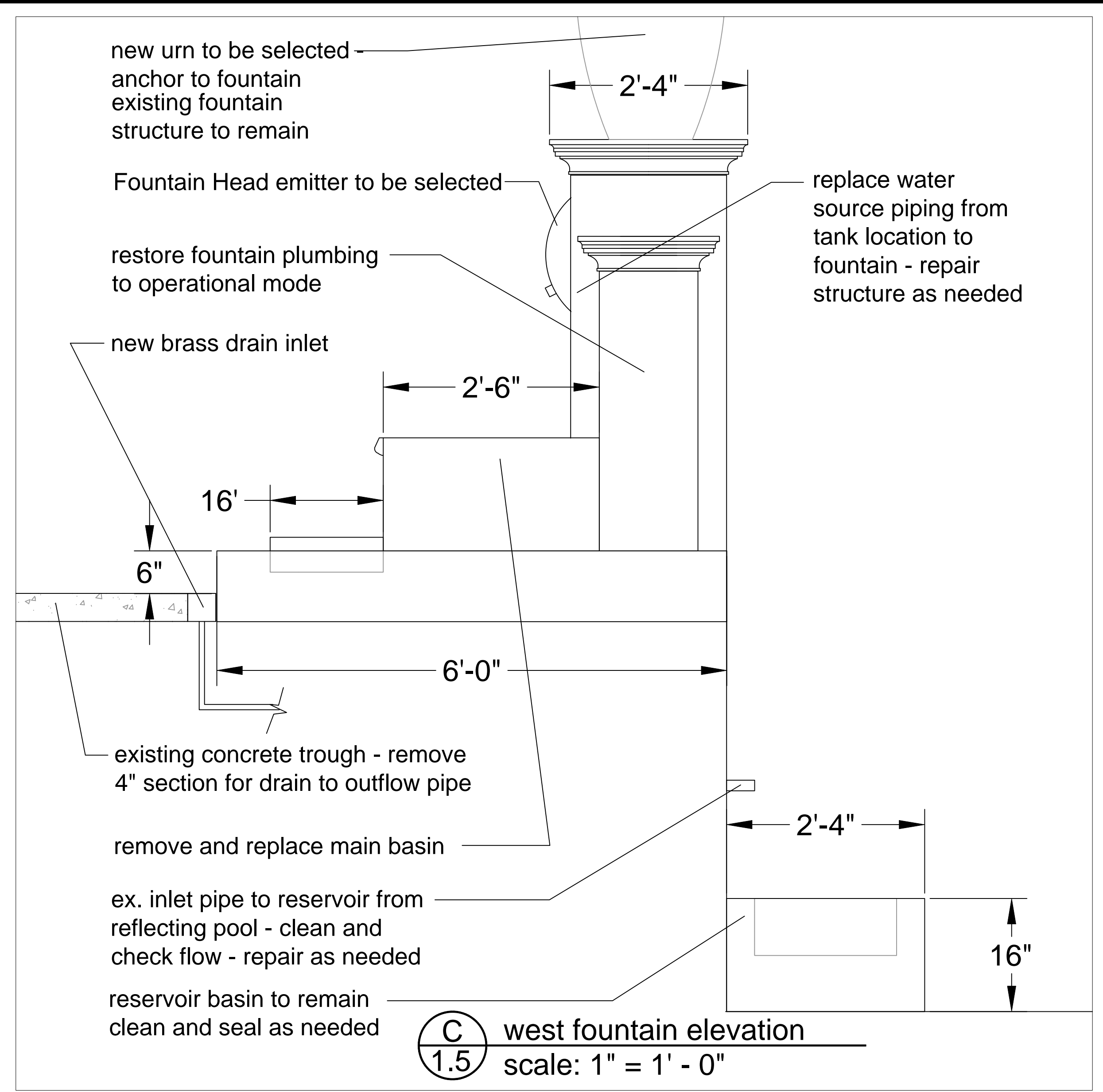
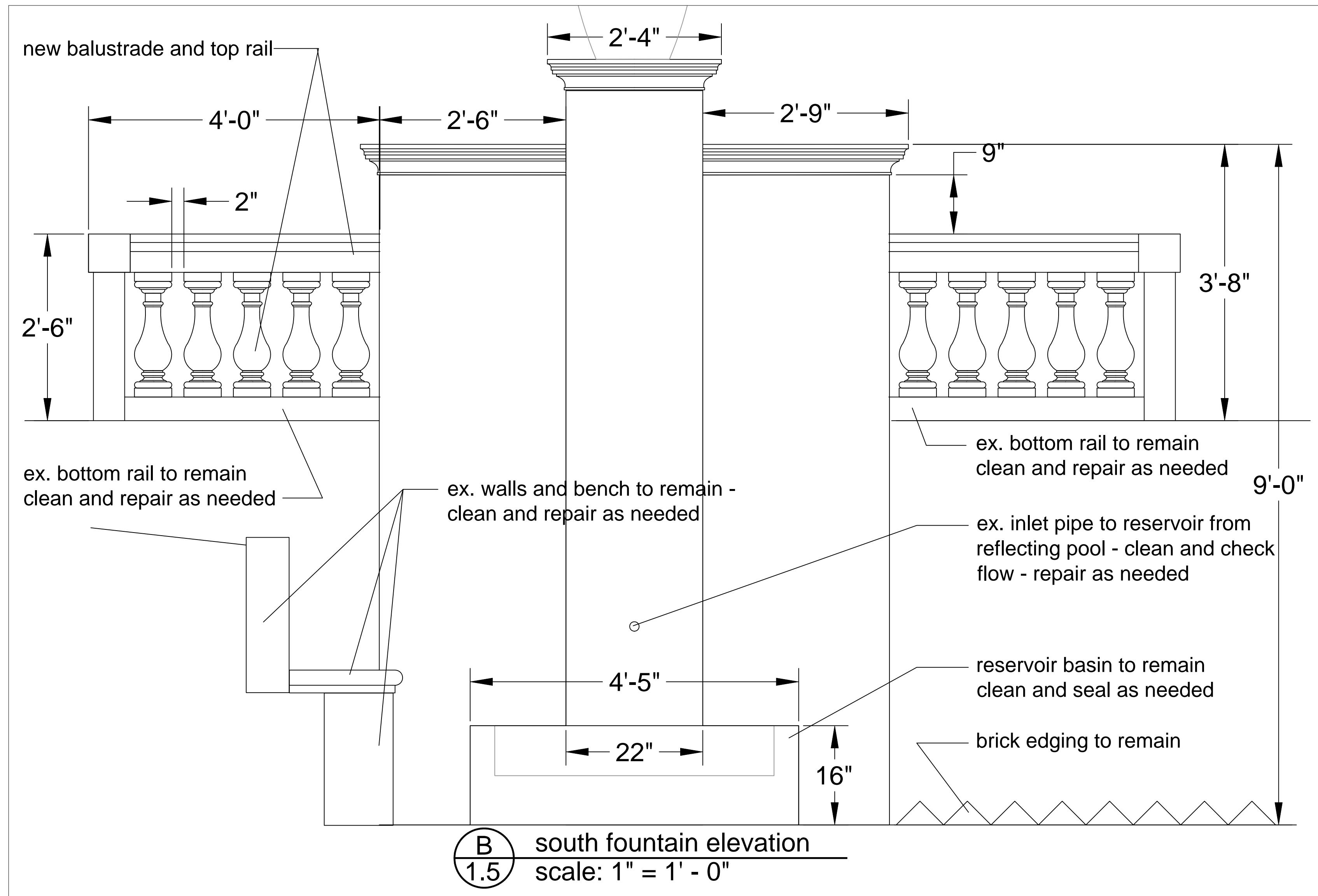
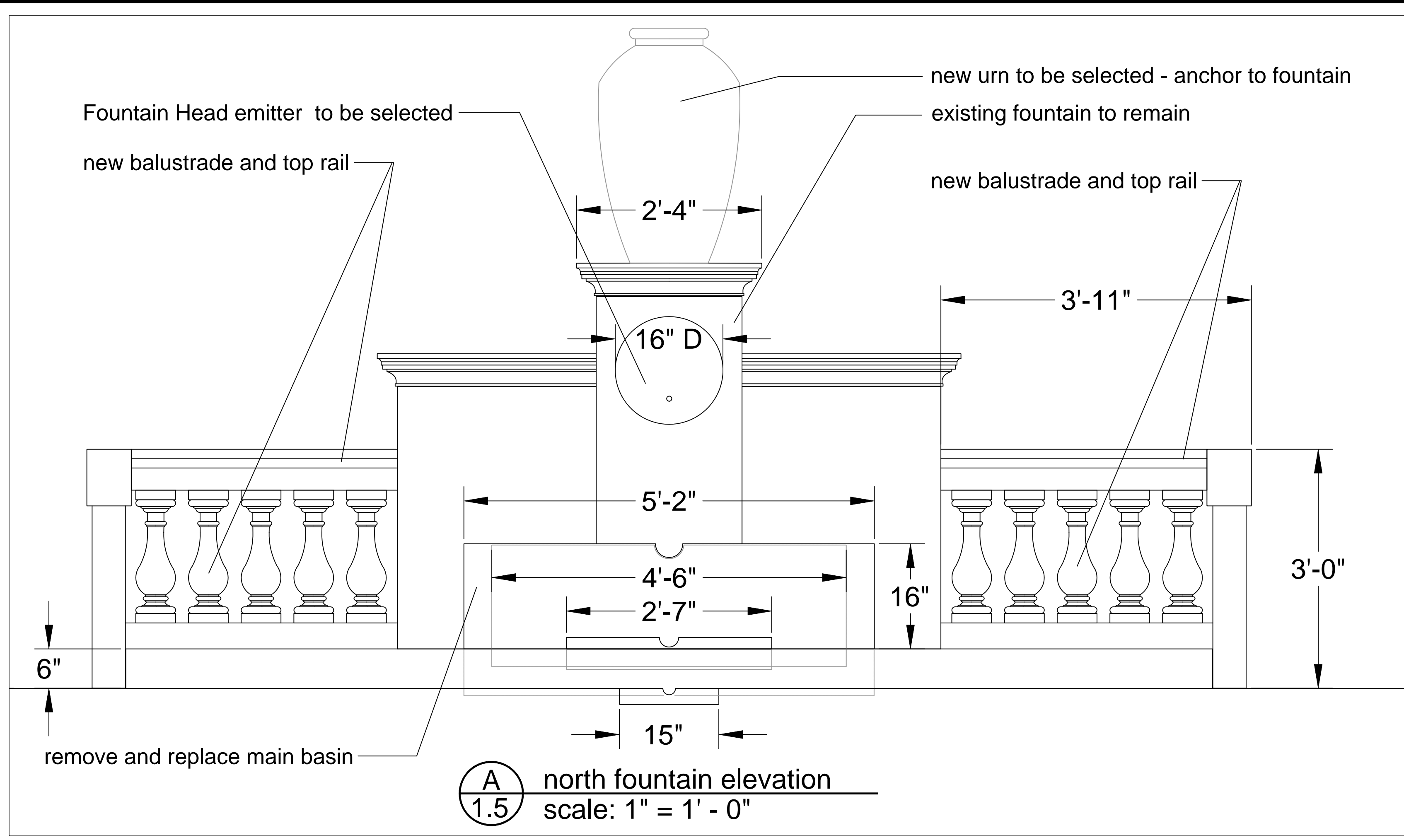


DATE	PURPOSE	BY
4.11.15	first issue review	MAA
4.24.15	second review submission	MAA
5.28.15	City Council review	MAA
12.30.15	80% bid set	MAA

scale:  
**as noted**

sheet title:  
**details & elevations**

sheet number:  
**L - 1.4**



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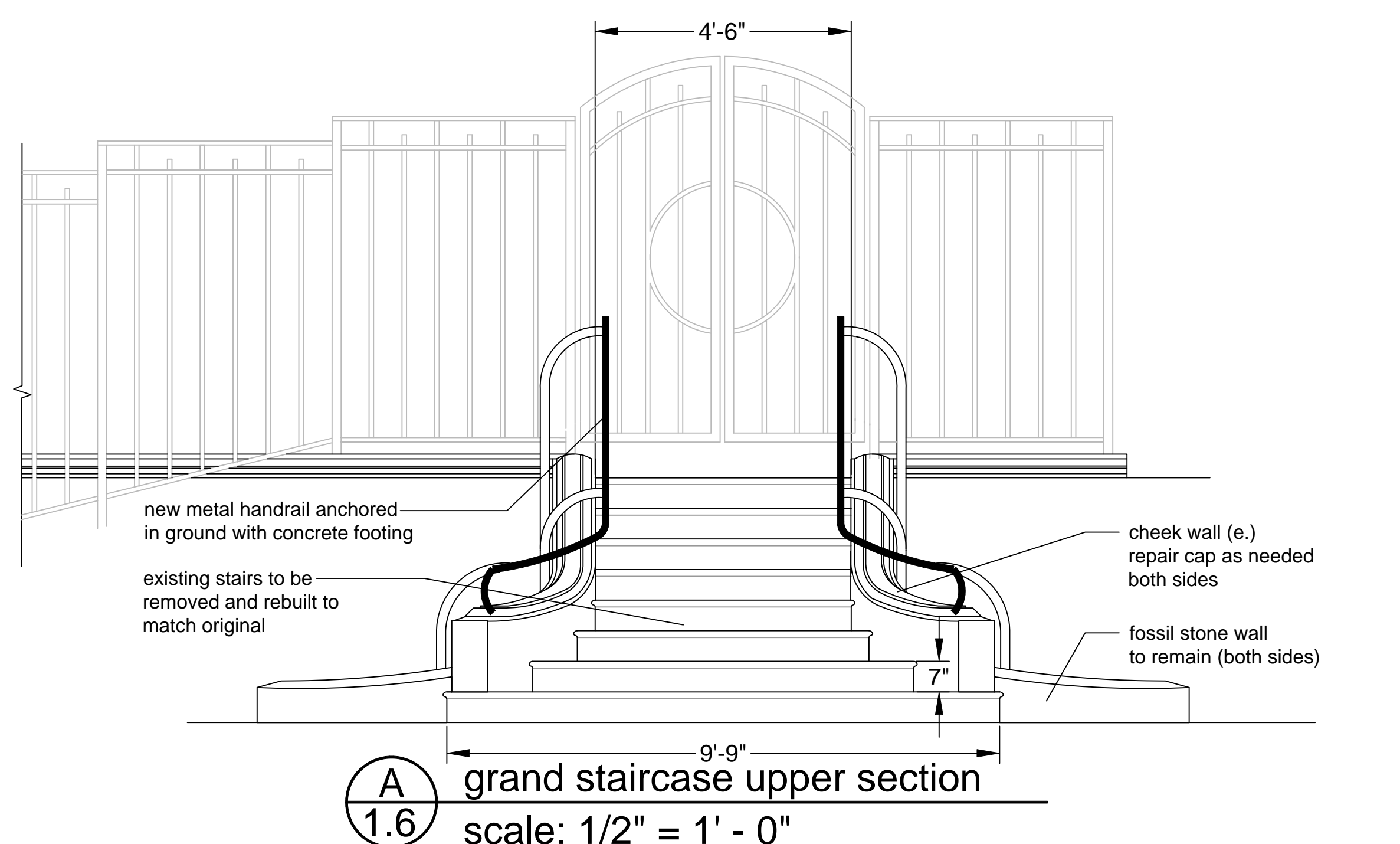
**RISPIN MANSION PARK**  
WHARF ROAD AND CLARES STREET  
CAPITOLA, CALIFORNIA



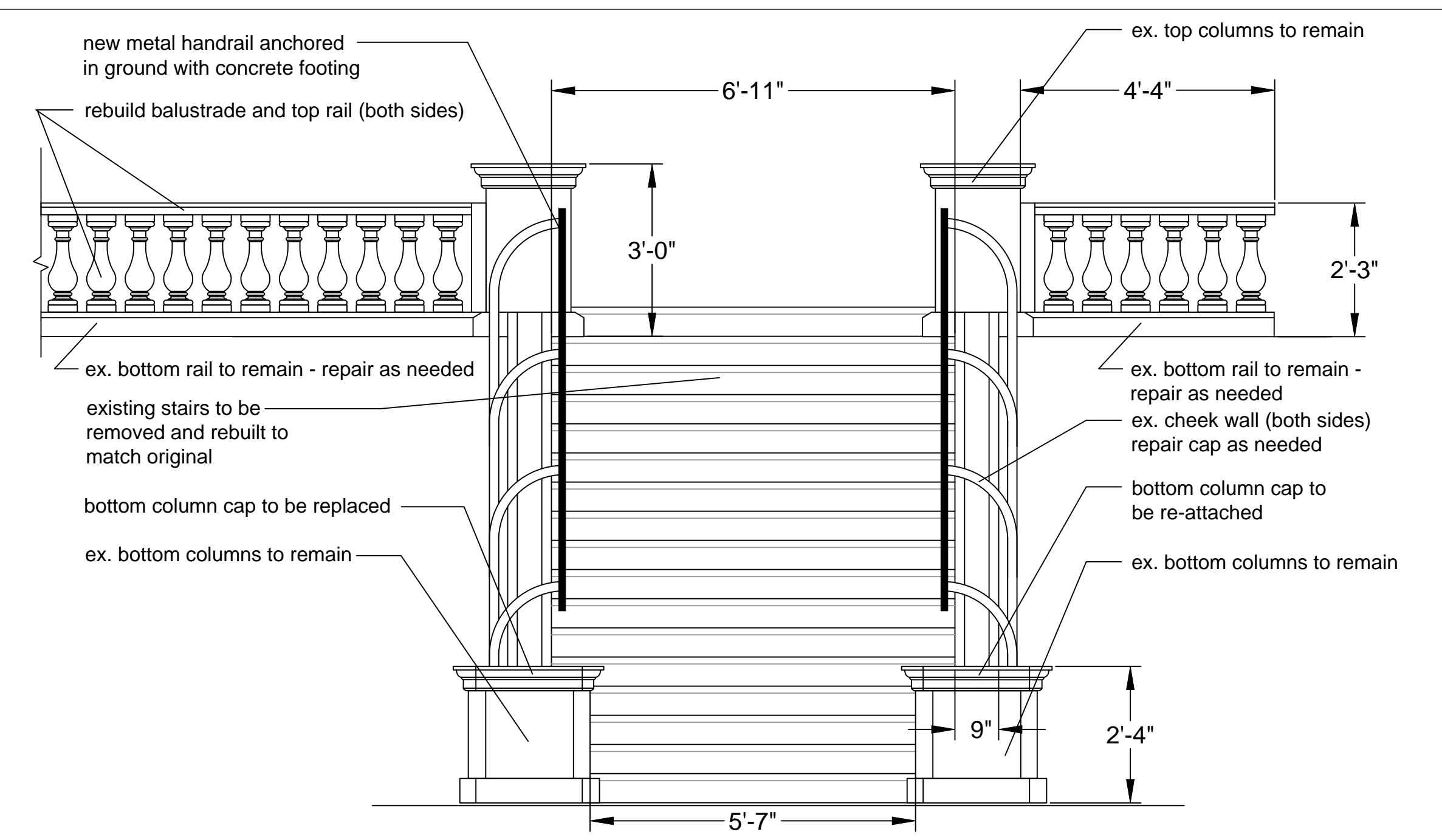
DATE	PURPOSE	BY
4.11.15	first issue review	MAA
4.24.15	second review submission	MAA
5.28.15	City Council review	MAA
12.30.15	80% bid set	MAA

scale:  
**as noted**  
sheet title:  
**details & elevations**

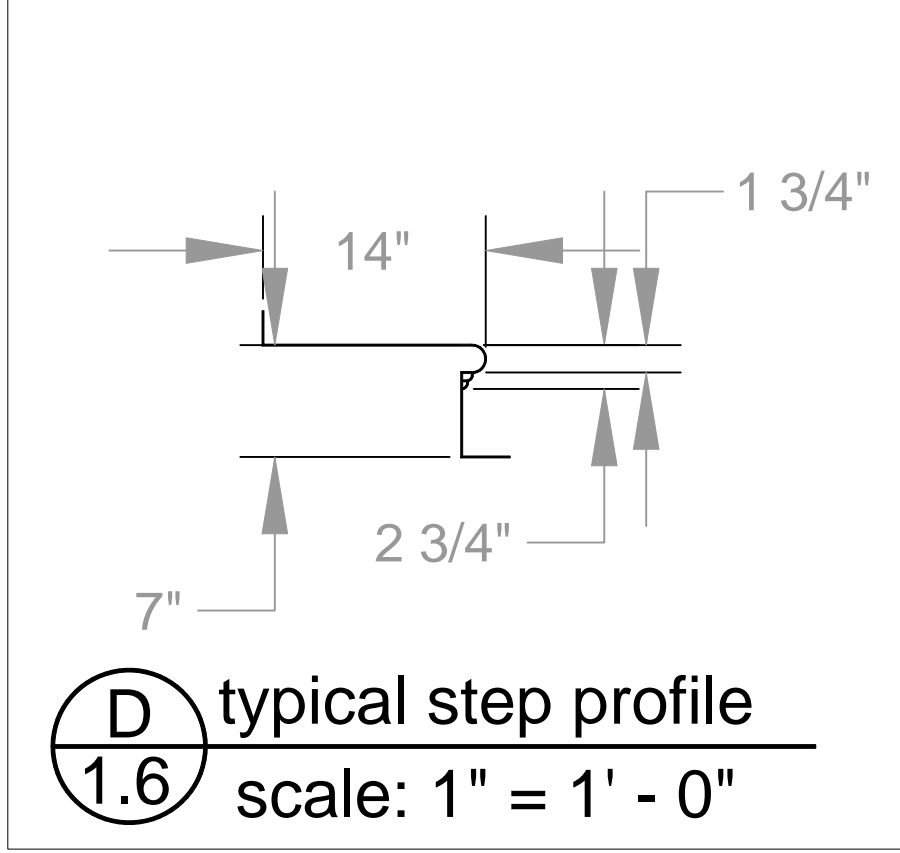
sheet number:  
**L - 1.5**



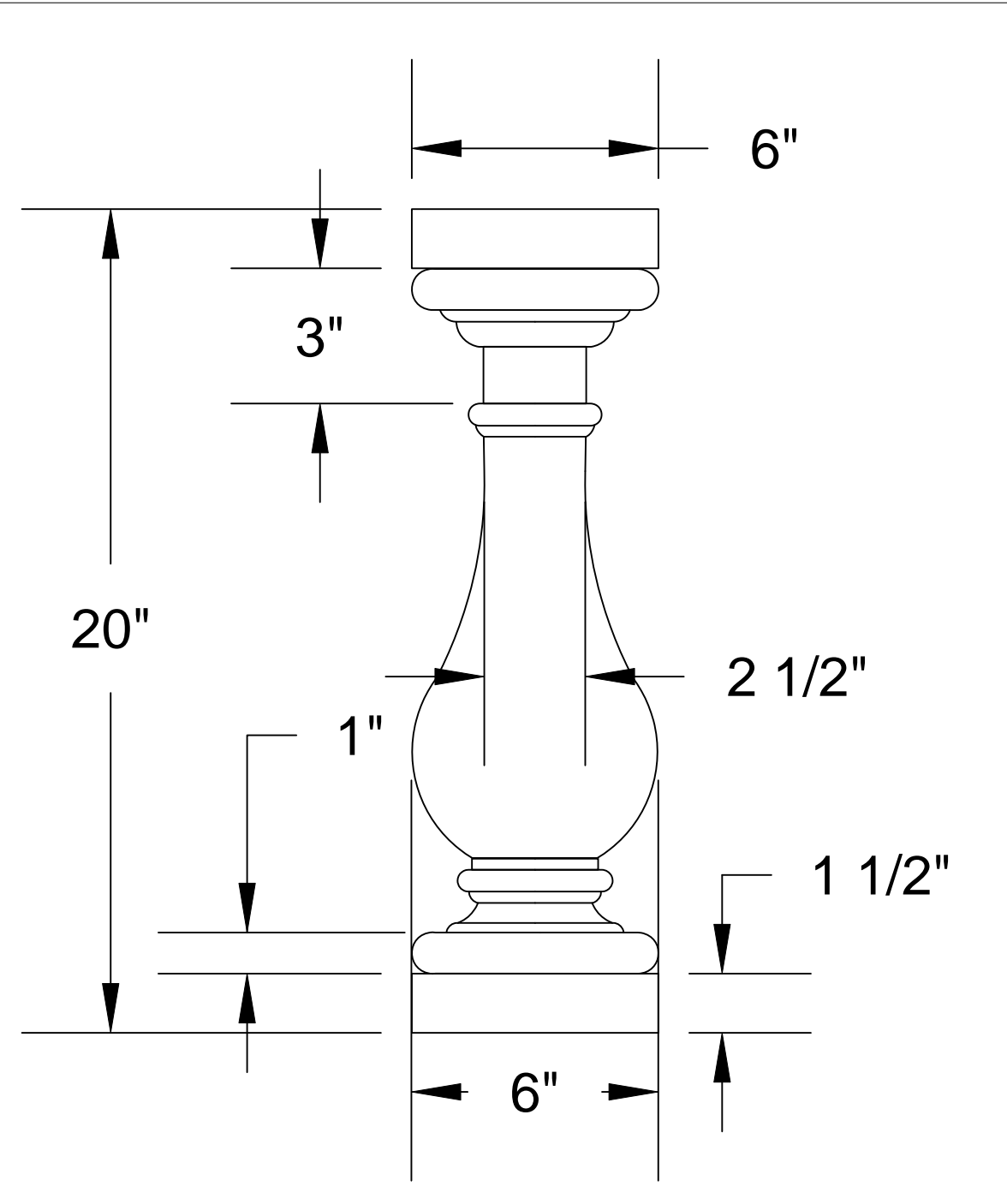
**A**  
1.6 grand staircase upper section  
scale: 1/2" = 1' - 0"



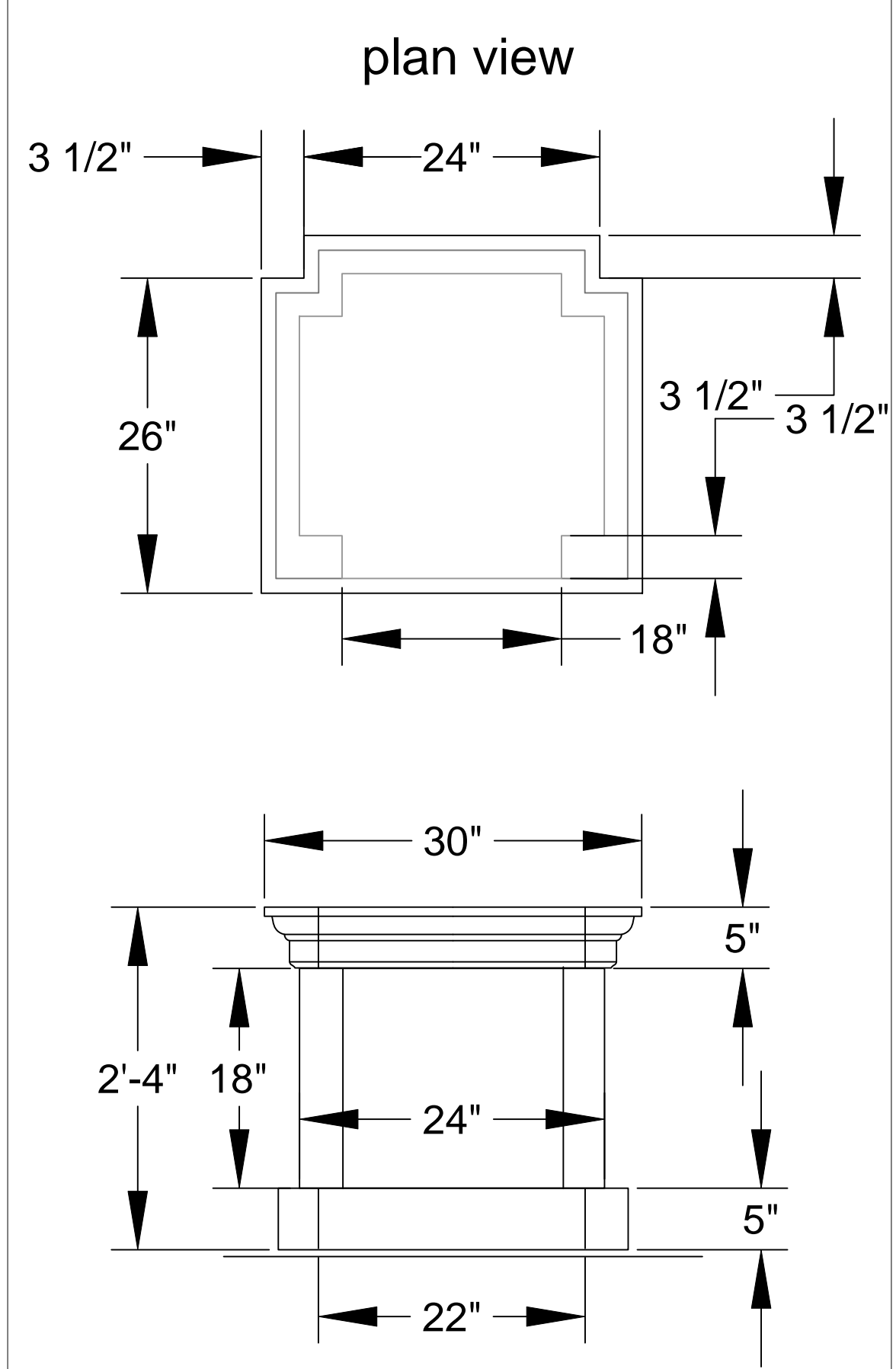
**B**  
1.6 grand staircase lower section  
scale: 1/2" = 1' - 0"



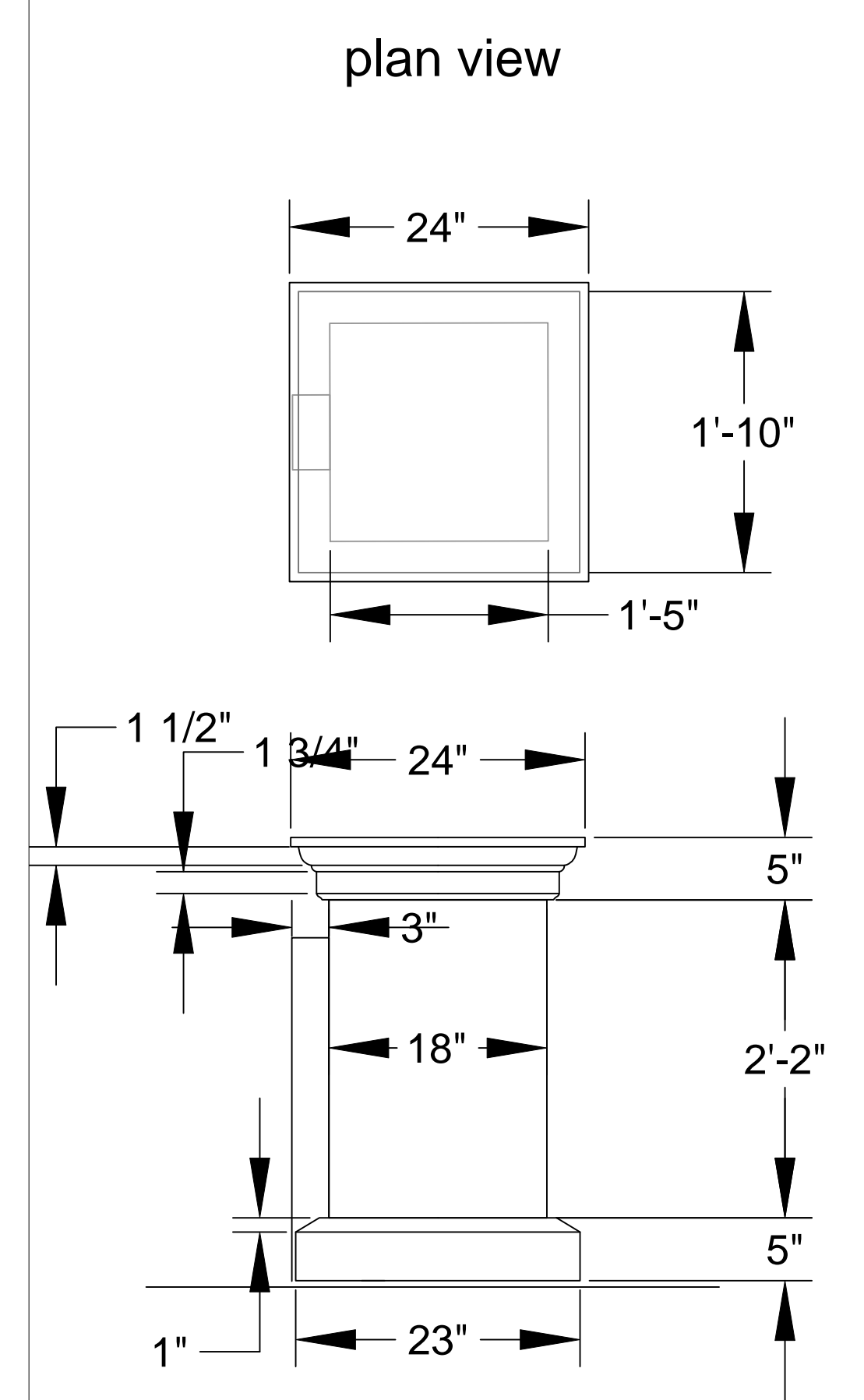
**D**  
1.6 typical step profile  
scale: 1" = 1' - 0"



**E**  
1.6 balustrade detail  
scale: 3" = 1' - 0"

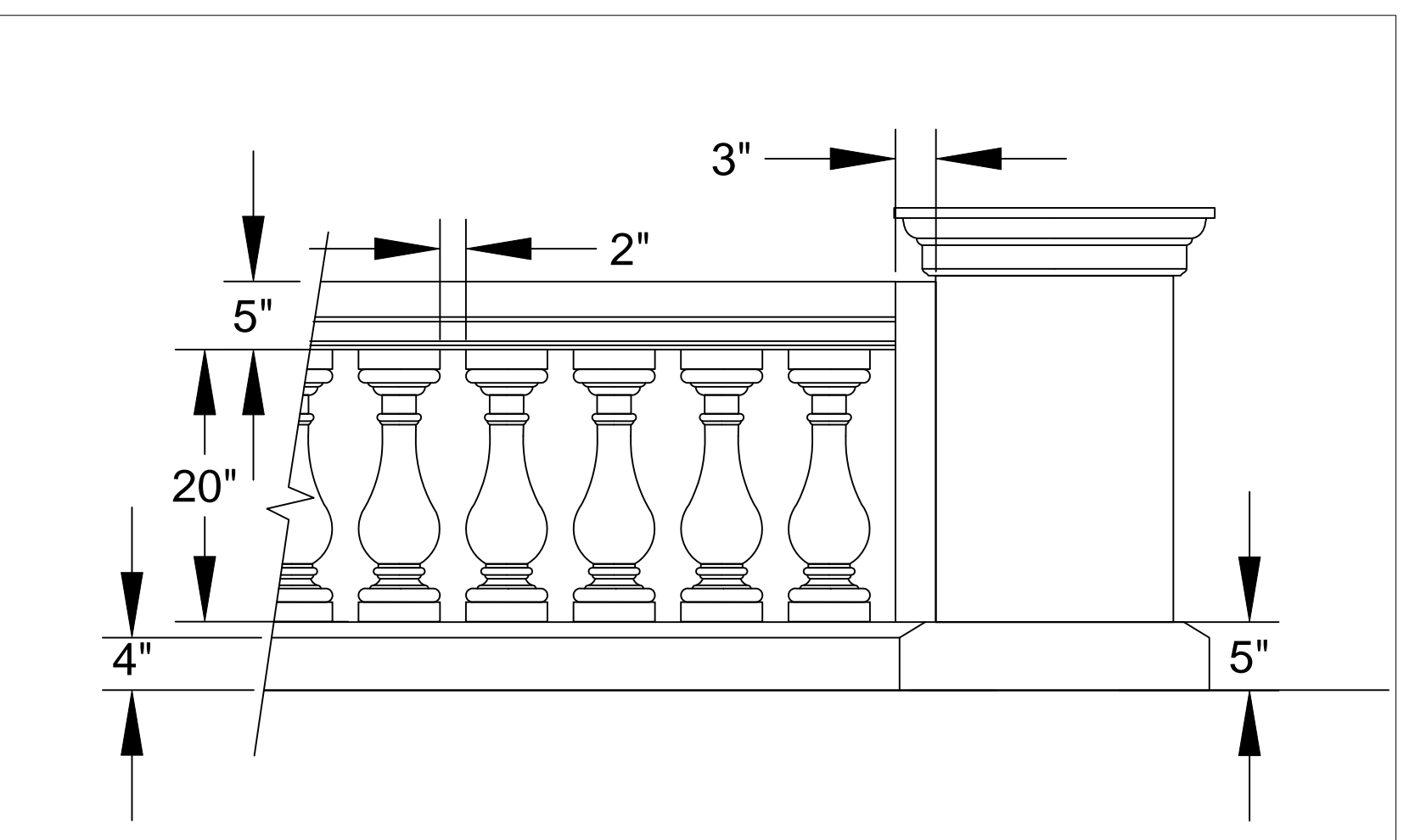


**G**  
1.6 lower staircase column  
scale: 1" = 1' - 0"

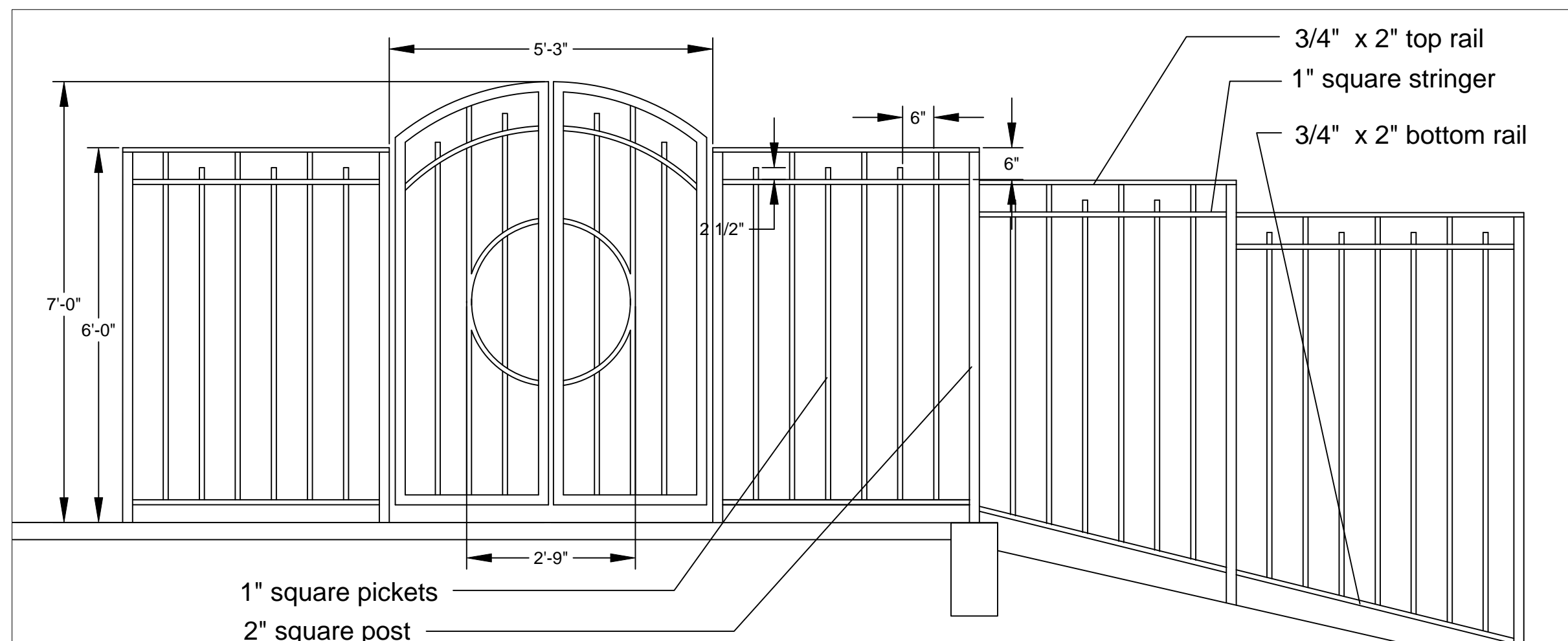


**H**  
1.6 upper staircase column  
scale: 1" = 1' - 0"

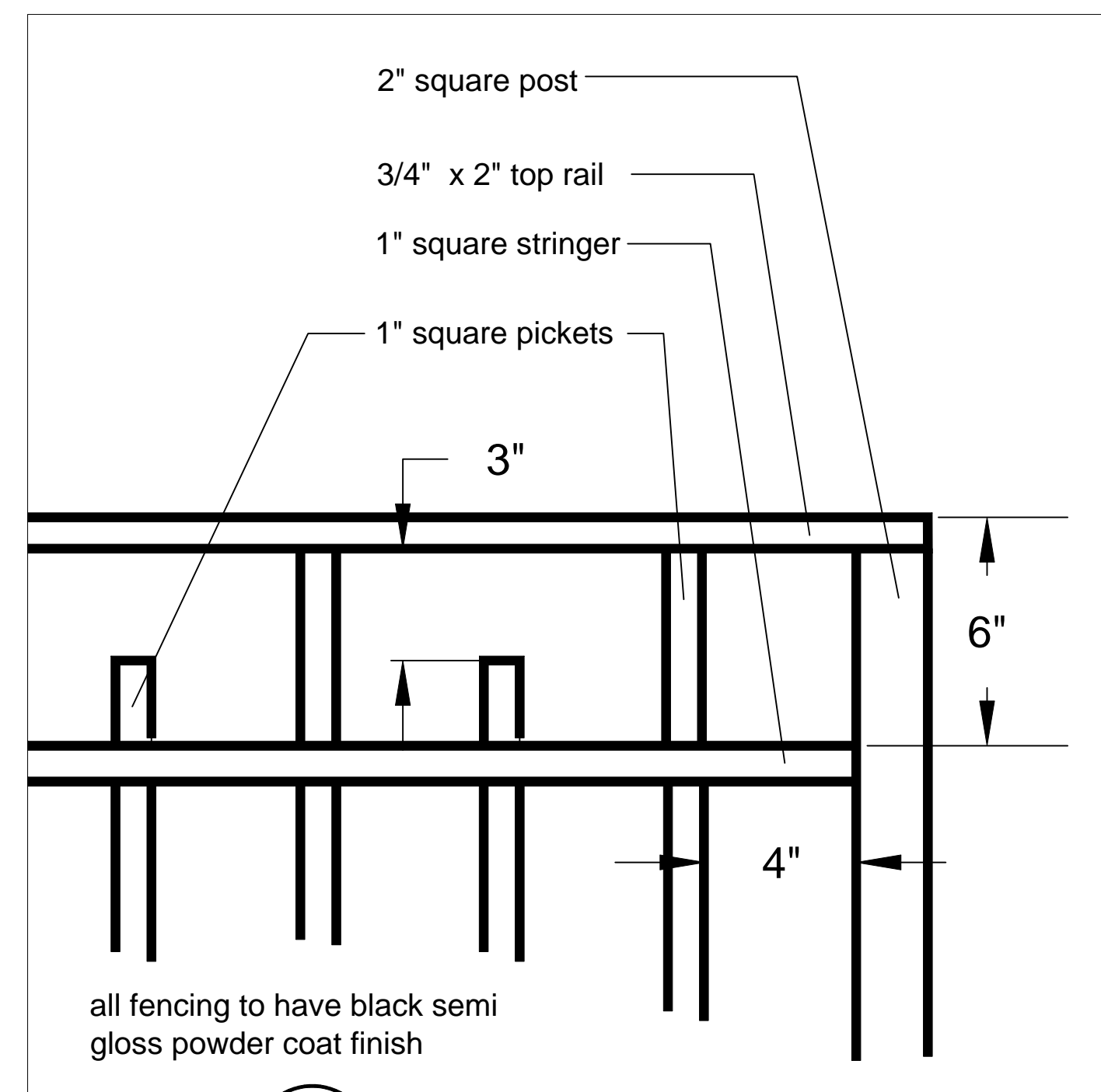
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**C**  
1.6 balustrade rail elevation  
scale: 1" = 1' - 0"



**F**  
1.6 metal fence and gate at grand staircase  
scale: 1/2" = 1' - 0"



**I**  
1.6 fence detail  
scale: 3" = 1' - 0"

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**RISPIN MANSION PARK**  
WHARF ROAD AND CLARES STREET  
CAPITOLA, CALIFORNIA

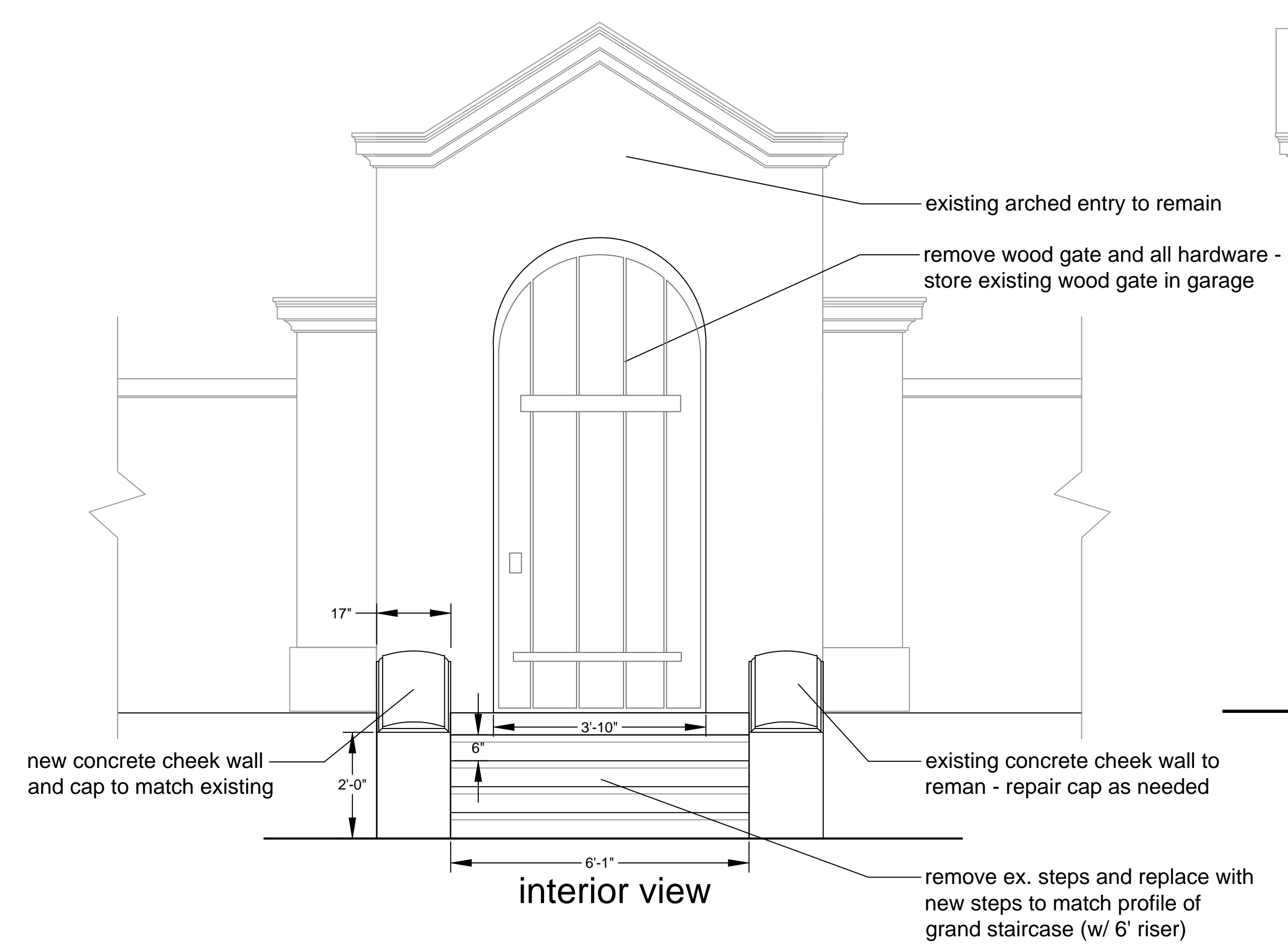


DATE	PURPOSE	BY
4.11.15	first issue review	MAA
4.24.15	second review submission	MAA
5.28.15	City Council review	MAA
12.30.15	80% bid set	MAA

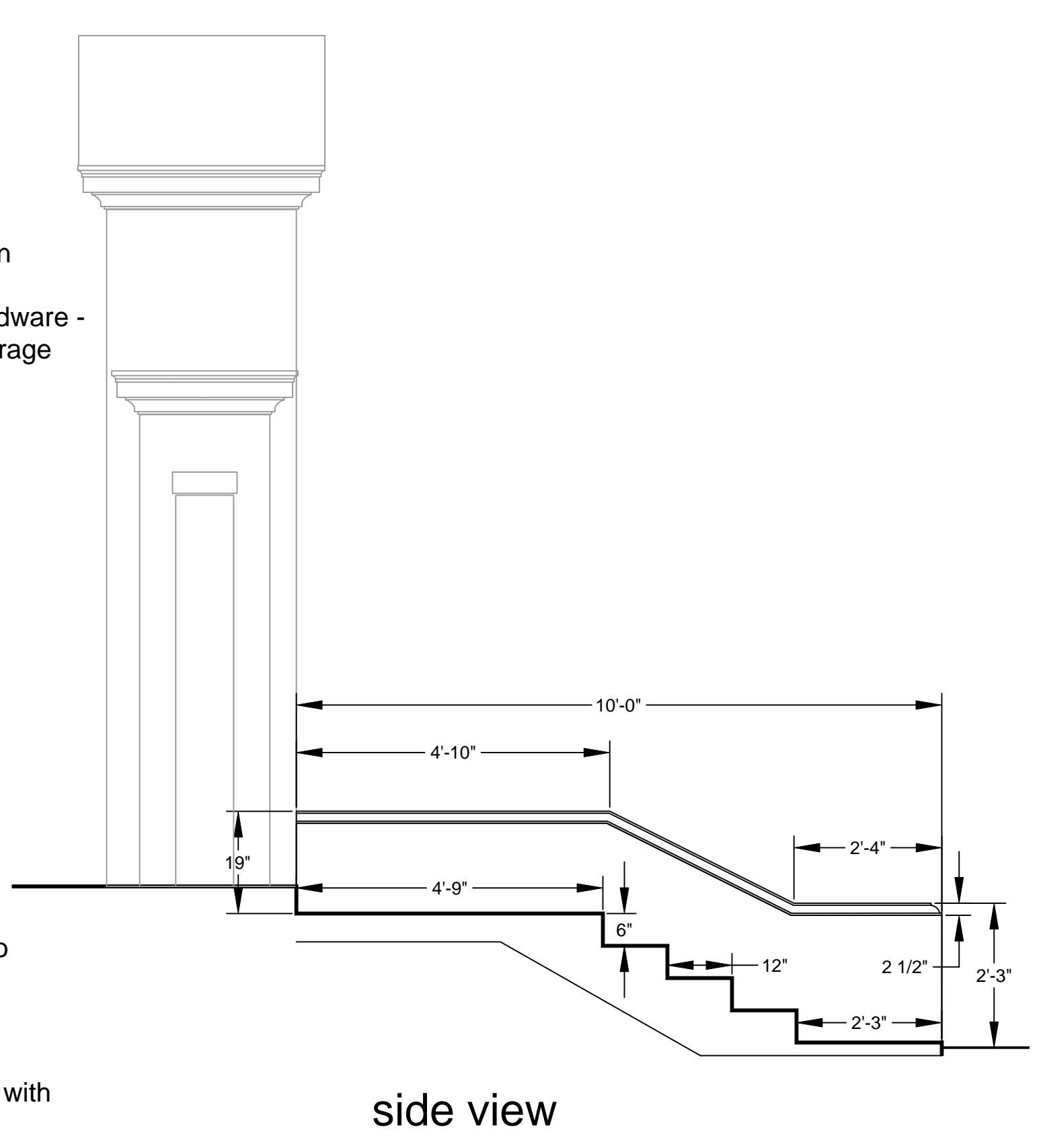
scale:  
**as noted**

sheet title:  
**details & elevations**

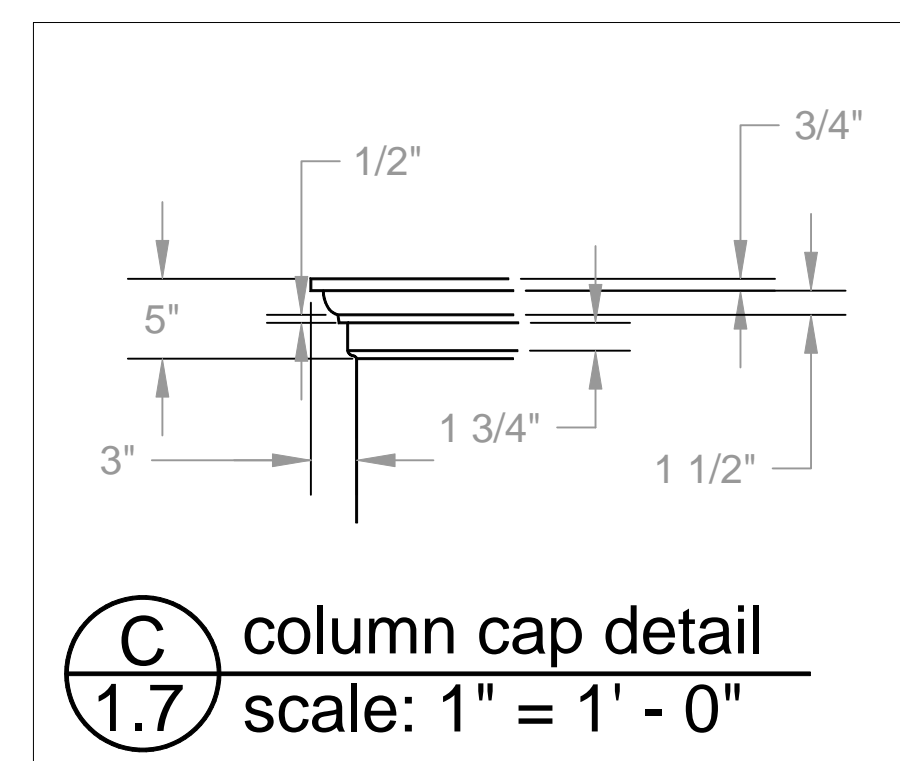
sheet number:  
**L - 1.6**



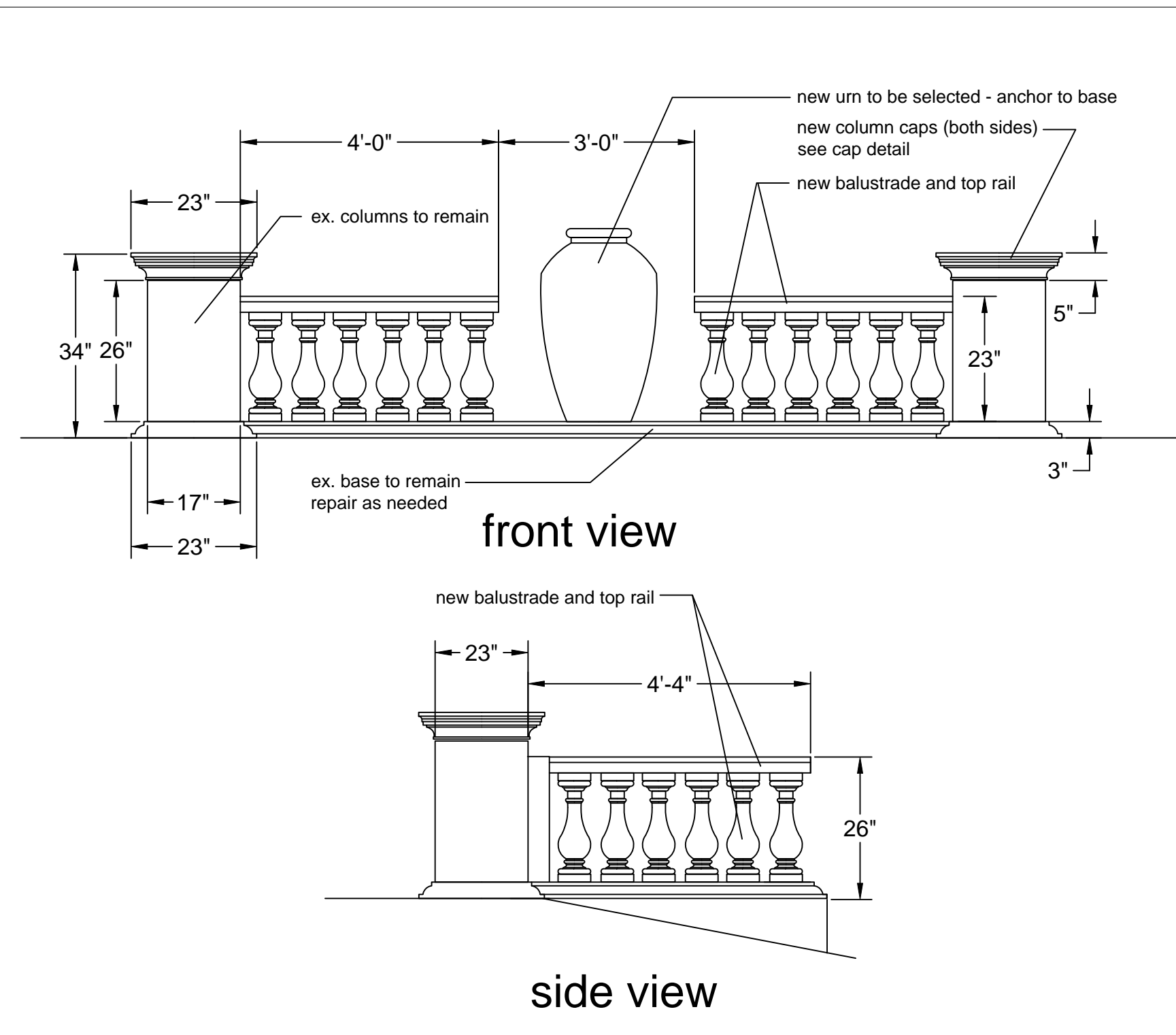
**A** east entry elevation  
1.7 scale: 1/2" = 1' - 0"



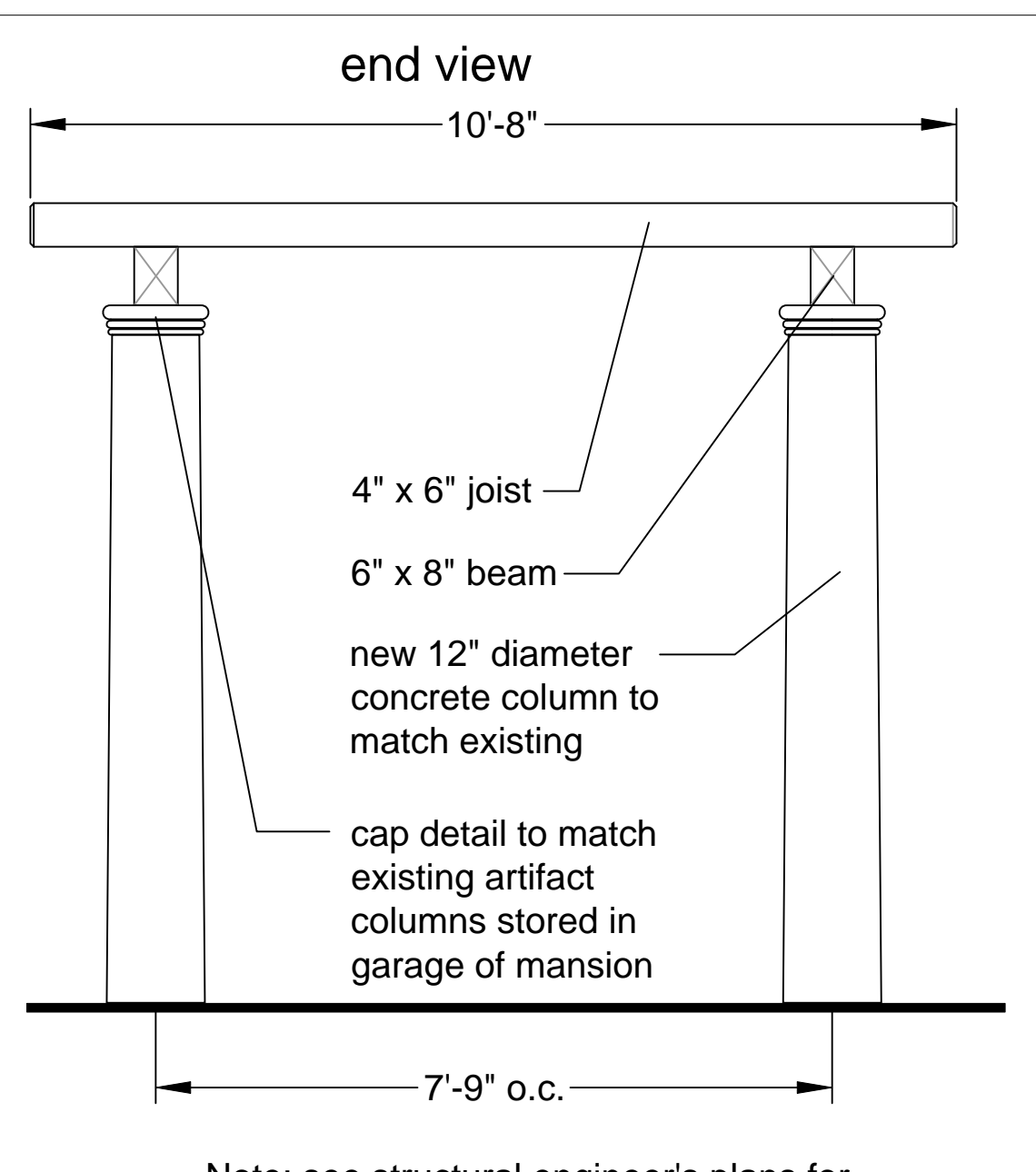
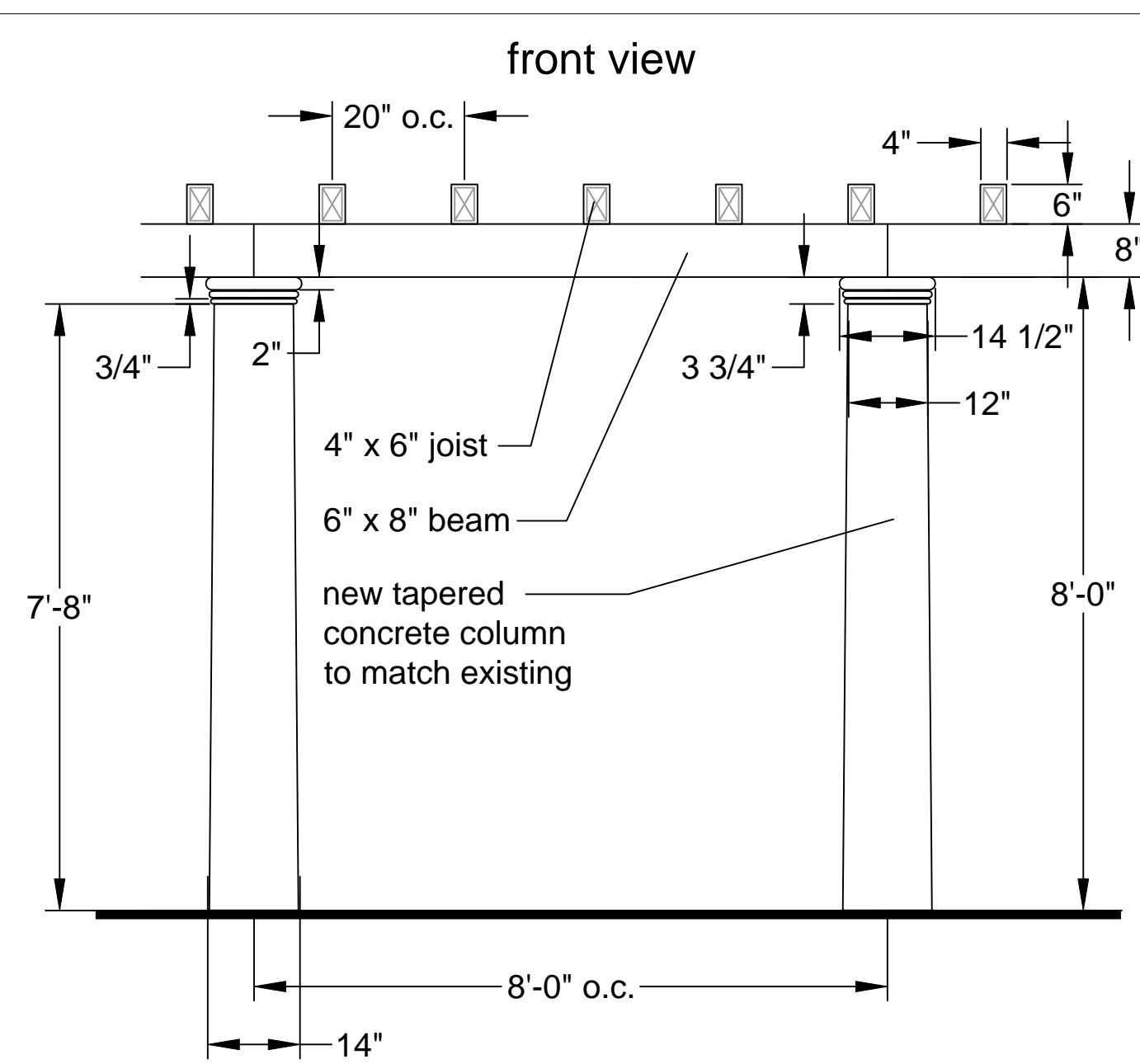
Note: see structural engineer's plans for column footing detail and specifications



**C** column cap detail  
1.7 scale: 1" = 1' - 0"



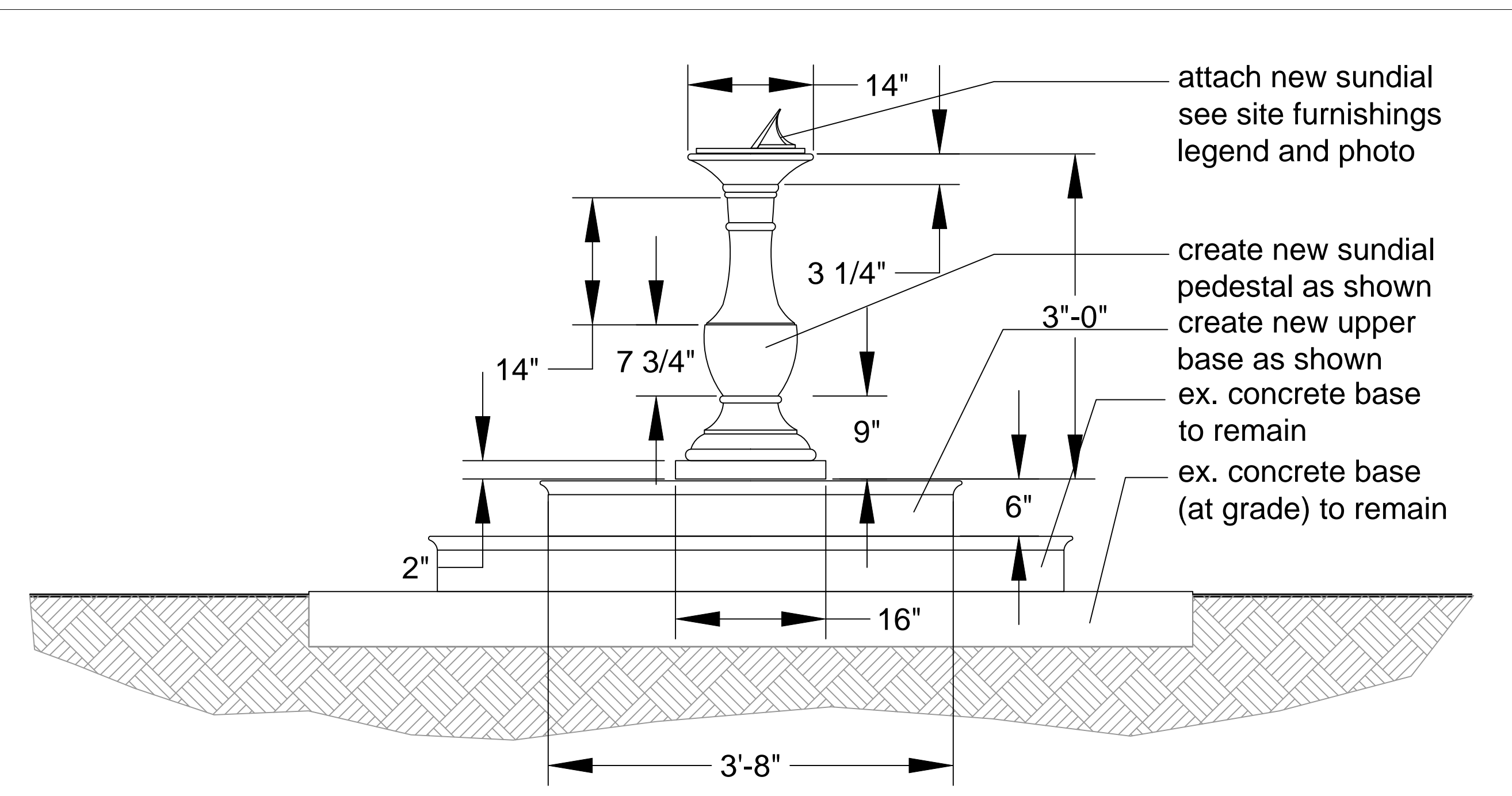
**D** look out elevation  
1.7 scale: 1/2" = 1' - 0"



**B** arbor elevation  
1.7 scale: 1/2" = 1' - 0"

inside row of columns are 8' on center, as shown above; the last set of columns on the outside are 10'-0" o.c.; the remaining columns on the outside row (not shown) are 11' - 9" on center

Note: see structural engineer's plans for column footing detail and specifications



**E** sundial pedestal elevation  
1.7 scale: 1" = 1' - 0"

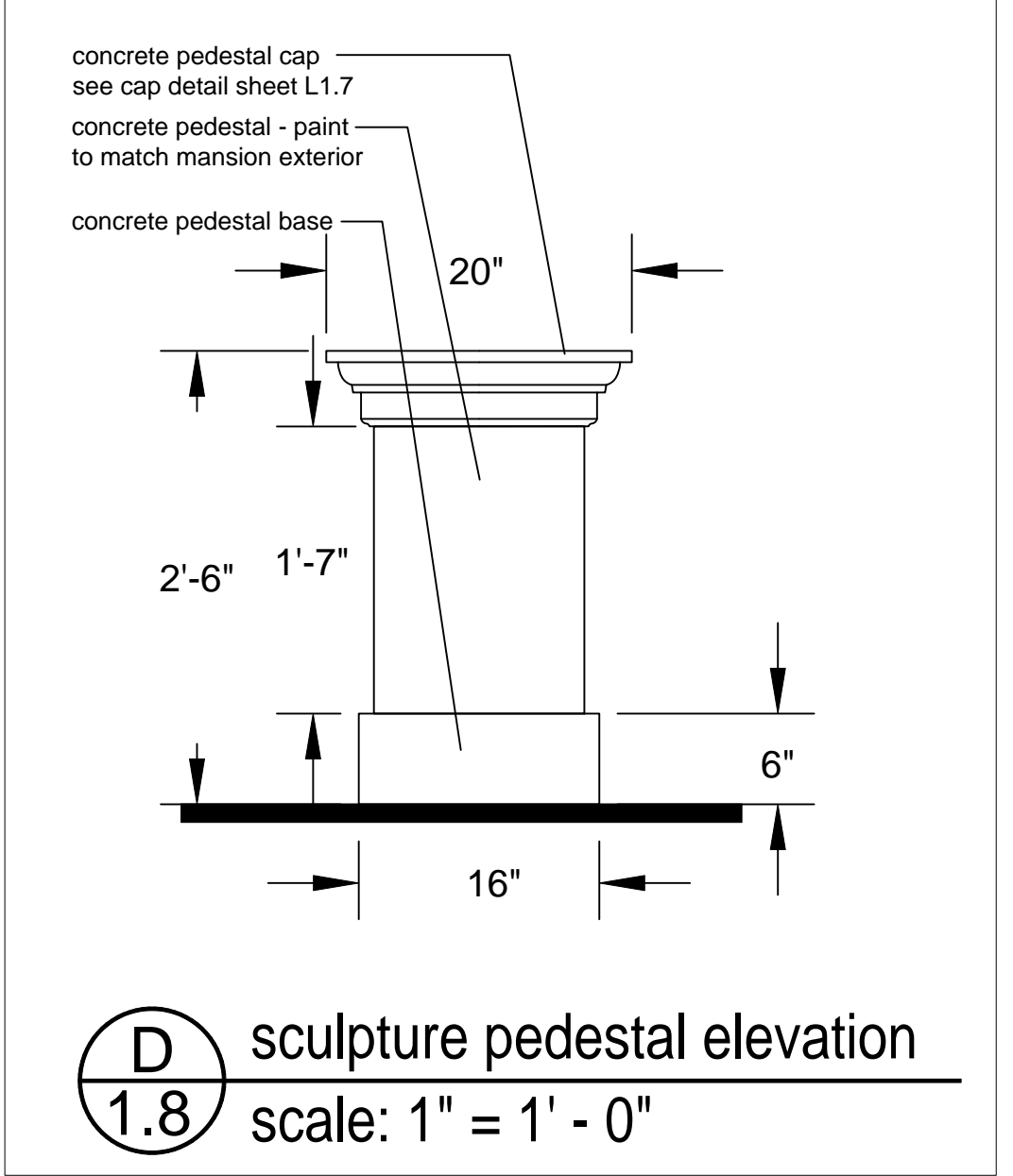
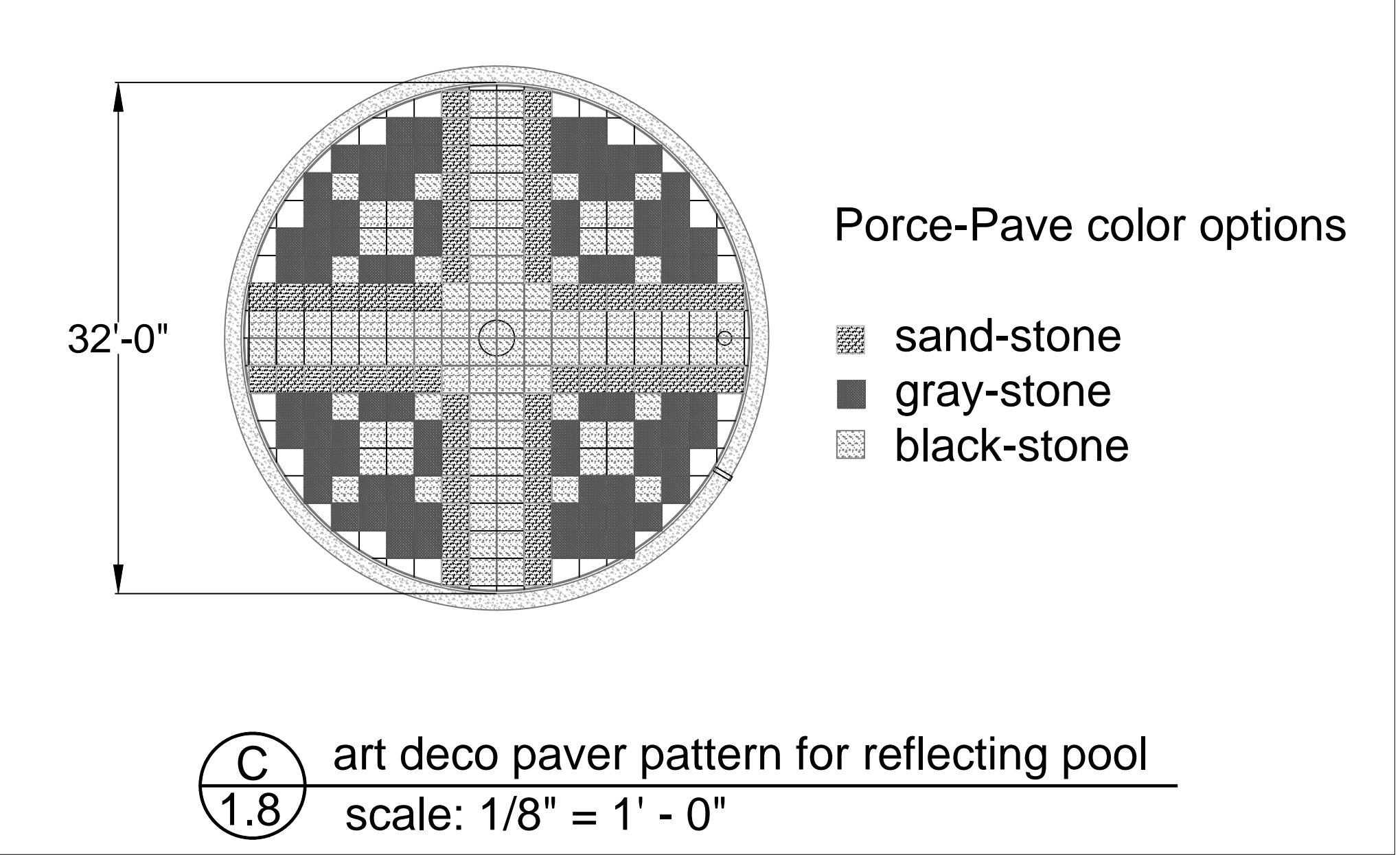
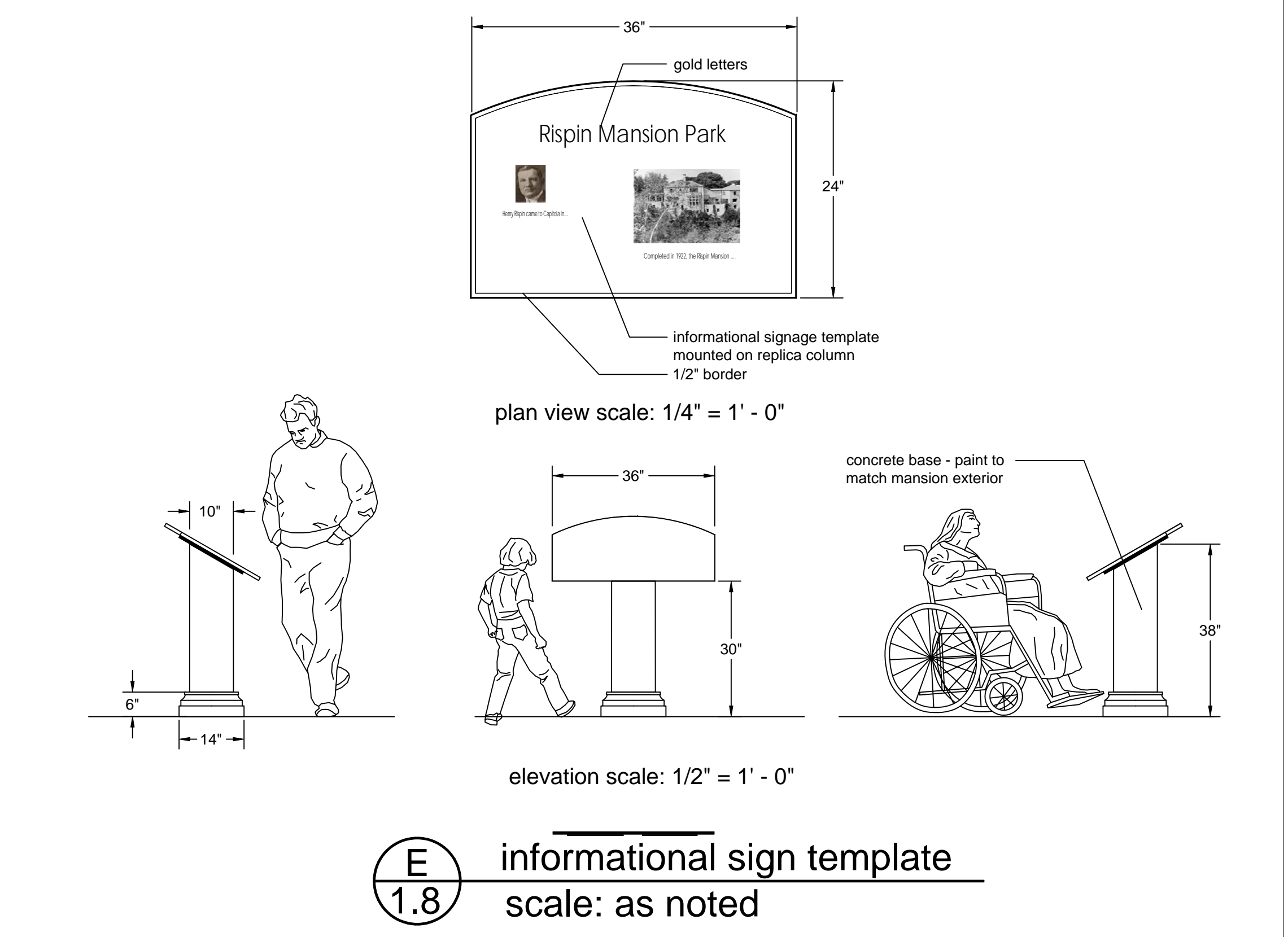
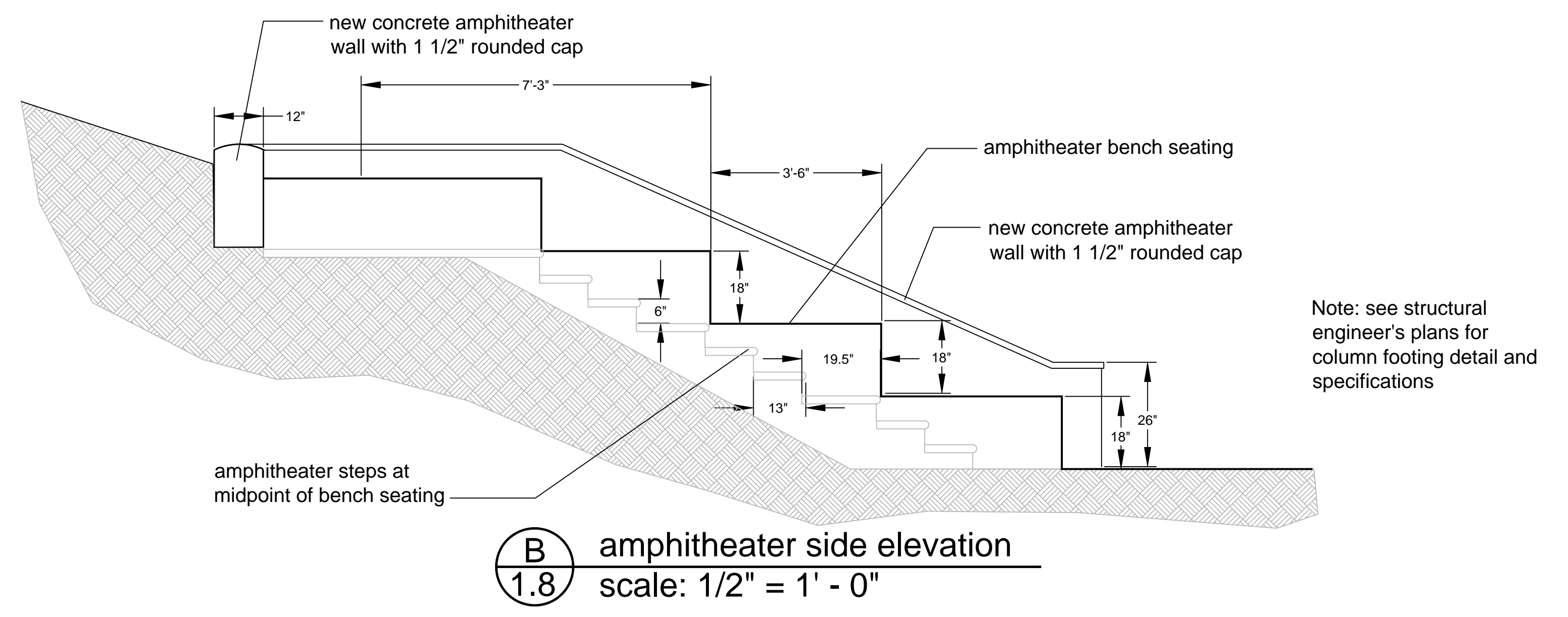
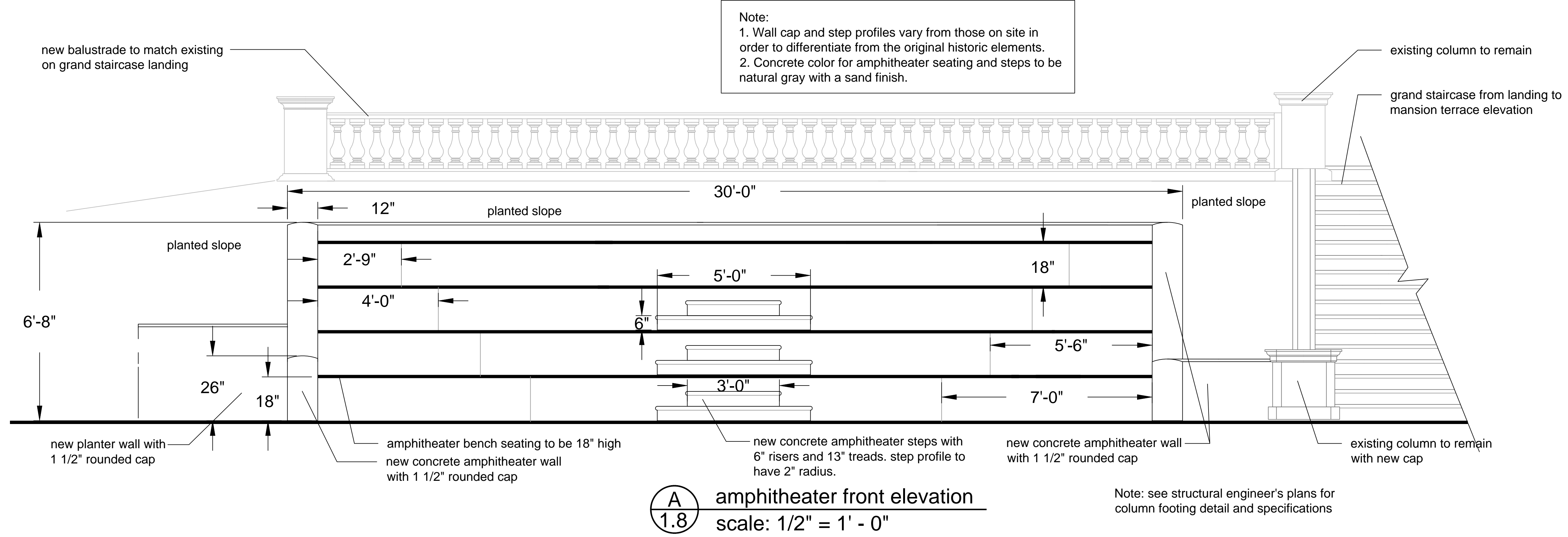


DATE	PURPOSE	BY
4.11.15	first issue review	MAA
4.24.15	second review submission	MAA
5.28.15	City Council review	MAA
12.30.15	80% bid set	MAA

scale:  
**as noted**

sheet title:  
**details & elevations**

sheet number:  
**L - 1.7**



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**RISPIN MANSION PARK**  
 WHARF ROAD AND CLARES STREET  
 CAPITOLA, CALIFORNIA



DATE	PURPOSE	BY
4.11.15	first issue review	MAA
4.24.15	second review submission	MAA
5.28.15	City Council review	MAA
12.30.15	80% bid set	MAA

scale:  
**as noted**

sheet title:  
**details & elevations**

sheet number:  
**L - 1.8**

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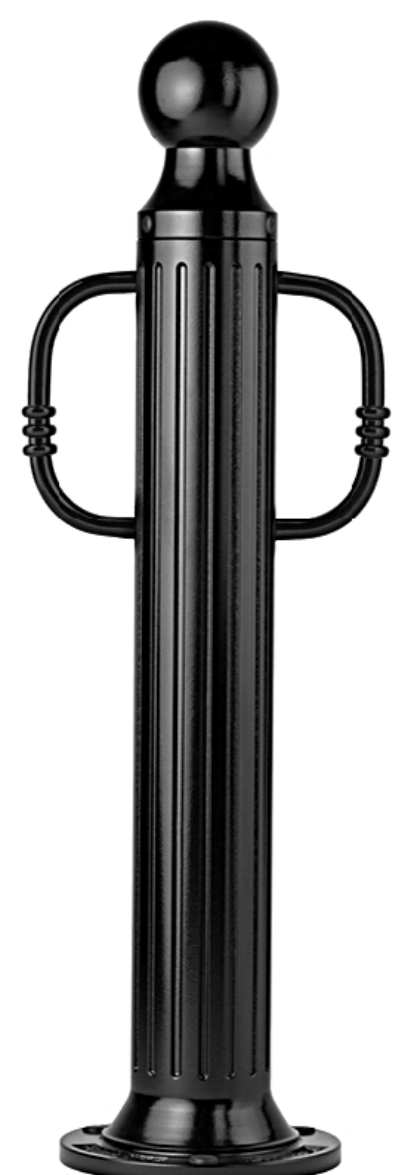
sundial



concrete bench



drinking fountain



bike bollard

### Site Furnishings Legend

Key	Description	Quantity	Manufacturer	Model #	Color/Finish
□	3' Concrete Bench for fountain and outlook	4	Pottery Planet 831.465.9216 2600 Soquel Ave, Santa Cruz	to be selected	stone gray
○	Container w/ Color for fountain and outlook	2		tall urn style to be selected	Red
□	Container w/ Color for grandstaircase columns	4		square style to be selected	Red
not shown	Acanto Fountain Emitter	1	Fountains Unique 949.305.7372 www.fountainsunique.com	No. M5822	9 1/2" diameter Distressed Copper, 3 GPM flow
■	Accessible Chess Table	1	Kenneth Lynch & Sons 203.264.2831 www.klynchandsons.com	6732 (chess table)	Concrete table top with metal legs
■	with two Benches	1		6737C (bench)	Wood slats with metal legs
⊖	Pelican Sundial	1		No. 2554 Hourglass and Pelican Sundial	11 1/2" diameter Bronze
⊖	Bike Post Bollard	4	Reliance Foundry 888.735.5680 www.reliance-foundry.com	R-7530-B Cuttile Iron Bike Bollard	39" High w/ two loops; Black Textured Semi Gloss finish
⊖	Historical Series Accessible Pedestal Drinking Fountain	1	Most Dependable Fountains, Inc. www.mostdependable.com 800.552.6331	2008 SM	"Hi-Lo" barrier-free antique historic style heavy-duty aluminum alloy pedestal Textured Bergundy powder coat finish
■	6' Metal Bench with armrest	12	DuMor, Inc., Site Furnishings 800.596.4018 www.dumor.com	Bench 57 - 60PL - 3AR	6' long recycled plastic bench w/ armrest Deep Red color base w/ Cedar color recycled plastic top
○	Trash Receptacle	3		Receptacle 107 32 gal.	Steel with Deep Red Powder Coat finish
○	Recycling Container	3		Receptacle 107 32 gal.	Steel with Deep Red Powder Coat finish
■	Table/Benches	1		77 Series PL 6', (2) 6' benches with surface plate mount	Deep Red color base w/ Cedar color recycled plastic top
■	Accessible Table/Benches	1		77 - 68 - 1 PL table 8', (2) 5' benches with surface plate mount	Deep Red color base w/ Cedar color recycled plastic top
⊖	Street Light fixture on Light Pole	8	Sternberg Lighting 510.638.3800 www.sternberglighting.com	AVENUE Series- B750SRLED Barrington 5201-SS Base on 5216 - FP5 - GFI - OI light pole	Olde Iron finish Acorn Style w/ roof mounted downlighting optics and LED light source with white textured polycarbonate acorn 5" fluted 16' high Old Iron finish pole with GFI
⊖	DOG STATION	2	DOODY CALLS DIRECT doodycallsdirect.com	THE SENTRY STATION	GREEN ANCHOR TO CONCRETE FOOTING
■	WALL MOUNT SIGN	3	TO BE SELECTED	PORCELAIN ENAMEL	LIGHT CREAM FIELD WITH GOLD TITLE LETTERING SELECTION OF PHOTOGRAPHS AND TEXT TO BE AND DESIGNED FOR APPROVAL BY CITY
■	PEDESTAL MOUNT SIGN	2	TO BE SELECTED	PORCELAIN ENAMEL	



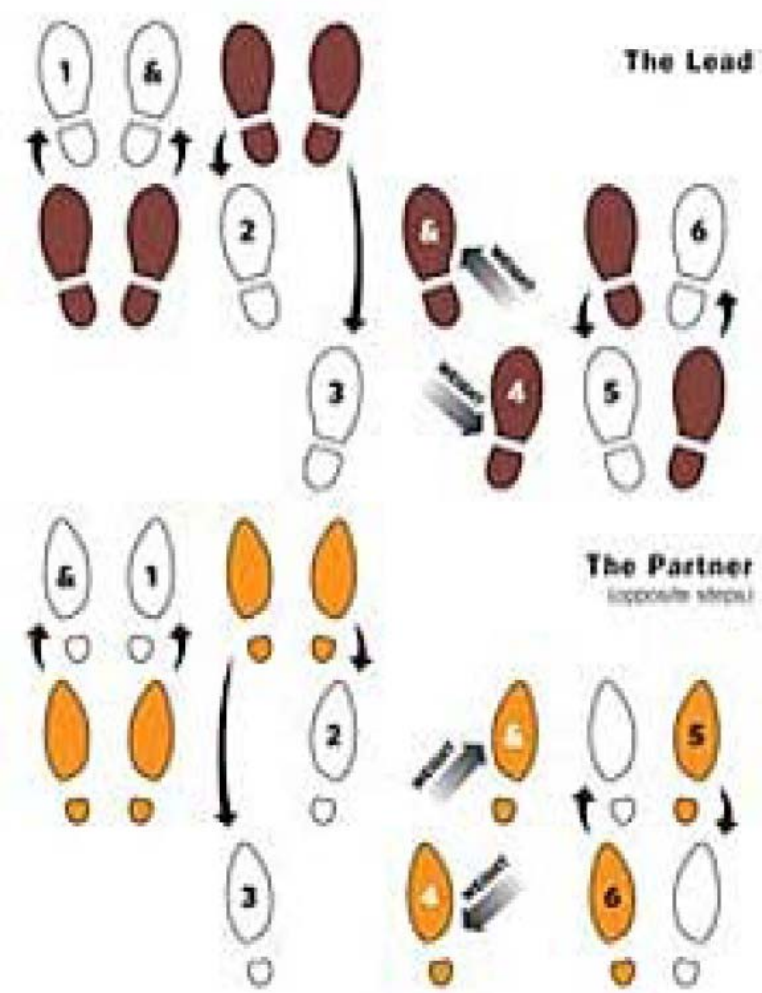
dog clean up station



Acorn style park light



trash/recycling receptacles



Charleston dance steps



park table



game table



game table with benches



park bench



fountain head

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**RISPIN MANSION PARK**  
WHARF ROAD AND CLARES STREET  
CAPITOLA, CALIFORNIA



DATE	PURPOSE	BY
4.11.15	first issue review	MAA
4.24.15	second review submission	MAA
5.28.15	City Council review	MAA
12.30.15	80% bid set	MAA

scale: not to scale

sheet title: site furnishings

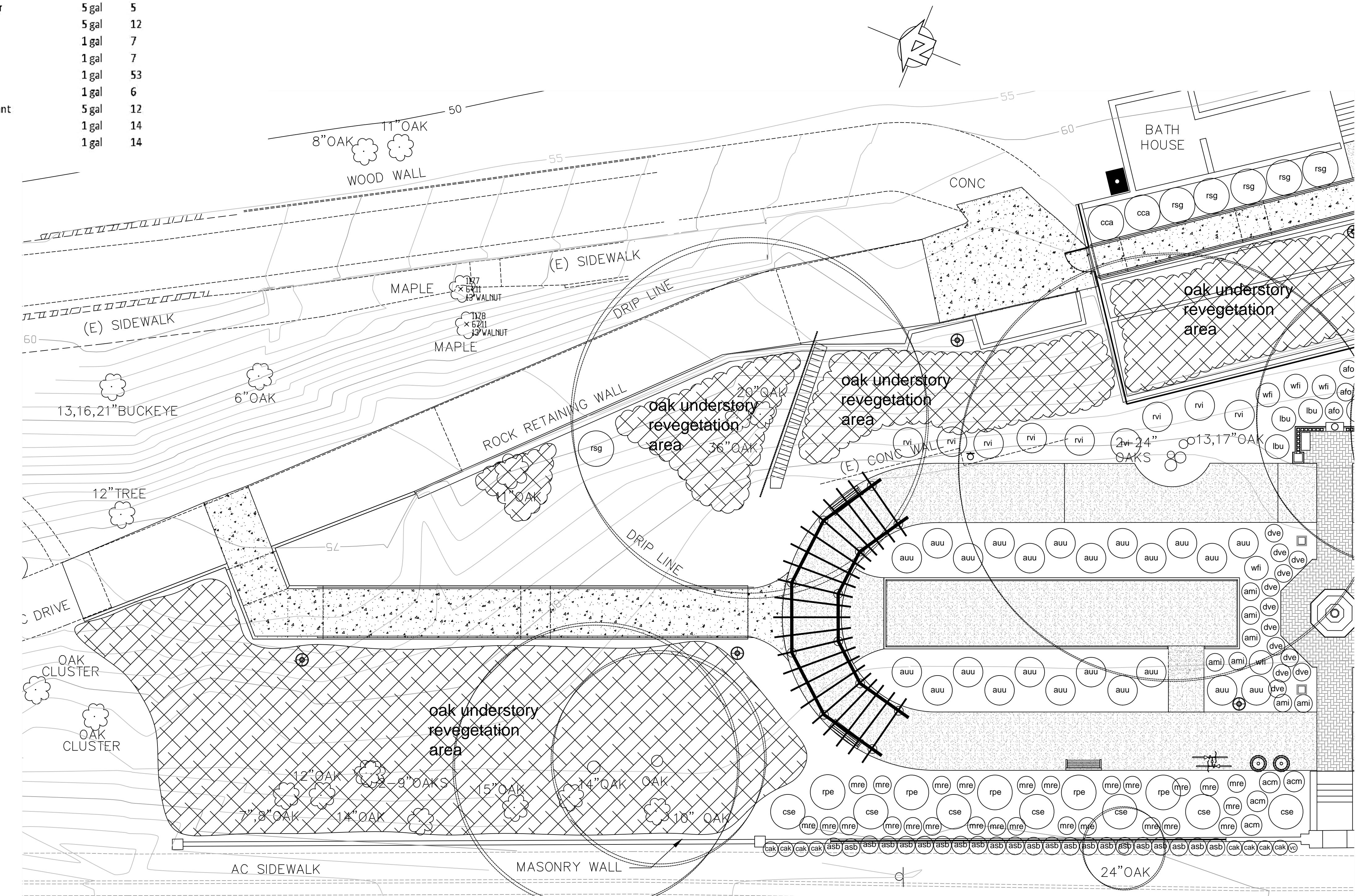
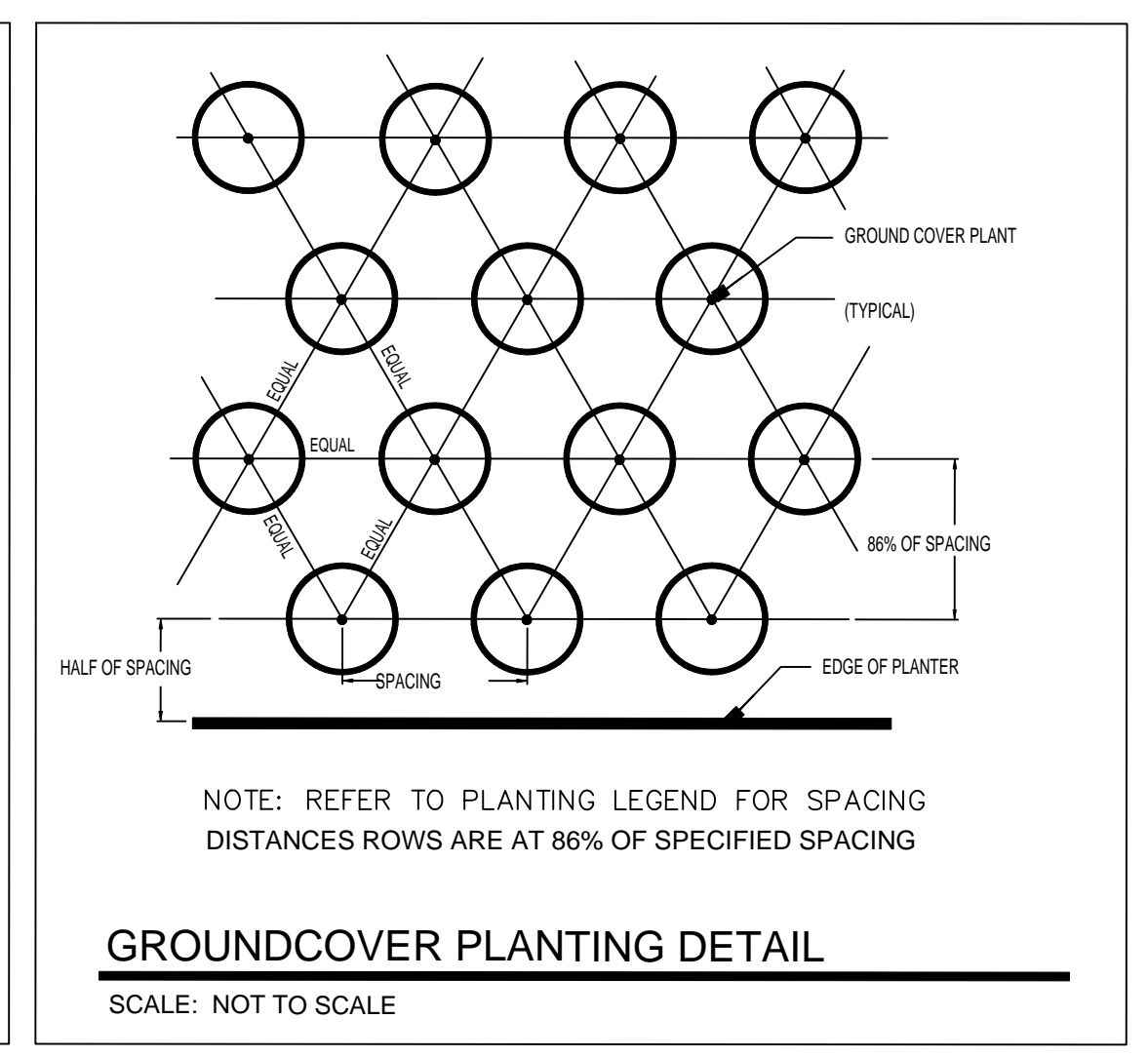
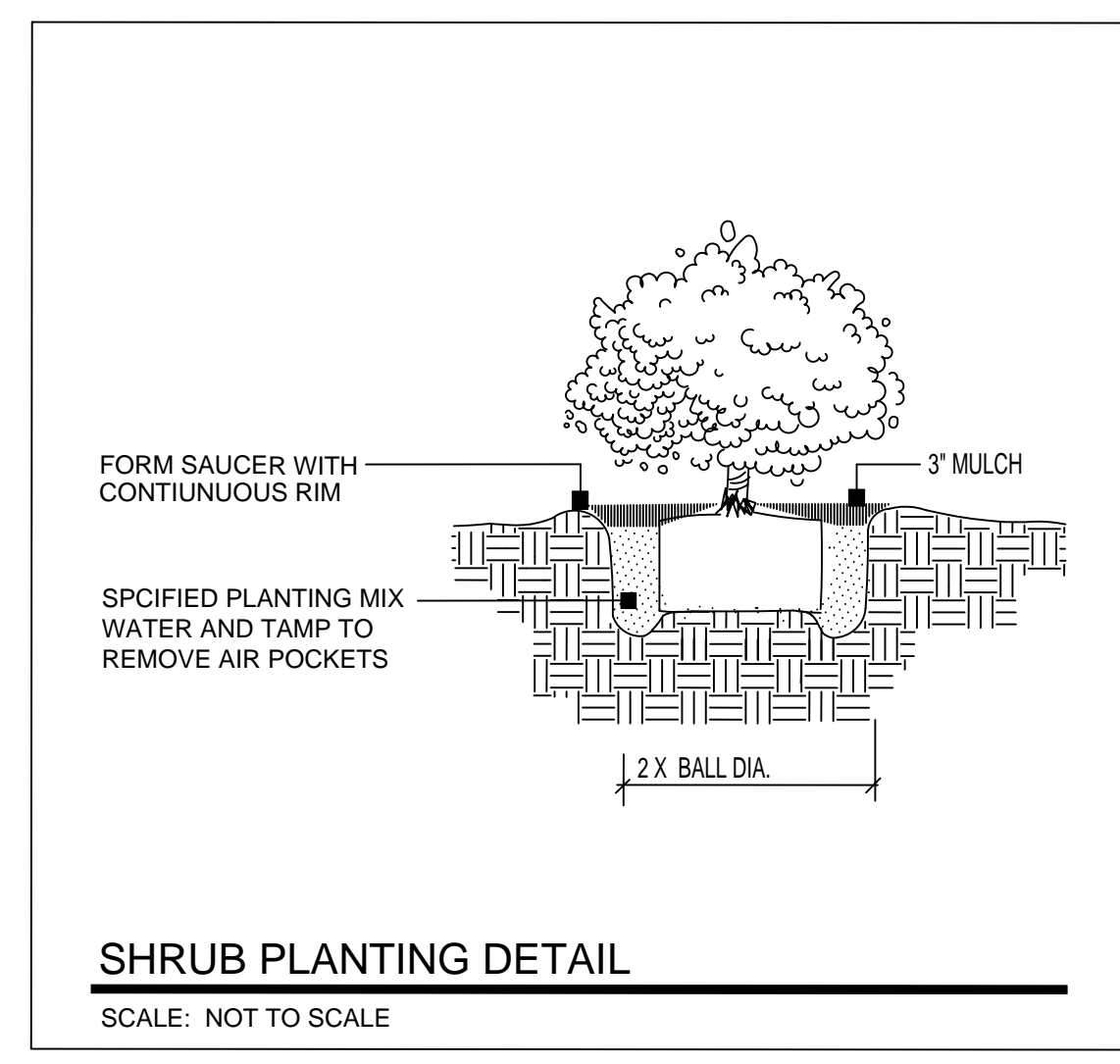
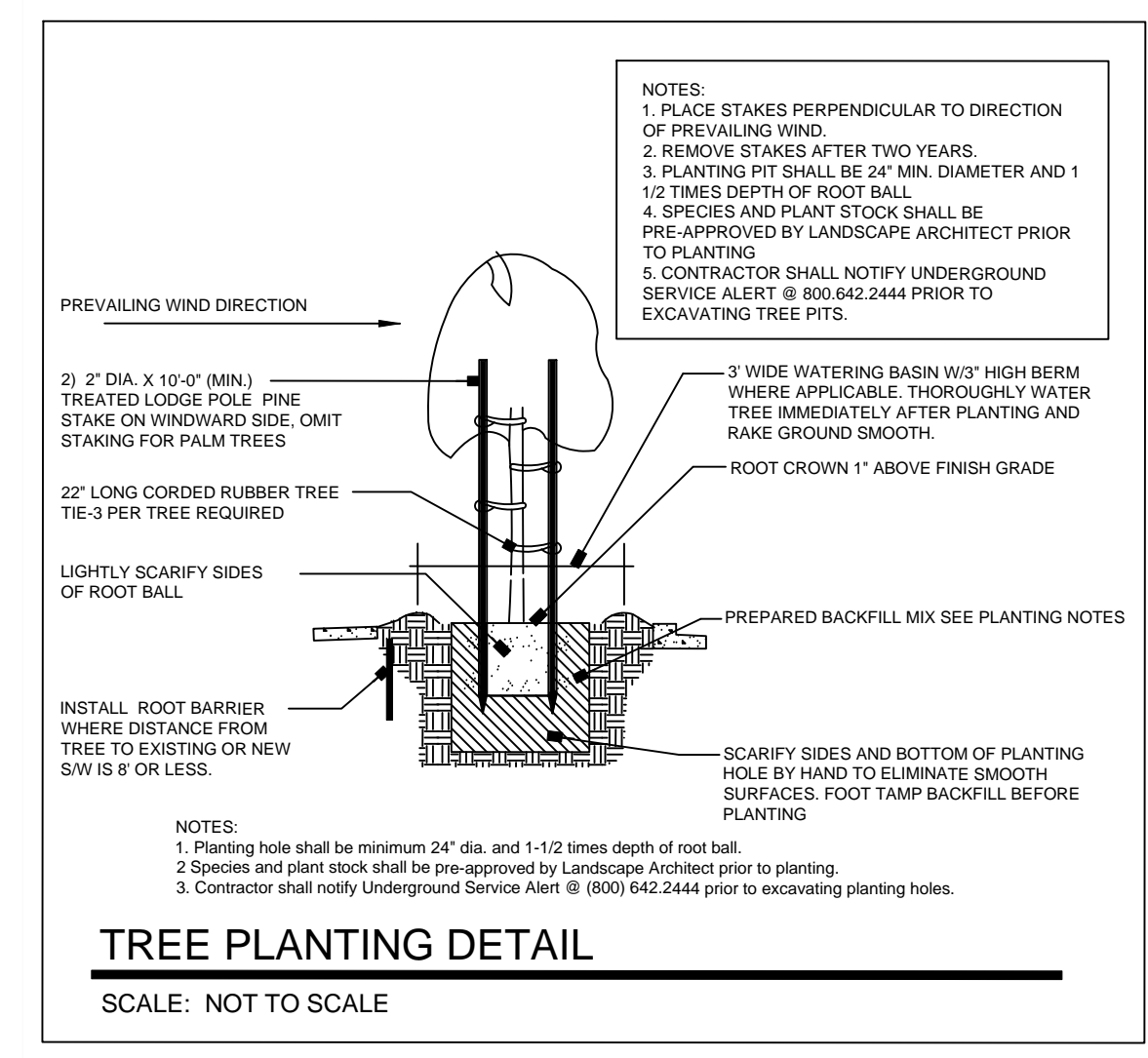
sheet number: L - 1.9

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KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUAN.
acm	Acanthus mollis	Bear s Breech	1 gal	22
adh	Arctostaphylos manzanita 'Dr. Hurd'	Manzanita	5 gal	2
afa	Asclepias fascicularis	Narrow Leaved Milkweed	1 gal	7
afo	Aquilegia formosa	Western Columbine	1 gal	9
ami	Achillea millefolium	Yarrow	1 gal	44
aor	Agapanthus orientalis	Lily of the Nile	1 gal	16
asb	Achillea 'Salmon Beauty'	Salmon Yarrow	1 gal	40
asc	Asclepias californica	Milkweed	1 gal	7
auu	Arctostaphylos uva-ursi 'Point Reyes'	Bearberry	5 gal	23
cak	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal	16
cca	Carpenteria californica	Bush Anemone	5 gal	2
cgh	Ceanothus griseus horizontalis 'Yankee Point'	Carmel Creeper	1 gal	25
cmq	Coprosma repens 'Marble Queen'	Variagated Mirror Plant	5 gal	12
cpu	Correa pulchella	Australian Fuchsia	5 gal	56
cse	Cupressus sempervirens 'Stricta'	Italian Cypress	15 gal	11
dve	Diets vegeta	Fortnight Lily	1 gal	34
fut	Fuchsia thymifolia	Thyme Leaved Fuchsia	1 gal	1
hem	Heuchera maxima	Coral Bells	1 gal	28
her	Heuchera 'Rosada'	Rosada Coral Bells	1 gal	31
hse	Helictotrichon sempervirens	Blue Oat Grass	1 gal	8
hv	Hardenbergia violacea	Lilac Vine	1 gal	4
ipc	Iris 'Pacific Coast' hybrid	Pacific Coast Iris	1 gal	22
lbu	Loropetalum chinense 'Burgundy'	Purple Fringe Flower	5 gal	5
maq	Mahonia aquifolium	Oregon Grape	5 gal	12
mau	Mimulus aurantiacus	Monkey Flower	1 gal	7
mov	Monardella villosa	Coyote Mint	1 gal	7
mre	Mahonia repens	Creeping Mahonia	1 gal	53
rpe	Rubus pentalobus 'Emerald Carpet'	No Common Name	1 gal	6
rsg	Ribes sanguineum glutinosum	Red Flowering Currant	5 gal	12
rvi	Ribes viburnifolium	Catalina Perfume	1 gal	14
ssp	Salvia spathacea	Hummingbird Sage	1 gal	14



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**RISPIN MANSION PARK**  
WHARF ROAD AND CLARES STREET  
CAPITOLA, CALIFORNIA

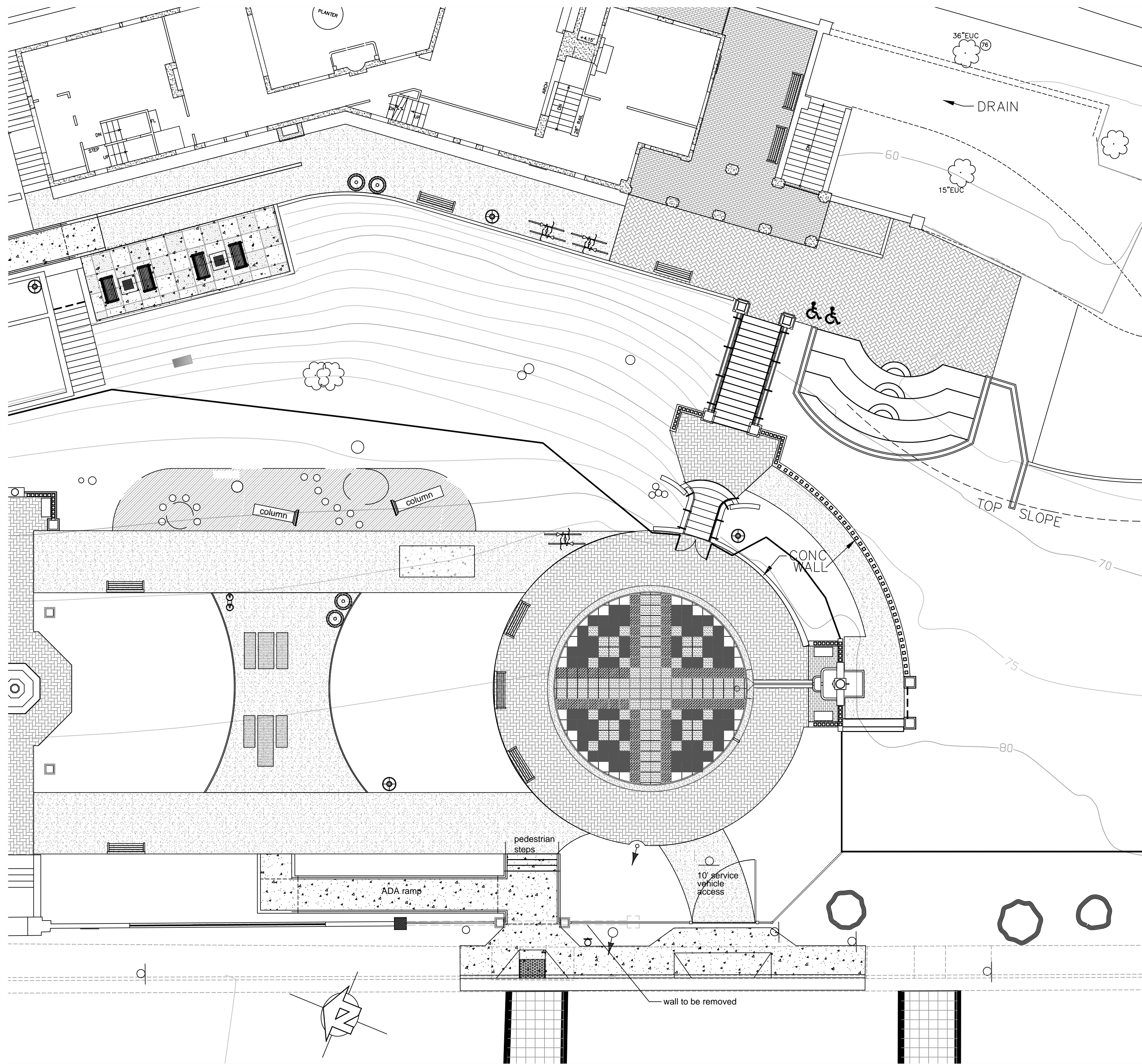


DATE	PURPOSE	BY
12.30.15	80% bid set	MAA

scale:  
**1" = 10' - 0"**

sheet title:  
**planting north end**

sheet number:  
**L - 2.1**



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**WHARF ROAD AND CLARES STREET**  
**CAPITOLA, CALIFORNIA**



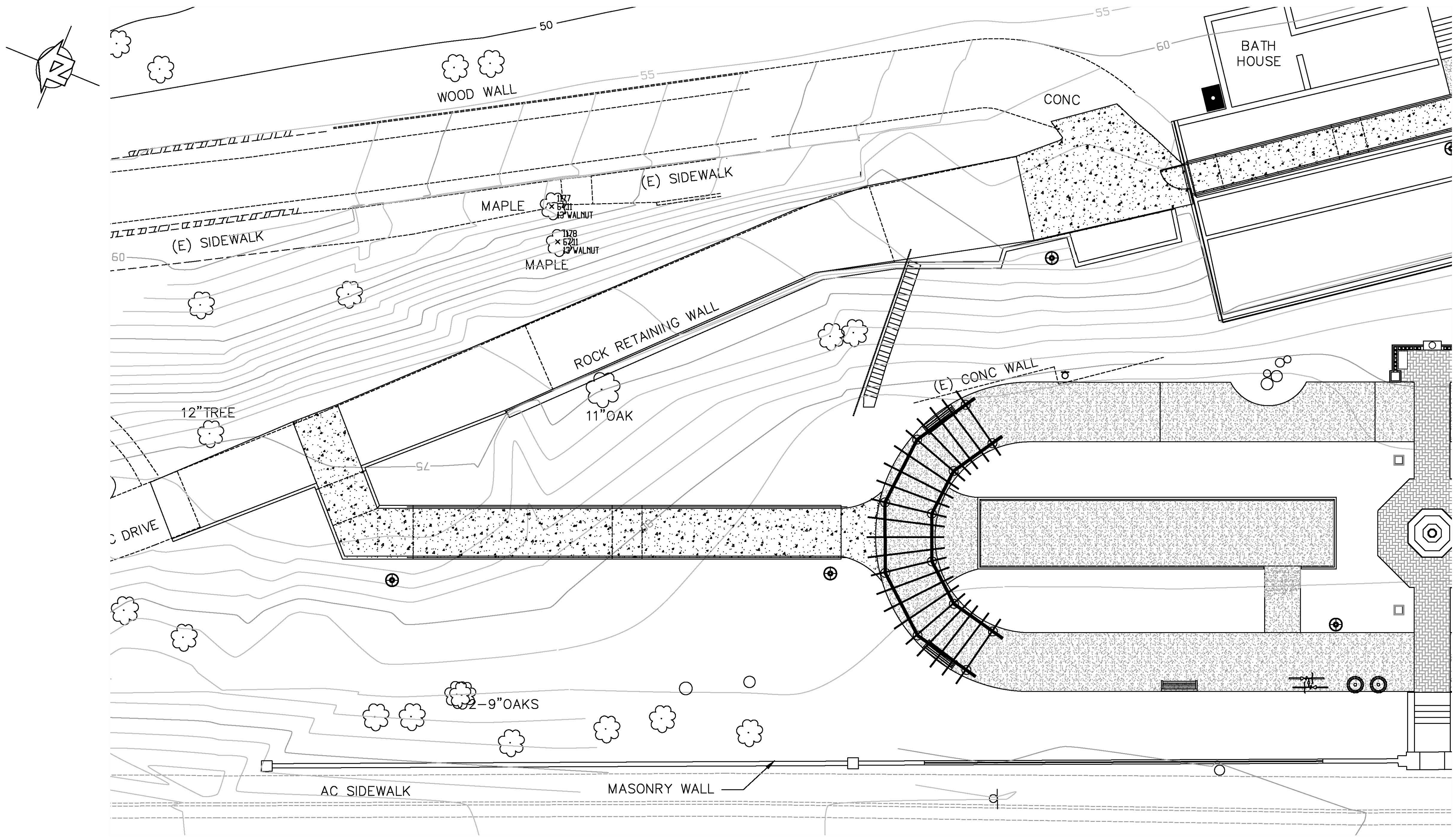
DATE	PURPOSE	BY
12.30.15	80% bid set	MAA

scale:  
**1" = 10' - 0"**

sheet title:  
**irrigation south end**

sheet number:  
**L - 3.0**

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**RISPIN MANSION PARK**  
**WHARF ROAD AND CLARES STREET**  
**CAPITOLA, CALIFORNIA**



DATE	PURPOSE	BY
12.30.15	80% bid set	MAA

scale:  
 1" = 10' - 0"

sheet title:  
 irrigation  
 north end

sheet number:  
 L - 3.1

80% SUBMITTAL - NOT FOR CONSTRUCTION

GENERAL NOTES

- 1. THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOBSITE. HE IS TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK. HE IS ALSO TO UNDERSTAND THAT ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN FOR SIMILAR CONDITIONS.
2. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR FOUND IN HIS COORDINATION WORK. NO CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.
3. ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE ENGINEER, ACCOMPANIED BY A DETAILED SKETCH, FOR REVIEW. BEFORE ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK. ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS), LATEST EDITION, THE LATEST EDITION OF THE COUNTY OF SANTA CRUZ DESIGN CRITERIA MANUAL, SOQUEL CREEK WATER DISTRICT STANDARDS, THE CITY OF CAPITOLA STANDARD DETAILS, THE UNIFORM BUILDING CODE AND ALL OTHER APPLICABLE FEDERAL AND STATE LAWS.
5. ALL UNDERGROUND UTILITIES WITHIN THE ROADWAY AND UNDER CURB, GUTTER AND SIDEWALK SHALL BE INSTALLED PRIOR TO THE PLACEMENT OF NEW CURB, GUTTER, SIDEWALK AND PAVEMENT BY OTHERS.
6. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS WERE OBTAINED FROM UTILITY COMPANIES AND MAY NOT REPRESENT TRUE LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF THESE UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT.
7. CONSTRUCTION STAKING AND COORDINATION WILL BE DONE BY THE ENGINEER, BOWMAN & WILLIAMS, 1011 CEDAR STREET (P.O. BOX 1821), SANTA CRUZ, CA 95060. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER (426-3560) 72 HOURS PRIOR TO THE NEED FOR CONSTRUCTION STAKING.
8. THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO THE START OF WORK.
9. NO CHANGES IN THESE IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE CITY OF CAPITOLA DEPARTMENT OF PUBLIC WORKS AND THE WRITTEN APPROVAL OF THE ENGINEER.
10. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
11. ALL PERMITS, COUNTY AND STATE, SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
12. THE DIRECTOR OF PUBLIC WORKS OR HIS AUTHORIZED REPRESENTATIVE SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS.
13. ALL CONSTRUCTION SHALL COMPLY WITH THE AMERICAN'S WITH DISABILITIES ACT.

CONSTRUCTION NOTES

- 1. TO MINIMIZE NOISE, DUST AND NUISANCE IMPACTS ON SURROUNDING PROPERTIES TO INSIGNIFICANT LEVELS DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL OR SHALL HAVE THE PROJECT CONTRACTOR, COMPLY WITH THE FOLLOWING MEASURES DURING ALL CONSTRUCTION WORK:
A. GRADING ACTIVITIES ARE PROHIBITED DURING PERIODS OF WIND EXCEEDING 15 MPH.
B. EACH DAY IT DOES NOT RAIN, WET ALL EXPOSED SOILS FREQUENTLY ENOUGH TO PREVENT SIGNIFICANT AMOUNTS OF DUST FROM LEAVING THE SITE. THE MINIMUM WATERING SCHEDULE FOR GRADED/EXCAVATED AREAS SHALL BE AT LEAST TWICE DAILY. STREET SWEEPING ON ADJACENT OR NEARBY STREETS MAY BE REQUIRED TO CONTROL THE EXPORT TO EXCESS DUST AND DIRT.
C. THE TEMPORARY ACCESS DRIVEWAY(S) AND ROAD(S) SHALL BE SURFACED WITH ROCK AND WHEEL WASHERS SHALL BE INSTALLED AT THE ENTRANCE FOR ALL TRUCKS LEAVING THE SITE TO AVOID DIRT AND DUST LEAVING THE SITE.
D. CHEMICAL SOIL STABILIZERS SHALL BE APPLIED ON INACTIVE CONSTRUCTION AREAS (DISTURBED LANDS WITHIN THE CONSTRUCTION PROJECT THAT ARE UNUSED FOR AT LEAST FOUR CONSECUTIVE DAYS.)
E. NON-TOXIC BINDERS SHALL BE APPLIED TO EXPOSED CUT AND FILL AREAS OR EXPOSED SLOPES AFTER CONSTRUCTION AND SHALL BE HYDROSEEDDED.
F. ALL INACTIVE STOCKPILES SHALL BE COVERED AT ALL TIMES.
G. DURING GRADING AND CONSTRUCTION, A TEMPORARY BARRIER SHALL BE PLACED ALONG THE PERIMETER WESTERN AND NORTHERN PROPERTY LINES TO MINIMIZE DUST, NOISE AND TRESPASS ISSUES ONTO THE ADJACENT DEVELOPED PROPERTIES.

UNDERGROUND NOTES

- 1. ALL KNOWN EXISTING UTILITY LINES ARE SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING UTILITIES OR FACILITIES TO REMAIN IN PLACE, WHETHER OR NOT SUCH LINES OR FACILITIES ARE SHOWN ON THESE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO. CONTRACTOR IS ADVISED TO CONTACT AN UNDERGROUND SERVICE LOCATOR FOR MARKING UNDERGROUND LINES PRIOR TO BEGINNING WORK.
2. CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO SANITARY AND STORM SEWERS, AND WATER LINES BEFORE CONSTRUCTING NEW FACILITIES.
3. MATERIALS FOR PIPE, STORM WATER INLETS, AND CLEANOUTS AND INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH APPLICABLE USC AND UPC SECTIONS, AND THESE PLANS AND DETAILS SHOWN HEREON. STORM SEWER PIPE DESIGNATED "SD" SHALL BE PVC SDR 26 BELL AND SPIGOT GASKET, SMOOTH INTERIOR HDPE OR APPROVED EQUIVALENT. PERFORATED SD SHALL BE ADS N12 OR APPROVED EQUAL.
4. ALL DRAINAGE PIPE SHALL BE SHIPPED, STORED AND INSTALLED PER THE PIPE MANUFACTURERS RECOMMENDATIONS.
5. ALL CONCRETE DRAINAGE INLETS CALLED OUT ON THE PLANS SHALL BE CHRISTY BRAND PRECAST CONCRETE OR THE EQUIVALENT. ALL STRUCTURES SHALL BE STORED, HANDLED AND INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS. STORM DRAIN CATCH BASINS IN TRAFFIC AREAS SHALL HAVE A HEAVY RATED FRAME & GRATE. THE GRATE SHALL BE ADA COMPLIANT. STORM DRAIN CATCH BASINS IN LANDSCAPE AREAS SHALL HAVE A STANDARD RATED FRAME & GRATE.
6. ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.

PERVIOUS PAVER NOTES

- 1. THE CONTRACTOR SHALL PROOF ROLL SUBGRADE SURFACE TO CHECK FOR UNSTABLE AREAS AND NOTIFY THE PROJECT GEOTECHNICAL ENGINEER FOR ANY UNSATISFACTORY CONDITIONS.
2. FILL GAP BETWEEN PAVERS WITH NO. 8, 89, OR 9, STONE JOINTING MATERIAL BETWEEN THE PAVERS.
3. SUBBASE AND BASE DRAIN ROCK SECTIONS CAN BE SPREAD AND COMPACTED IN 4" LIFT WITH PLATE OR STATIC ROLLER COMPACTORS. AT LEAST 4 PASSES; INITIAL PASSES SHALL BE WITH VIBRATION, FINAL PASSES SHALL BE WITHOUT VIBRATION.
4. BEDDING MATERIAL SHALL BE ASTM NO. 8 STONE, MOISTEN, SCREED, COMPACT AND LEVEL OVER ASTM NO. 57 STONE BASE. VEHICULAR AREAS SHALL BE UNDERLAIN BY ASTM NO. 2, 3, OR 4 STONE SUB-BASE.
5. FOLLOW MANUFACTURER INSTALLATION RECOMMENDATIONS FOR PAVER INSTALLATION.
6. PAVER PRODUCT SHALL BE AQUA-ROQ BELGARD PERMEABLE PAVERS, OR APPROVED EQUAL, COLOR AND TYPE TO BE SELECTED BY LANDSCAPE ARCHITECT. VEHICULAR PAVERS SHALL BE 3/8"-THICK, MIN.
7. GEOTEXTILE SEPARATION FABRIC ON BOTTOM AND SIDES OF OPEN GRADED BASE SHALL BE MIRAFI 500K.
8. LINER SHALL BE 30 MIL PVC.
9. DISCHARGE PIPE SHALL BE 4" PERFORATED PVC SURROUNDED WITH 3" OF NO. 57 ROCK, CONNECTED TO SOLID 4" PVC DISCHARGE PIPE.

DECOMPOSED GRANITE NOTES

- 1. NO GRADING IS ALLOWED IN THE 100-YEAR GEOLOGIC SET BACK LINE.
2. CONSTRUCTION OF DECOMPOSED GRANITE PATH WITHIN THE 100-YEAR GEOLOGIC SETBACK LINE SHALL BE ACCOMPLISHED BY HAND, AS NECESSARY TO CREATE MINOR LEVELING FOR THE PATH.
3. DECOMPOSED GRANITE SHALL THEN BE CONSTRUCTED OVER EXISTING COMPACTED NATIVE MATERIAL WITHOUT ADDITIONAL GRADING.
4. 4" MIN THICK DECOMPOSED GRANITE WITH SOIL BINDER (GRANITECTRETE OR APPROVED EQUAL) COMPACTED TO 95% R.C. OVER COMPACTED NATIVE SOIL TO 90% R.C.
5. 2"x8" TREX HEADER OR REDWOOD BOARD TO BE CONSTRUCTED AT ALL WALKWAY/SOIL INTERFACES AND HELD IN PLACE WITH 1"x3"x12" STAKES AT 3 FT O.C. FASTENED WITH 2 8-D GALVANIZED NAILS.

CONCRETE FLATWORK NOTES

- MATERIALS
1. CONCRETE SHALL BE CLASS A, FIVE (5) SACKS CEMENT, WITH 3/4" MAXIMUM AGGREGATE SIZE.
2. REINFORCING STEEL SHALL BE INTERMEDIATE GRADE CONFORMING TO THE REQUIREMENTS OF ASTM A-615, GRADE 40, CLEAN, NEW STOCK.
3. BOND PREVENTATIVE SHALL BE COLORLESS, NON-STAINING, EASILY REMOVED AND NON-INJURIOUS TO ANY SUBSEQUENT FINISHES.
4. EXPANSION JOINT MATERIAL SHALL BE PREFORMED, NON-EXTRUDING, 1/2" INCH THICK, ASPHALT IMPREGNATED FELT.
CONCRETE
1. CONCRETE SHALL BE BATCHED AT A CENTRAL BATCHING PLANT. ALL CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 2,500 PSI AT THE AGE OF 28 DAYS.
2. CONCRETE SHALL NOT BE PLACED UNTIL ALL REINFORCEMENT IS IN PLACE AND SECURE.
3. CONCRETE SHALL BE PLACED IN THE FORMS AS NEARLY AS PRACTICABLE TO ITS FINAL POSITION TO AVOID FLOWING.
4. ONCE CONCRETING IS STARTED, IT SHALL BE CARRIED ON AS A CONTINUOUS OPERATION UNTIL THE PLACING OF THE SECTION IS COMPLETED. WHERE CONSTRUCTION JOINTS ARE NECESSARY, THEY SHALL BE MADE AS SHOWN ON THE DRAWINGS OR AS DIRECTED.
5. ALL CONCRETE SHALL BE THOROUGHLY COMPACTED BY MEANS OF AN INTERNAL VIBRATOR. CARE SHALL BE EXERCISED TO INSURE THAT THE CONCRETE IS WELL VIBRATED, SO AS TO PRODUCE A SMOOTH SURFACE, FREE OF AIR POCKETS, BUT NOT TO THE EXTENT THAT SETTLEMENT OF AGGREGATE OCCURS.
SCORE JOINTS AND EDGING AS FOLLOWS
A. ALL JOINTS SHALL BE SCORED WITH A 1/4" RADIUS SCORING TOOL.
B. ALL EDGES OF SLABS, WALLS, STEPS AND OTHER EXPOSED EDGES SHALL BE EDGED WITH A 1/2" RADIUS EDGING TOOL.
C. ALL FLANGE MARKS RESULTING FROM TOOLING OF EDGES AND JOINTS SHALL BE TROWELED OUT.
7. FORMS SHALL BE REMOVED AT SUCH TIMES THAT THE CONCRETE SURFACES MAY BE FINISHED AS SHOWN ON THE DRAWINGS WITHOUT WATER TEMPERING.
8. IMMEDIATELY AFTER FORMS ARE REMOVED, ALL DEFECTIVE SURFACES OR AREAS SHALL BE PATCHED, AND JOINT MARKS, FINS, OR OTHER IRREGULARITIES SHALL BE SMOOTHED OFF AND CLEANED PROPERLY. IF FORM TIES ARE USED, THEY SHALL BE BROKEN OFF CLEANLY 1 INCH FROM THE SURFACE OF THE CONCRETE, AND THE HOLES PATCHED AND/OR FILLED IMMEDIATELY.
9. AT THE COMPLETION OF TROWELING AND EDGING, ALL EXPOSED SURFACES OF THE STEPS AND FINING SHALL BE BROOM FINISHED TO A MEDIUM, NON-SKID TEXTURE, WITH SMOOTH, EVEN STRIATIONS PERPENDICULAR TO THE LONGITUDINAL AXIS OF THE STEPS AND WALKS. BROOM FINISH BOTH THE TREADS AND VERTICAL FACES OF THE RISERS.
10. PROVIDE EXPANSION/CONTRACTION JOINTS AT 24 FEET MAXIMUM ON CENTER.
11. PROVIDE CONTROL JOINTS AT 6 FEET ON CENTER, UNLESS APPROVED OTHERWISE

ASPHALT PAVEMENT NOTES

- 1. 2.5" MINIMUM THICKNESS OF 1/2" MAXIMUM TYPE B MEDIUM ASPHALT CONCRETE
2. 8" MINIMUM THICK CLASS 2 AGGREGATE BASE COMPACTED TO 95% R.C. BELOW THE ASPHALT CONCRETE
3. 8" MINIMUM THICK SCARIFY AND RECOMPACT NATIVE MATERIAL TO 95% R.C. BELOW THE AGGREGATE BASE

CONCRETE STAIRWAY/RAMP NOTES

- 1. CONCRETE SHALL BE 2,500 PSI MINIMUM.
2. REBAR SHALL BE ASTM A615.
3. TOP EDGE OF STEPS WILL HAVE A 1/2" RADIUS WITH NON-SLIP DETECTABLE WARNING NET SET INTO CONCRETE OR APPROVED EQUAL.
4. #4 BARS @ 12" O.C. EACH WAY, MID DEPTH AND AT EACH NOSE TREAD

HANDRAIL NOTES

- 1. 1 1/2" DIA SCH 80 GALV STEEL PIPE HANDRAILING.
2. 3" I.D. X 8" DEEP CORE DRILL, SET HANDRAIL POSTS WITH QUIK SET-NON SHRINK MORTAR.

EARTHWORK AND GRADING NOTES

- 1. WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, EXCAVATION, SPREADING, COMPACTION AND CONTROL OF FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES, AND SLOPES, AS SHOWN ON THE APPROVED PLANS AND AS SPECIFIED IN THE GEOTECHNICAL INVESTIGATION REPORT.
2. ALL GRADING SHALL CONFORM TO SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS, LATEST APPLICABLE EDITION. ALL EARTHWORK SHALL BE DONE IN ACCORDANCE TO THE GEOTECHNICAL INVESTIGATION PREPARED BY PACIFIC CREST ENGINEERING.
3. THE CONTRACTOR SHALL NOTIFY THE PROJECT GEOTECHNICAL ENGINEER AT LEAST 4 WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY GRADING OPERATIONS.
4. ALL EXISTING TRASH, DEBRIS, ROOTS, TREE REMAINS AND OTHER RUBBISH SHALL BE REMOVED FROM THE SITE SO AS TO LEAVE THE AREAS THAT HAVE BEEN DISTURBED WITH A NEAT AND FINISHED APPEARANCE FREE FROM UNSIGHTLY DEBRIS. NO BURNING SHALL BE PERMITTED.
5. AFTER THE EARTHWORK OPERATIONS HAVE BEEN COMPLETED AND THE GEOTECHNICAL ENGINEER HAS FINISHED HIS OBSERVATIONS OF THE WORK, NO FURTHER EARTHWORK OPERATIONS SHALL BE PERFORMED EXCEPT WITH THE APPROVAL OF AND UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER.

APPROVED FOR CONSTRUCTION BY THE CITY OF CAPITOLA

STEVEN JESBERG, PUBLIC WORKS DIRECTOR



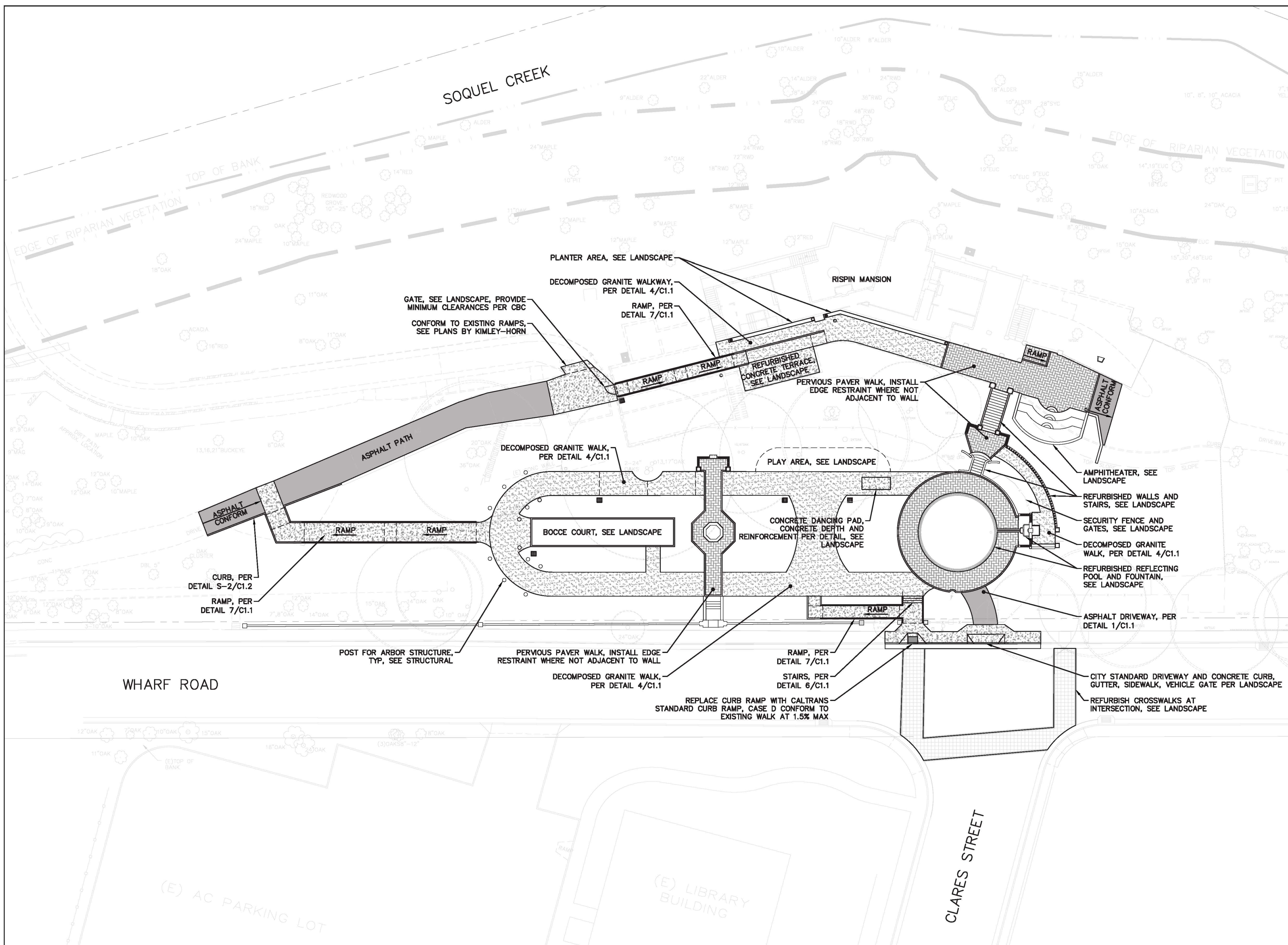
CIVIL SHEET INDEX

Table with 2 columns: Code and Description. Includes entries for GENERAL NOTES & SPECIFICATIONS, SITE PLAN, DETAILS, CITY OF CAPITOLA & CALTRANS DETAILS, SITE SECTIONS & PROFILES, GRADING PLAN, STORMWATER CONTROL PLAN, EROSION & SEDIMENT CONTROL PLAN, and EROSION & SEDIMENT CONTROL DETAILS.

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Table containing project information: APN, BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS (1011 CEDAR STREET, SANTA CRUZ, CA 95060), GENERAL NOTES & SPECIFICATIONS, RISPIN MANSION PARK, CAPITOLA, CALIFORNIA, SCALE, DRAWN MAL, CHECKED JFR, JOB NO. 25803, SHEET CO.0 OF 9, DESIGN BRR, DWG NAME 25803-CO.0, FILE NO.

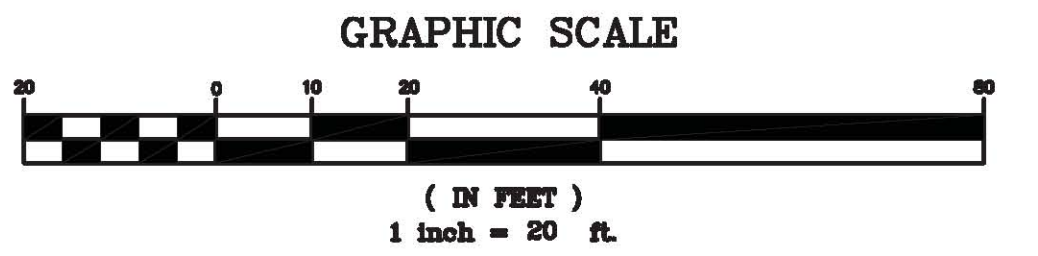


**LEGEND**

CATCH BASIN	■
ATRIUM DRAIN	●
CLEANOUT	○
PERVIOUS PAVER	▨
ASPHALT	■
DG WALKWAY	▨
CONCRETE	▨

**ABBREVIATIONS**

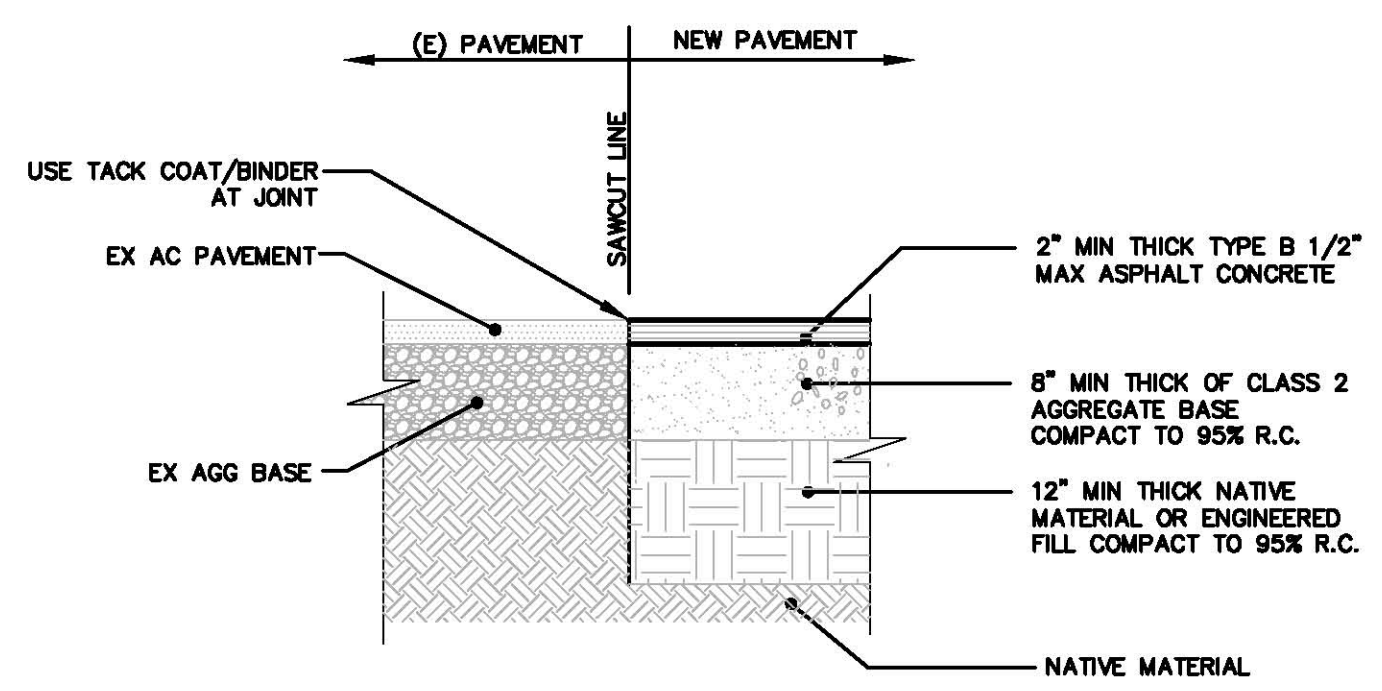
AC	ASPHALT CONCRETE
AP	ANGLE POINT
BC	BEGIN CURVE
BW	BACK OF WALK
BS	BOTTOM OF STEP
CB	CATCH BASIN
CL	CENTERLINE
CONST	CONSTRUCT
DTL	DETAIL
DN	DOWNSPOUT
EC	END CURVE
ELEV	ELEVATION
(C), EX	EXISTING
FD	FIRE DEPARTMENT
FG	FINISHED GRADE
FL	FLOWLINE
FT	FEET
FW	FACE OF WALL
H	HEIGHT
HP	HIGH POINT
INV	INVERT
LF	LINEAR FEET
LT	LEFT
MAX	MAXIMUM
MIN	MINIMUM
(P), P	PROPOSED
PERF	PERFORATED
PWMT	PAVEMENT
R	RADIUS
RM	ROOM ELEVATION
RT	RIGHT
S	SLOPE
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SSCO	SANITARY SEWER CLEANOUT
STA	STATION
TC	TOP OF CURB
TG	TOP OF GRAVEL
TP	TOP OF PAVEMENT
TS	TOP OF STEP
TW	TOP OF WALL
TYP	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE



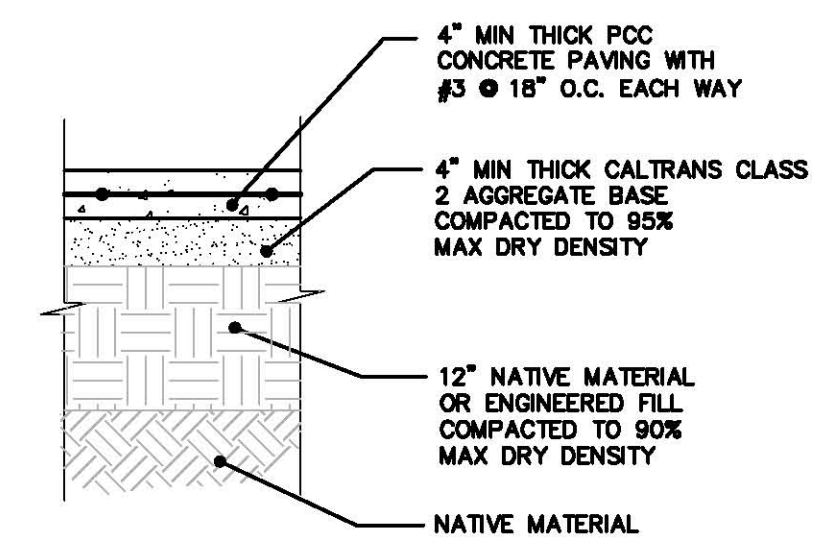
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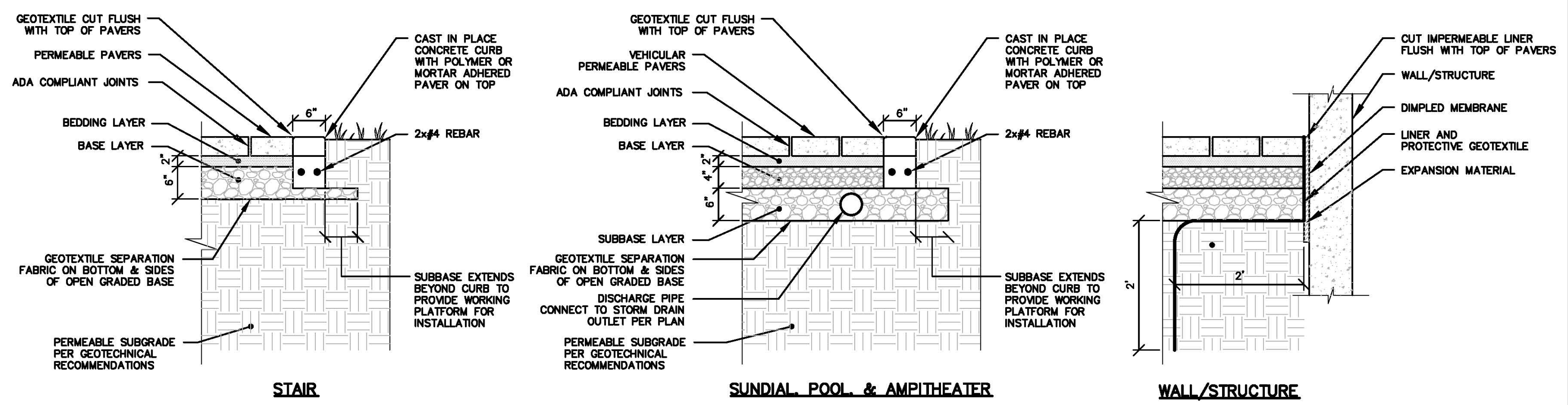
APN			
REVISIONS			
<b>BOWMAN &amp; WILLIAMS</b> CONSULTING CIVIL ENGINEERS 1011 CEDAR STREET SANTA CRUZ, CA 95060 (831) 426-3560			
<b>SITE PLAN</b>			
RISPIN MANSION PARK CAPITOLA, CALIFORNIA			
SCALE 1" = 20'	DRAWN BRR	JOB NO. 25803	SHEET
DATE DECEMBER 30, 2015	CHECKED JFR	INDEX	<b>C1.0</b>
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**1**  
C1.1  
**ASPHALT PAVEMENT SECTION**  
SCALE: 3/4"=1'-0"

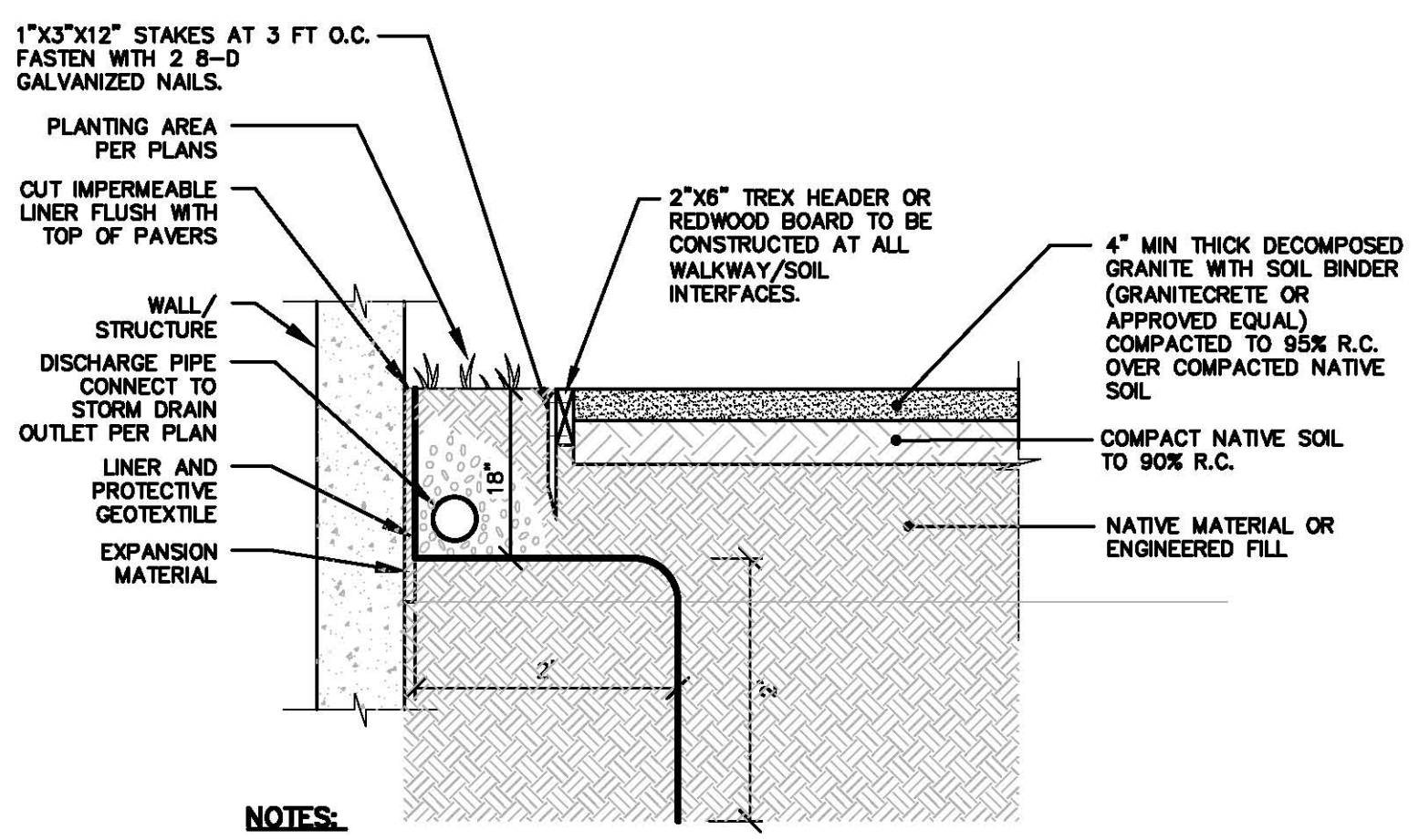


**2**  
C1.1  
**TYPICAL CONCRETE SECTION**  
SCALE: 3/4"=1'-0"



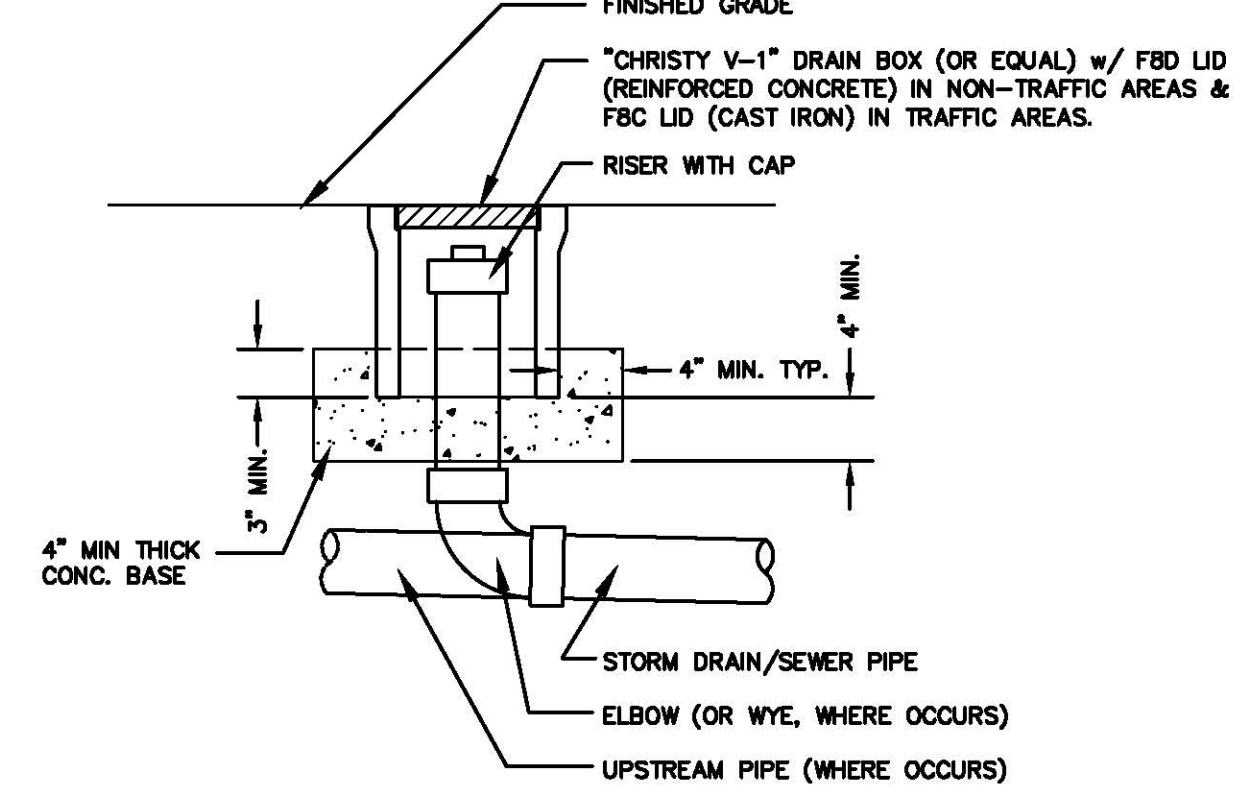
**3**  
C1.1  
**PERMEABLE PAVERS**  
SCALE: 3/4"=1'-0"

**NOTES:**  
1. THE CONTRACTOR SHALL PROOF ROLL SUBGRADE SURFACE TO CHECK FOR UNSTABLE AREAS AND NOTIFY THE PROJECT GEOTECHNICAL ENGINEER FOR ANY UNSATISFACTORY CONDITIONS.  
2. ROCK CAN BE SPREAD AND COMPACTED AS ONE 4 IN LIFT WITH PLATE OR STATIC ROLLER COMPACTORS. AT LEAST 4 PASSES; INITIAL PASSES SHALL BE WITH VIBRATION, FINAL PASSES SHALL BE WITHOUT VIBRATION.  
3. FOLLOW MANUFACTURER INSTALLATION RECOMMENDATIONS FOR PAVER INSTALLATION.

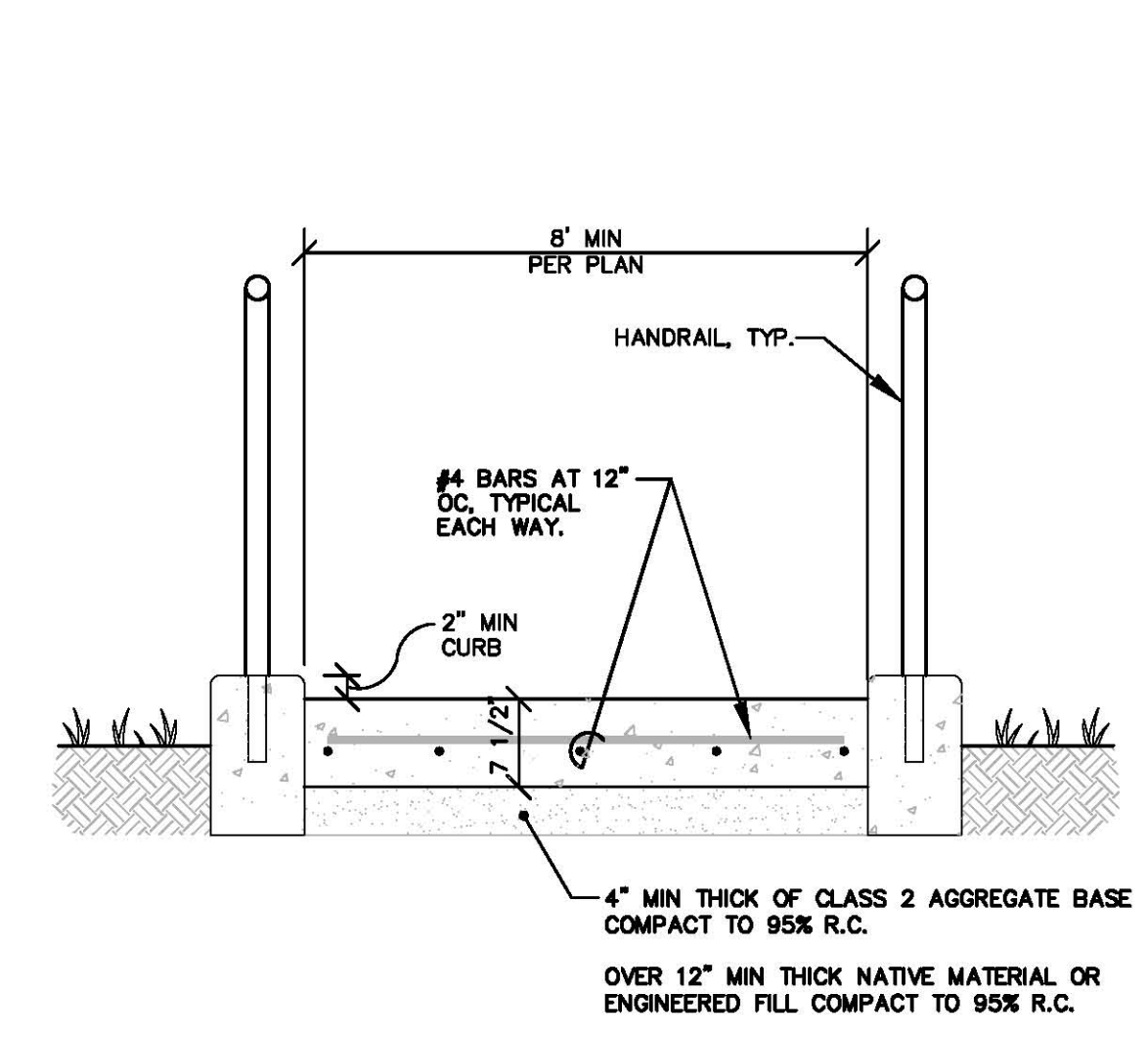


**4**  
C1.1  
**DECOMPOSED GRANITE WALKWAY**  
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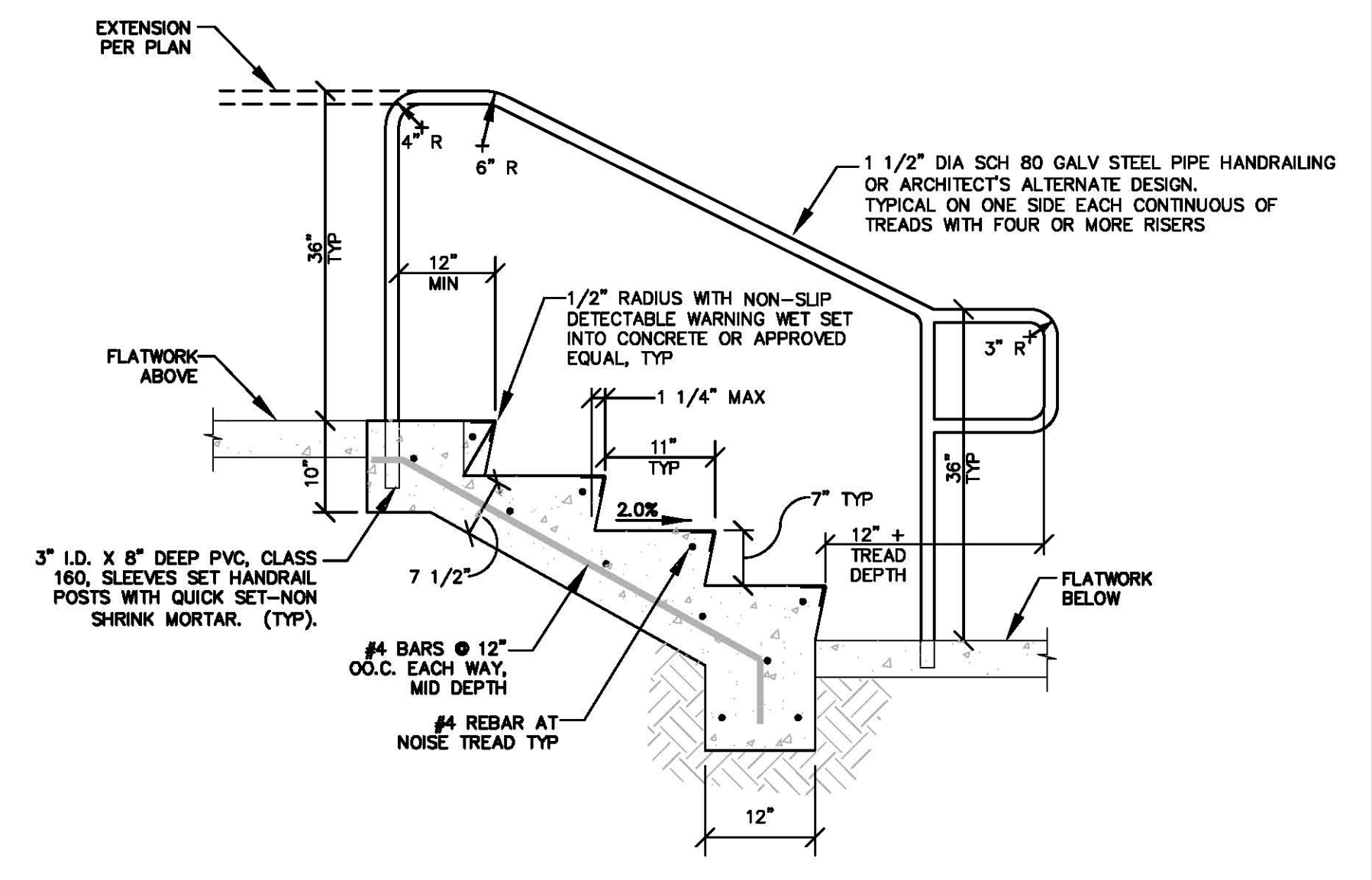
**NOTES:**  
1. NO GRADING IS ALLOWED IN THE 100-YEAR GEOLOGIC SET BACK LINE.  
2. CONSTRUCTION OF DECOMPOSED GRANITE PATH WITHIN THE 100-YEAR GEOLOGIC SETBACK LINE SHALL BE ACCOMPLISHED BY HAND, AS NECESSARY TO CREATE MINOR LEVELING FOR THE PATH.  
3. DECOMPOSED GRANITE SHALL THEN BE CONSTRUCTED OVER EXISTING COMPACTED NATIVE MATERIAL WITHOUT ADDITIONAL GRADING.



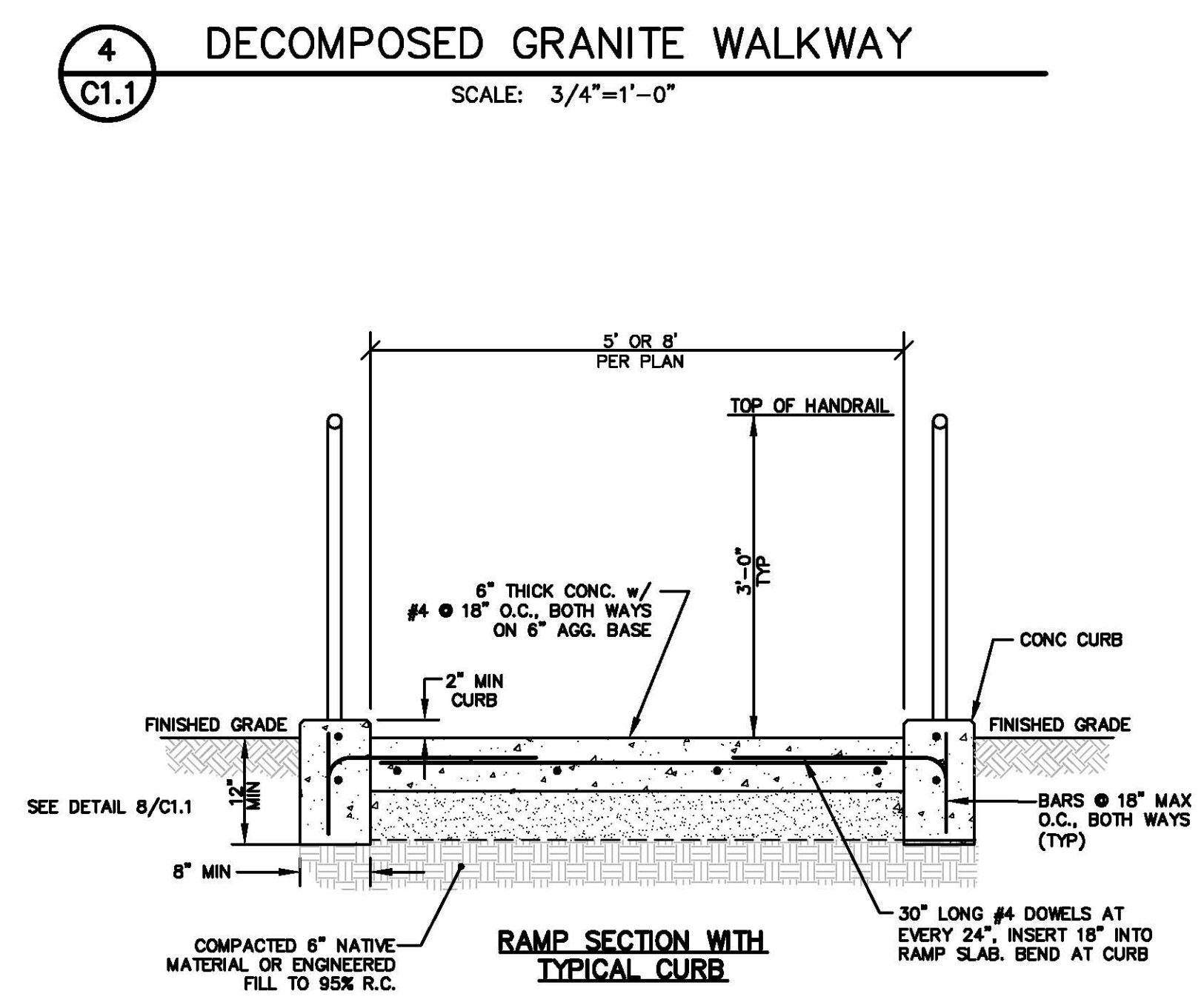
**5**  
C1.1  
**STORM DRAIN CLEANOUT**  
SCALE: NTS



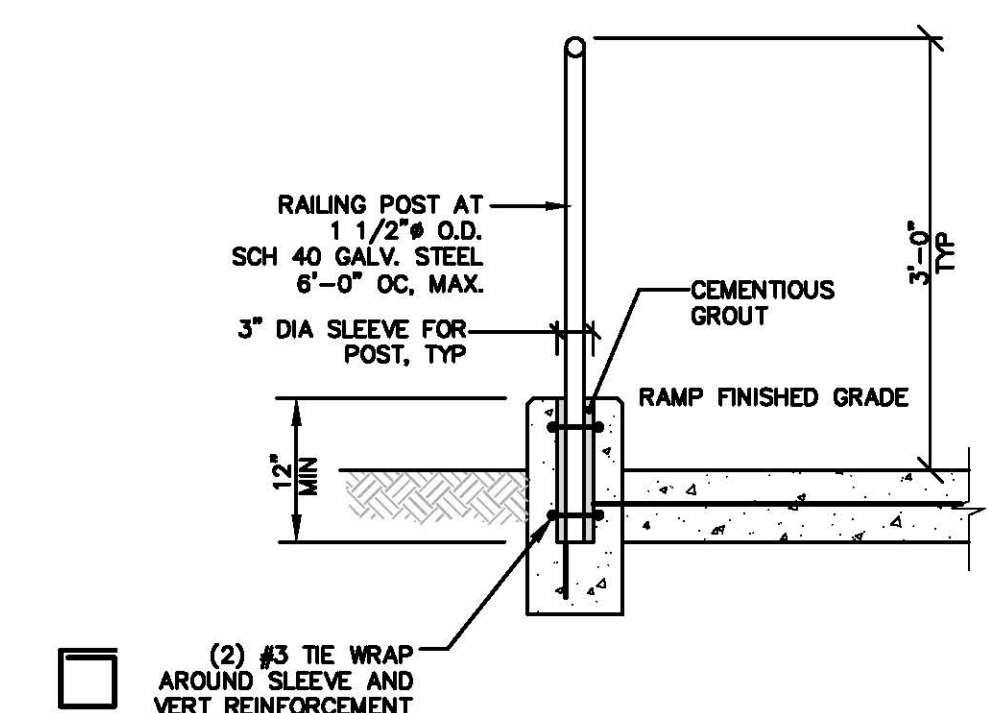
**6**  
C1.1  
**CONCRETE STAIRWAY DETAIL**  
SCALE: 3/4"=1'-0"



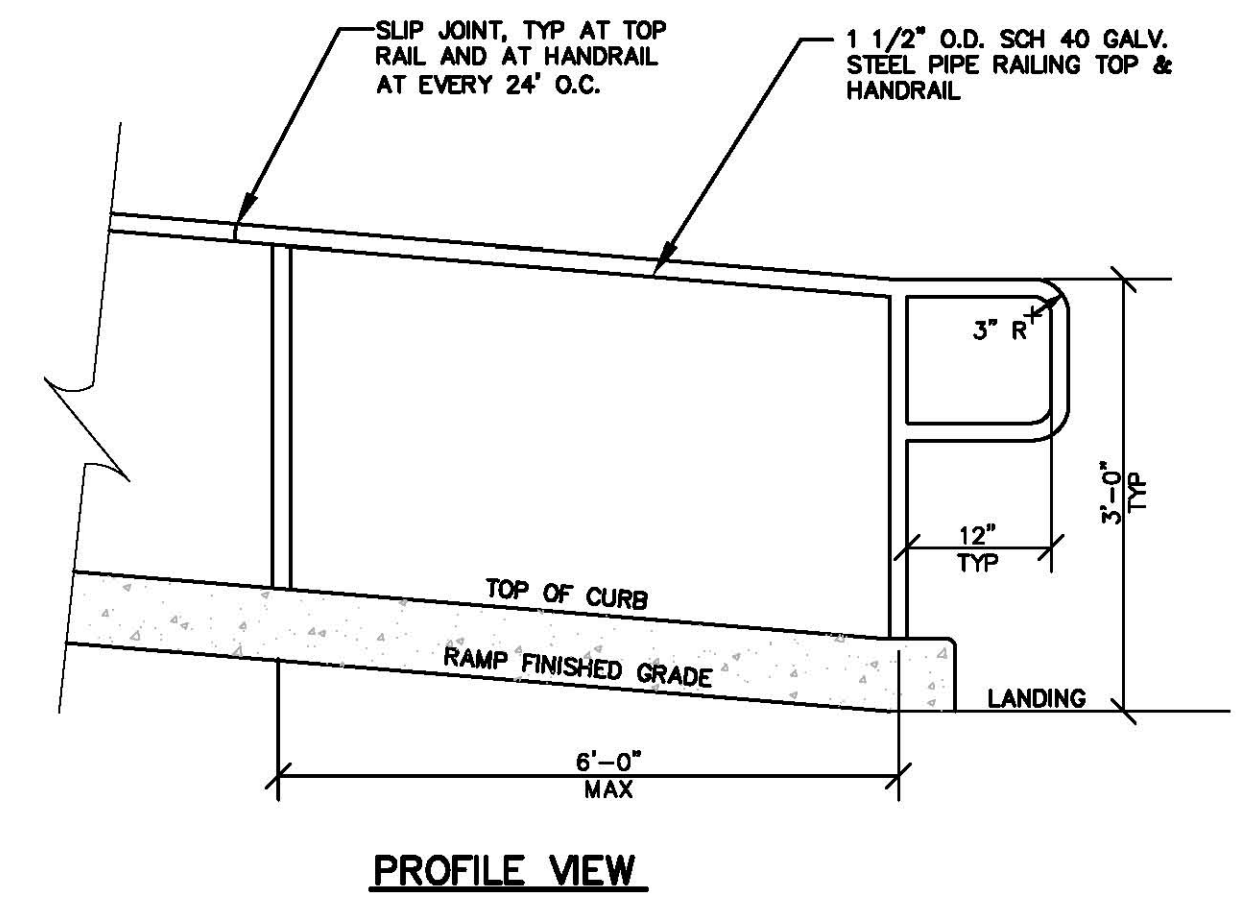
**7**  
C1.1  
**LONGITUDINAL SECTION**  
SCALE: 3/4"=1'-0"



**7**  
C1.1  
**ADA RAMP**  
SCALE: NTS



**8**  
C1.1  
**HANDRAIL & GUARDRAIL POST POCKET**  
SCALE: 3/4"=1'-0"



**9**  
C1.1  
**TYPICAL HANDRAIL DETAIL**  
SCALE: 3/4"=1'-0"

- NOTES:**  
1. ALL PIPES SHALL CONFORM TO ASTM A53, GRADE B, AND SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION.  
2. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8\"/>



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REVISION			
<b>BOWMAN &amp; WILLIAMS</b> CONSULTING CIVIL ENGINEERS 1011 CEDAR STREET SANTA CRUZ, CA 95060 (831) 426-3560		<b>DETAILS</b>  RISPIN MANSION PARK CAPITOLA, CALIFORNIA	
SCALE 1" = 20'	DRAWN DLN	JOB NO. 25803	SHEET
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APN

REVISION	

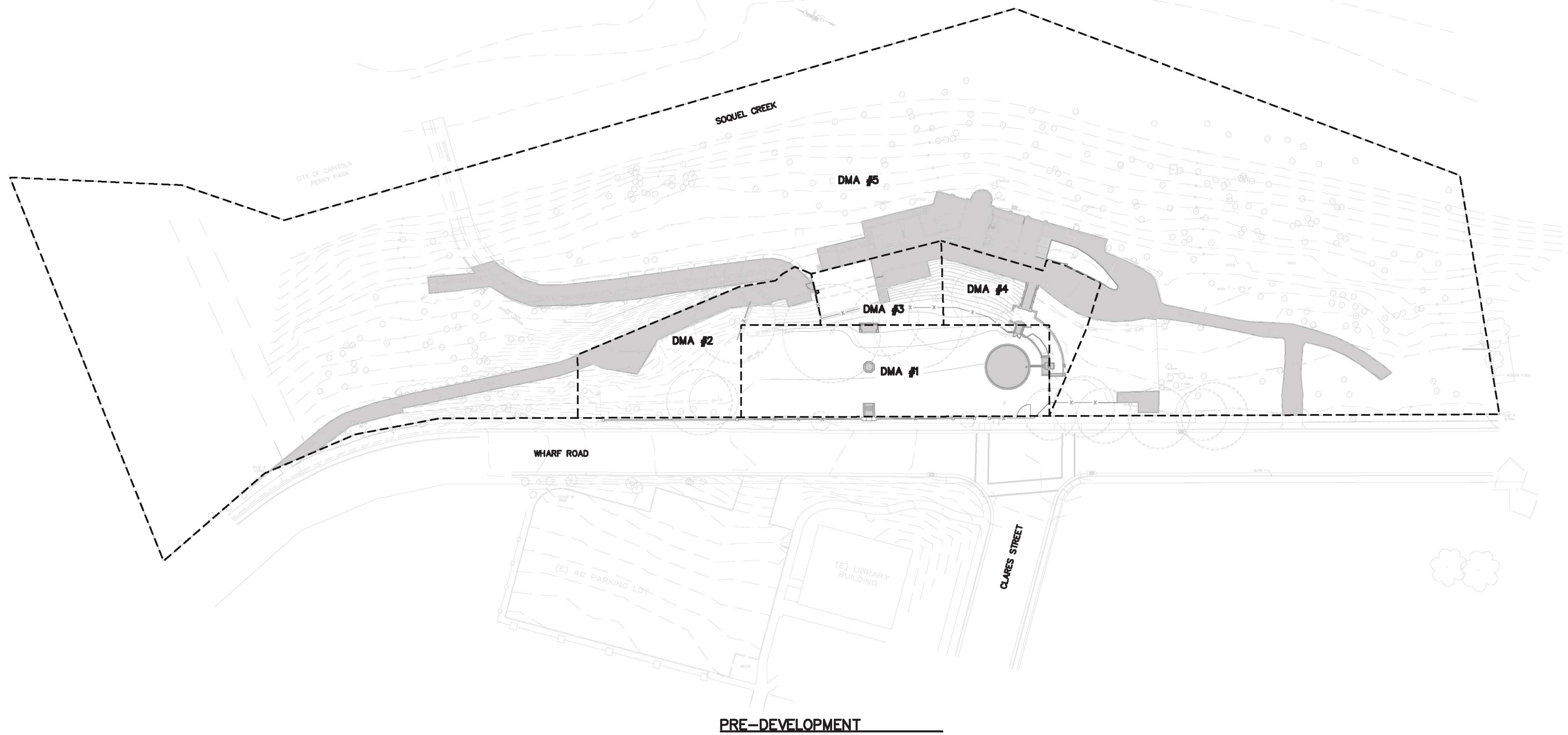
<b>BOWMAN &amp; WILLIAMS</b> CONSULTING CIVIL ENGINEERS 1011 CEDAR STREET SANTA CRUZ, CA 95060 (831) 426-3560	<b>SITE SECTIONS &amp; PROFILES</b>
	RISPIN MANSION PARK CAPITOLA, CALIFORNIA

SCALE 1" = 20'	DRAWN BRR	JOB NO. 25803	SHEET
DATE DECEMBER 30, 2015	CHECKED JFR	INDEX	<b>C1.3</b>
DESIGN BRR	DWG NAME 25803-C1.3	FILE NO.	OF 9

Attachment: Rispin Mansion Park Plans (1418 : Rispin Mansion Park and Pavement Management Program Projects to Bid)







PRE-DEVELOPMENT

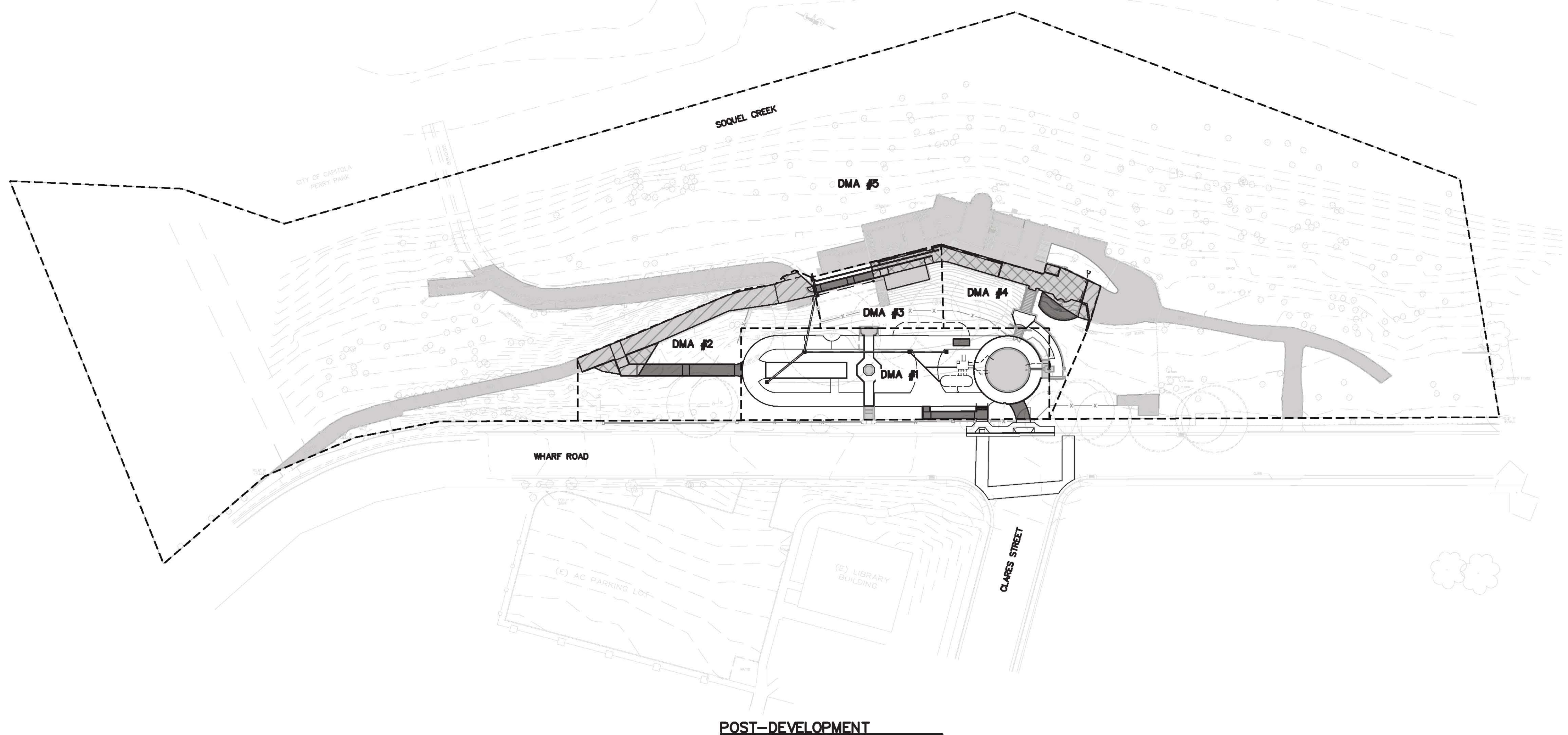
**LEGEND**

- EXISTING IMPERVIOUS AREA
- REMOVED IMPERVIOUS AREA
- NEW IMPERVIOUS AREA
- REPLACED IMPERVIOUS AREA

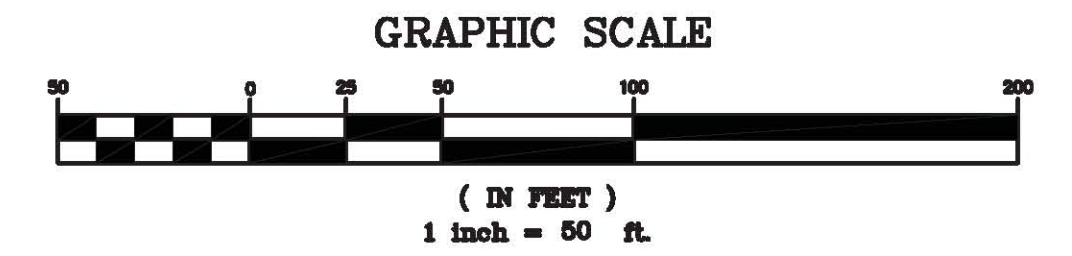
**IMPERVIOUS AREAS**

DMA	EXISTING	REMOVED	NEW	REPLACED
1	1217	0	483	0
2	2952	280	670	2462
3	1185	925	223	57
4	2254	1590	279	370
5	16802	0	0	0
<b>TOTAL</b>	<b>24410</b>	<b>2395</b>	<b>1655</b>	<b>2889</b>

NEW + REPLACED = 1655 + 2889 = 4544 (LESS THAN 15000, TIER 1)  
 NET (NEW - REMOVED) = 740 REMOVED (LESS THAN 5000, TIER 1)



POST-DEVELOPMENT



**DISCLAIMER**

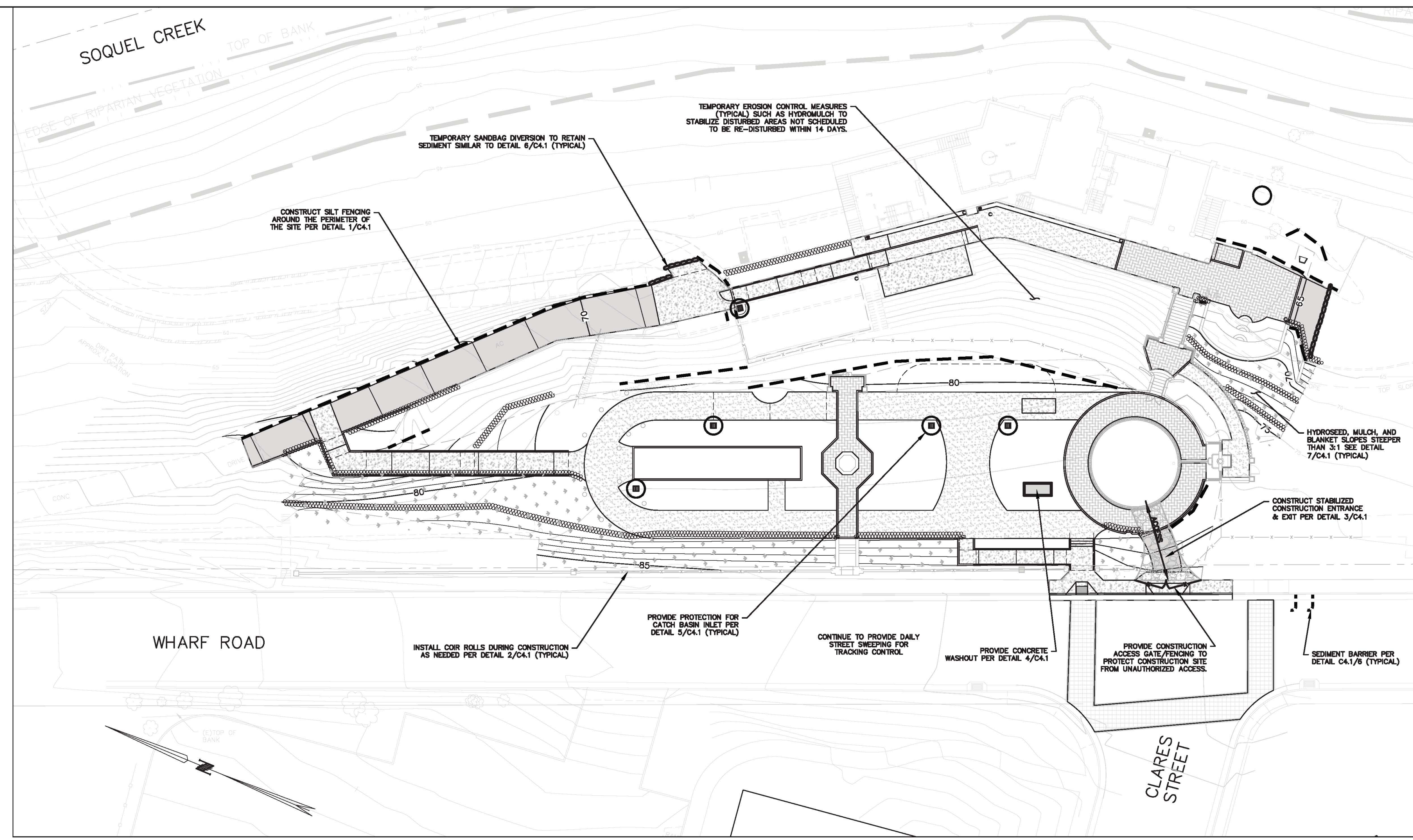
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APN		REVISIONS	
<b>BOWMAN &amp; WILLIAMS</b> CONSULTING CIVIL ENGINEERS 1011 CEDAR STREET SANTA CRUZ, CA 95060 (831) 426-3560		<b>STORMWATER CONTROL PLAN</b>  RISPIN MANSION PARK CAPITOLA, CALIFORNIA	
SCALE 1" = 50'	DRAWN BRR	JOB NO. 25803	SHEET
DATE DECEMBER 30, 2015	CHECKED JFR	INDEX	<b>C3.0</b>
DESIGN BRR	DWG NAME 25803-C3.0	FILE NO.	OF 9

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Attachment: Rispin Mansion Park Plans (1418 - Rispin Mansion Park and Pavement Management Program Projects to Bid)



**LEGEND**

FIBER/COIR ROLLS	
SILT FENCE AND STRAW WATTLE	
SEDIMENT BARRIER	
CONSTRUCTION ENTRANCE	
INLET PROTECTION	
HYDROSEED	

**TEMPORARY EROSION CONTROL MEASURES**

1. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
2. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BETWEEN OCTOBER 15TH AND APRIL 15TH. BETWEEN OCTOBER 15TH AND APRIL 15TH HAY BALES, FILER BERMS, SILT FENCES OR OTHER MEANS SHALL BE EMPLOYED TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING ANY WATERCOURSE.
3. RUNOFF FROM THE CONSTRUCTION SITE MUST NOT BE ALLOWED TO FLOW OVER ANY FILL SLOPES.
4. RUNOFF SHALL BE DIRECTED TOWARDS THE NEAREST CATCH BASIN WITH TEMPORARY EARTHEN BERMS.
5. SILT BARRIERS SHALL BE CONSTRUCTED ALONG THE BOTTOM OF ALL GRADED SLOPES.
6. CATCH BASINS SHALL BE ENCLOSED BY A SILT BARRIER ON ALL FOUR SIDES. USE GRAVEL FILLED SANDBAGS OR STRAW BALE INLET BARRIER.
7. ON ALL FINISH GRADED SLOPES, ON- AND OFF-SITE, EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR PLANTING OF ANNUAL WINTER BARLEY MIX AT A RATE OF 35 LBS PER ACRE.
8. ONCE SLOPES ARE SEEDED AND RAKED, COVER THEM WITH TWO INCHES (2") OF STRAW PUNCHED INTO THE GROUND BY SHEEP ROLLER. IF AVAILABLE, USE NATIVE BUNCH GRASS STRAW (PREFERABLY BROMUS CARINATUS), IF NOT AVAILABLE, USE COMMERCIALY AVAILABLE TYPES (E.G. WHEAT, OAT, BARLEY, ETC.) EXPOSED SOIL ON SLOPES GREATER THAN 20 % SHALL BE SEEDED, COVERED WITH 2 INCHES OF STRAW, AND A NORTH AMERICAN GREEN SCISO EROSION CONTROL BLANKET, OR APPROVED EQUAL. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
9. FERTILIZER REQUIRED FOR THIS SEED MIX IS AMMONIUM PHOSPHATE AT AN APPLICATION RATE OF 250 LB PER ACRE.
10. SEEDING MAY BE OMITTED FOR AREAS THAT ARE TO RECEIVE PERMANENT LANDSCAPING PROVIDED SAID LANDSCAPING IS IN PLACE PRIOR TO OCTOBER 15TH.
11. UNNECESSARY GRADING AND DISTURBING OF SOIL SHALL BE AVOIDED.
12. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO ENTER THE CHANNEL OR STORM DRAIN SYSTEM. USE OF SILT AND GREASE TRAPS, FILTER BERMS, HAY BALES OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
13. ALL EXCAVATED MATERIAL NOT SUITABLE FOR FILL OR REUSE SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
14. ANY MATERIAL STOCKPILED ON-SITE SHALL BE COVERED WITH PLASTIC, ESPECIALLY DURING THE WINTER MONTHS OR DURING PERIODS OF RAIN.
15. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
16. 48 HOUR NOTICE SHALL BE GIVEN TO ENVIRONMENTAL PLANNING AT 454-3188 PRIOR TO COMMENCING WORK, AND UPON COMPLETION OF GRADING AND EROSION CONTROL. FAILURE TO COMPLY WILL RESULT IN ISSUANCE OF A STOP WORK ORDER.

**GENERAL OPERATION NOTES:**

1. PERIMETER SITE FENCING SHALL BE INSTALLED SO AS NOT TO OBSTRUCT DRAINAGE/RUNOFF PATH OF TRAVEL.
2. STOCKPILE MANAGEMENT SHALL BE IMPLEMENTED YEAR ROUND.
  - A. PROVIDE SEDIMENT BARRIER AROUND STOCKPILES FOR REGULAR USAGE DURING THE DRY SEASON. IMPLEMENT WIND EROSION PRACTICES SUCH AS WATERING AS NECESSARY TO KEEP DUST LEVEL DOWN.
  - B. STOCKPILES NOT TO BE USED WITHIN 14 DAYS SHALL BE PROTECTED AND COVERED IMMEDIATELY WITH 10 MIL PVC PLASTIC SHEETING.
  - C. ALL ACTIVE STOCKPILES SHALL BE COVERED WITH 10 MIL PVC PLASTIC SHEETING PRIOR TO THE ONSET OF PRECIPITATION.
  - D. DURING WINTER SEASON, PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING SEDIMENT BARRIER AND PLASTIC SHEETING.
3. IMMEDIATELY REVEGETATE OR COVER DISTURBED AREAS. APPLY NEED-FREE MULCH OR REVEGETATE ALL SOIL EXPOSED BEFORE OCTOBER 15TH OF EACH YEAR.
4. DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PRECIPITATION.
5. GRAVEL BAG & COIR/FIBER ROLL PRODUCTS MAY BE SUBSTITUTED WITH OTHER APPROVED SEDIMENT BARRIER/CONTROL MANUFACTURED DEVICES.
6. DO NOT WASH DOWN PAVEMENT OR SURFACES WHERE SILT HAS BEEN DEPOSITED OR MATERIALS HAVE SPILLED. USE DRY CLEAN METHODS.
7. AVOID CONTAMINATING CLEAN RUN-OFF FROM AREAS ADJACENT TO YOUR SITE BY USING BERMS AND/OR TEMPORARY OR PERMANENT DRAINAGE DITCHES TO DIVERT WATER FLOW AROUND SITE.
8. PLACE TRASH CANS AROUND THE SITE TO REDUCE POTENTIAL LITTER. DISPOSE OF NON-HAZARDOUS CONSTRUCTION WASTE IN COVERED DUMPSTERS OR RECYCLING RECEPTACLES. RECYCLE LEFTOVER MATERIALS WHENEVER POSSIBLE.
9. DISPOSE OF ALL WASTE PROPERLY. MATERIALS THAT CAN NOT BE REUSED OR RECYCLED MUST BE TAKEN TO AN APPROPRIATE LANDFILL OR DISPOSED OF AS HAZARDOUS WASTE, AS APPROPRIATE.
10. TRAIN YOUR EMPLOYEES AND INFORM CONTRACTORS AND SUBCONTRACTORS ABOUT STORM WATER MANAGEMENT REQUIREMENTS AND THEIR RESPONSIBILITIES FOR COMPLIANCE.

**INSPECTION & MAINTENANCE NOTES:**

1. THE CONTRACTOR SHALL PERFORM AND MAKE WRITTEN RECORD OF ALL SITE INSPECTIONS TO ENSURE ADEQUATE DEPLOYMENT OF BMP'S.
2. DURING INSPECTIONS IDENTIFY AND RECORD BMP'S THAT NEED MAINTENANCE TO OPERATE EFFECTIVELY, THAT HAVE FAILED, OR THAT COULD FAIL TO OPERATE AS INTENDED.
3. REPAIR TO BMP'S SHALL BEGAIN WITHIN 72 HOURS OF IDENTIFICATION AND THE CHANGES COMPLETED AS SOON AS POSSIBLE.
4. CONDUCT INSPECTIONS DURING BUSINESS HOURS ONLY.
5. AT MINIMUM, INSPECTIONS WILL BE CONDUCTED AS FOLLOWS:
  - WEEKLY
  - PRE STORM EVENT
  - DURING STORM EVENT
  - POST STORM EVENT
6. VISUALLY INSPECT FOR ANY SPILLS, LEAKS, STORMWATER RUN-OFF, EROSION, SHEEN ON THE SURFACE, TURBIDITY, ODOORS, AND SOURCE OF ANY OBSERVED POLLUTANTS.
7. AT THE END OF EACH WORK DAY, 4 VISUAL INSPECTIONS SHALL BE CONDUCTED:
  - A. COVER ALL TRASH AND TRASH CONTAINERS,
  - B. COVER CONCRETE WASHOUT FACILITY
  - C. COVER ALL OTHER CHEMICAL/WASTE CONTAINERS
  - D. LOCK ACCESS GATE TO PREVENT UNAUTHORIZED ACCESS

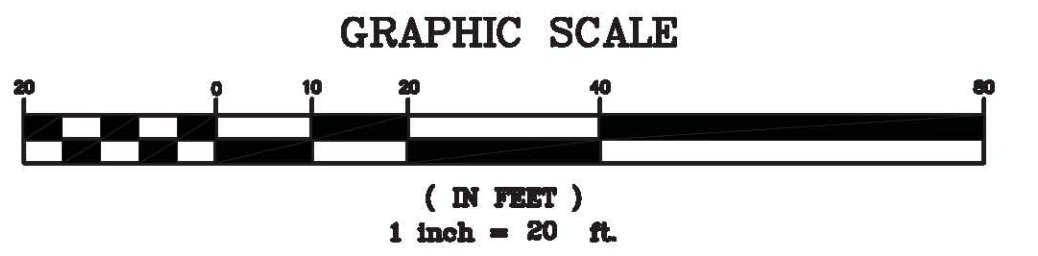
**RAIN EVENT MEASURES**

1. 48 HOURS PRIOR TO A PREDICTED RAIN EVENT, IN ADDITION TO THE INSTALLED BMP'S, THE CONTRACTOR SHALL COVER ANY DISTURBED BARE SOILS WITH MULCH OR EROSION CONTROL BLANKETS.
2. A PREDICTED RAIN EVENT IS A FORECAST TO HAVE A 50% OR GREATER PROBABILITY OF PRODUCING PRECIPITATION IN THE PROJECT AREA PER THE NATIONAL WEATHER SERVICE (NOAA) AT WWW.NOAA.GOV.
3. COVER ALL TRASH CONTAINERS, CONCRETE WASHOUT FACILITY, AND OTHER CHEMICAL/WASTE CONTAINERS FROM PRECIPITATION.

**CAPITOLA STORMWATER BMP'S**

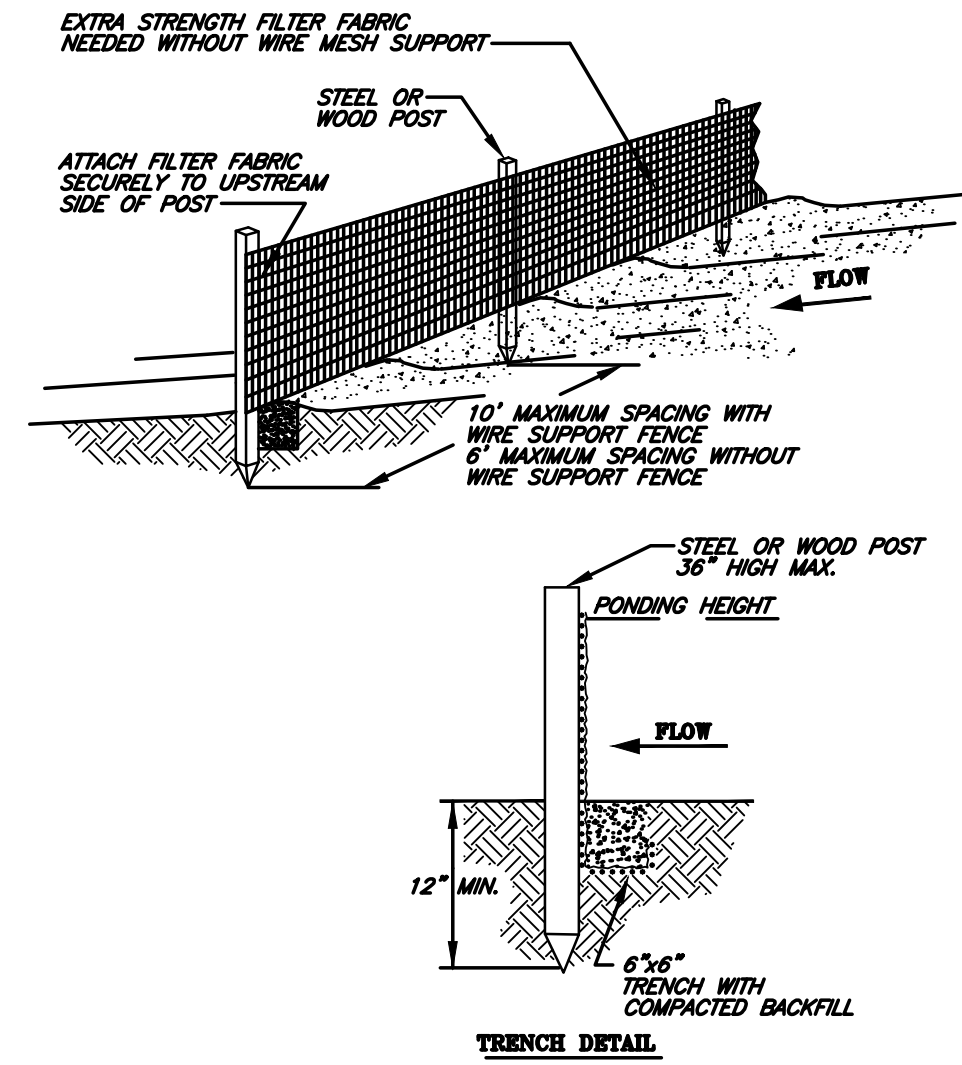
1. CONDUCT ASPHALT AND CONCRETE REMOVAL ACTIVITIES DURING DRY WEATHER WHENEVER POSSIBLE.
2. PROTECT NEARBY STORM DRAIN INLETS AND ADJACENT WATER BODIES PRIOR TO BREAKING UP ASPHALT OR CONCRETE. IF RAIN IS FORECAST, THEN PLACE SANDBAGS AROUND INLETS OR WORK AREAS.
3. DRY OUT WHENEVER POSSIBLE. SWEEP BY HAND OR USING STREET SWEEPING EQUIPMENT AS APPROPRIATE. DURING SAW CUTTING AND GRADING OPERATIONS, USE AS LITTLE WATER AS POSSIBLE. PROTECT NEARBY CATCH BASINS OR GUTTERS, AND USE MATERIALS TO CONTAIN THE SLURRY. IF SLURRY ENTERS THE STORM DRAIN SYSTEM, REMOVE MATERIAL IMMEDIATELY. REMOVE SAW-CUT SLURRY FROM THE WORK AREA WITH A SHOVEL, VACUUM OR BY SWEEPING AS SOON AS IT IS DRY.
4. WHEN THE JOB IS COMPLETED, BE SURE THAT ALL PARTICLES AND DEBRIS ARE COLLECTED AND REMOVED FROM THE SITE. SWEEP THE AREA BY HAND OR WITH THE CITY'S STREET SWEEPING EQUIPMENT. BE SURE THAT NOTHING HAS DRIFTED TOWARDS THE STREET, GUTTER, OR CATCH BASIN.
5. SCHEDULE PATCHING, RESURFACING AND SURFACE SEALING DURING DRY WEATHER.
6. PREHEAT, TRANSFER, OR LOAD HOT BITUMINOUS MATERIAL AWAY FROM DRAINAGE SYSTEMS OR WATERCOURSES.
7. COVER AND SEAL NEARBY STORM DRAIN INLETS AND MANHOLES BEFORE APPLYING SEAL COAT, SLURRY SEAL, ETC. LEAVE COVERS IN PLACE UNTIL JOB IS COMPLETE AND UNTIL ALL WATER FROM EMULSIFIED OIL SEALANT HAS DRAINED OR EVAPORATED. COLLECT WASTE MATERIALS FOR PROPER DISPOSAL.
8. USE ONLY AS MUCH WATER AS NECESSARY FOR DUST CONTROL TO AVOID RUNOFF. IF IT RAINS UNEXPECTEDLY, TAKE APPROPRIATE ACTION TO PREVENT POLLUTION OF STORM WATER RUNOFF. DIVERT RUNOFF AROUND WORK AREAS AND COVER MATERIALS. STOCKPILE MATERIALS AWAY FROM STREET, GUTTER AREAS, STORM DRAIN INLETS OR WATERCOURSES. DURING WET WEATHER, COVER STOCKPILES WITH TARPS OR USE BERMS TO PREVENT RUNOFF.
9. REMOVE STOCKPILES, SWEEP UP EXCESS MATERIAL, AND DISPOSE OF PROPERLY BY THE END OF EACH WEEK OR, IF DURING THE RAINY SEASON, THE END OF EACH DAY. SWEEP UP AS MUCH EXCESS MATERIAL AS POSSIBLE AND DISPOSE OF PROPERLY. ONLY WASH DOWN STREETS IF RUNOFF CAN BE CONTROLLED OR CONTAINED. STOCKPILES MUST BE REMOVED BY THE END OF EACH DAY IF THEY ARE LOCATED IN THE PUBLIC RIGHT-OF-WAY.
10. RECYCLE AS MUCH OLD PAVEMENT MATERIAL AS POSSIBLE. PROPERLY DISPOSE OF NON-RECYCLABLE MATERIALS.
11. PARK PAVING MACHINES OVER DRIP PANS OR ABSORBENT MATERIALS.
12. NEVER WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO A STREET OR A STORM DRAIN INLET. COLLECT AND RETURN TO AGGREGATE BASE STOCKPILE OR DISPOSE OF IN THE TRASH.

TOTAL AREA OF DISTURBANCE = 26,145 SF



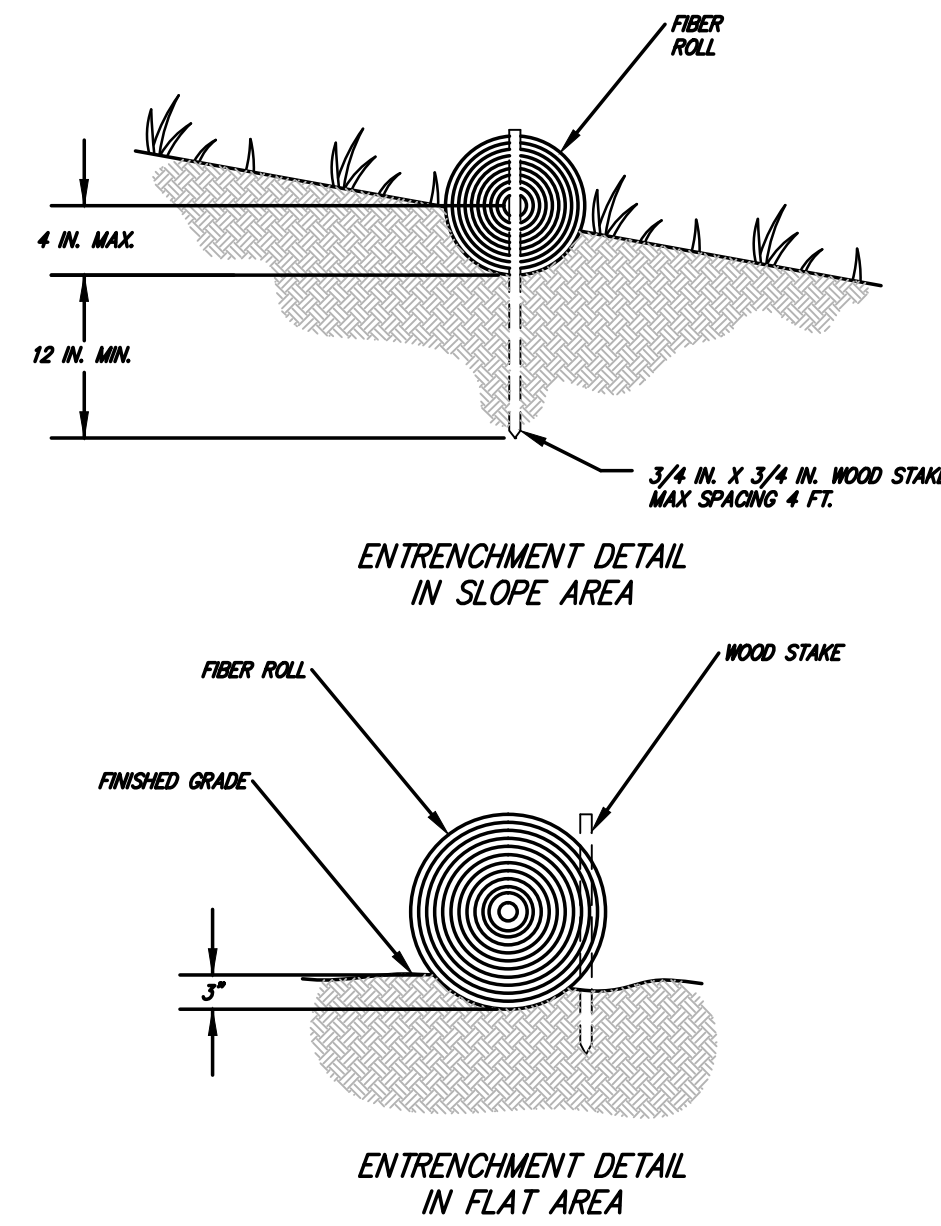
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APN		REVISIONS	
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS 1011 CEDAR STREET SANTA CRUZ, CA 95060 (31) 426-3560		EROSION & SEDIMENT CONTROL PLAN RISPIN MANSION PARK CAPITOLA, CALIFORNIA	
SCALE 1" = 20'	DRAWN MAL	JOB NO. 25803	SHEET
DATE DECEMBER 30, 2015	CHECKED JFR	INDEX	C4.0
DESIGN BRR	DWG NAME 25803-C4.0	FILE NO.	OF 9

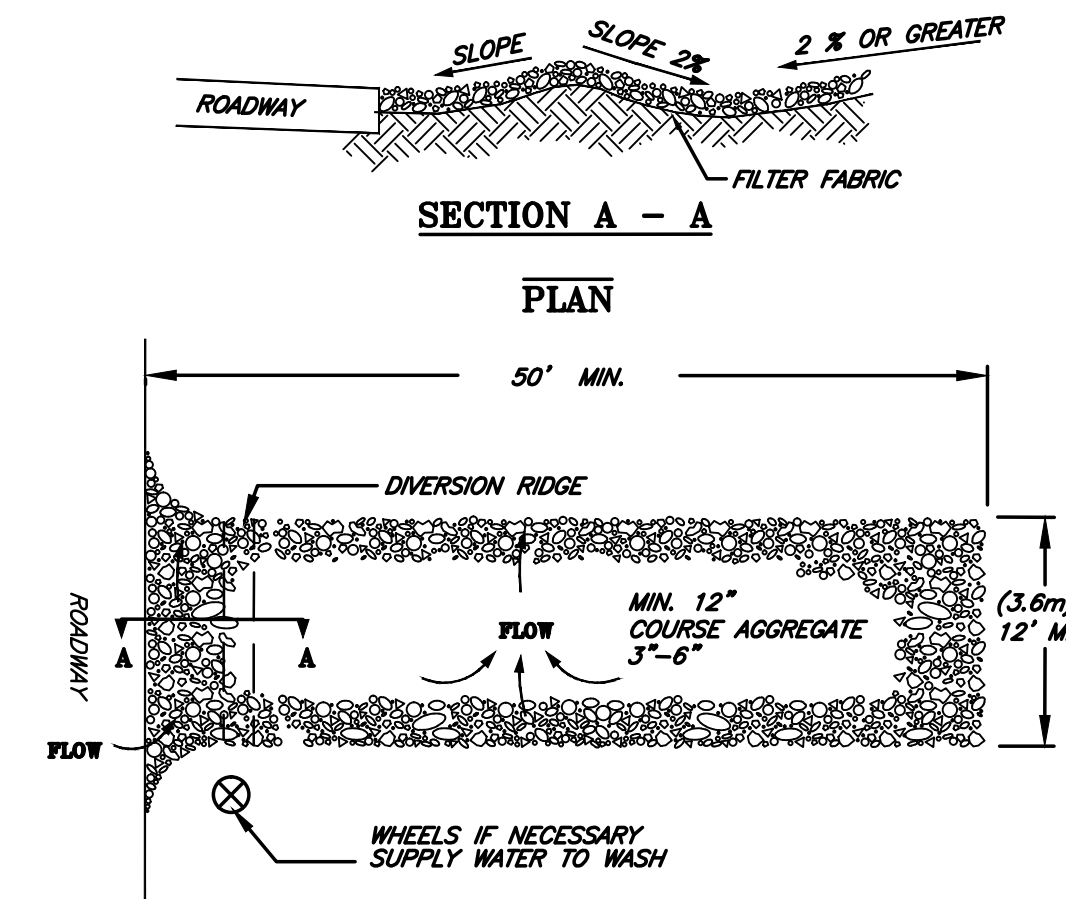


- NOTES:**
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
  2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
  3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

**1** **SILT FENCE**  
SCALE: NTS

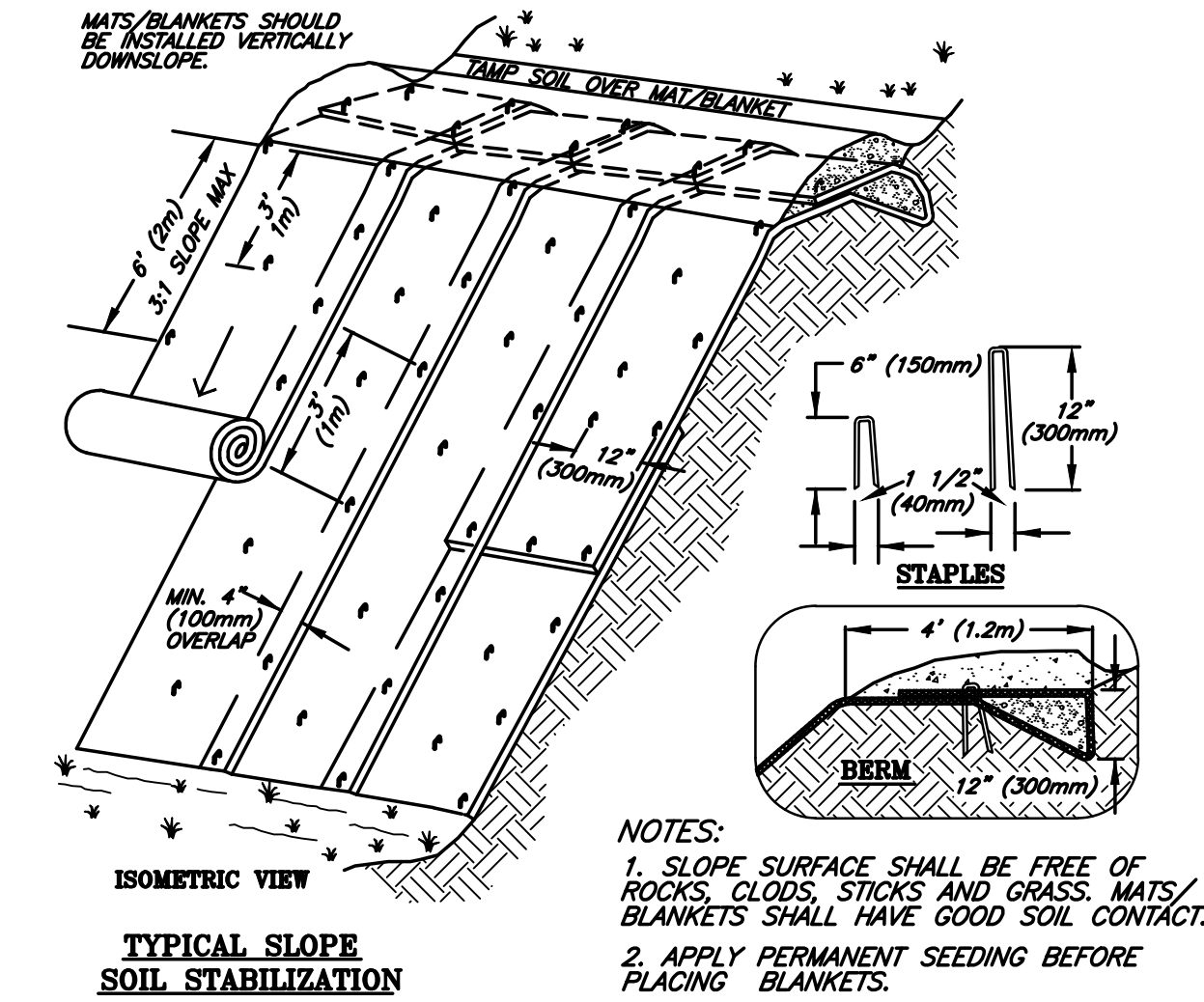


**2** **COIR/FIBER ROLLS (STRAW WATTLES)**  
SCALE: NTS



- NOTES:**
1. Properly grade entrance to prevent runoff from construction site. Entrance elevation should be lower than street.
  2. Inspect routinely for damage and repair as needed.
  3. Require that all employees, subcontractors and suppliers utilize the stabilized construction entrance.
  4. Service sediment trapping devices regularly.

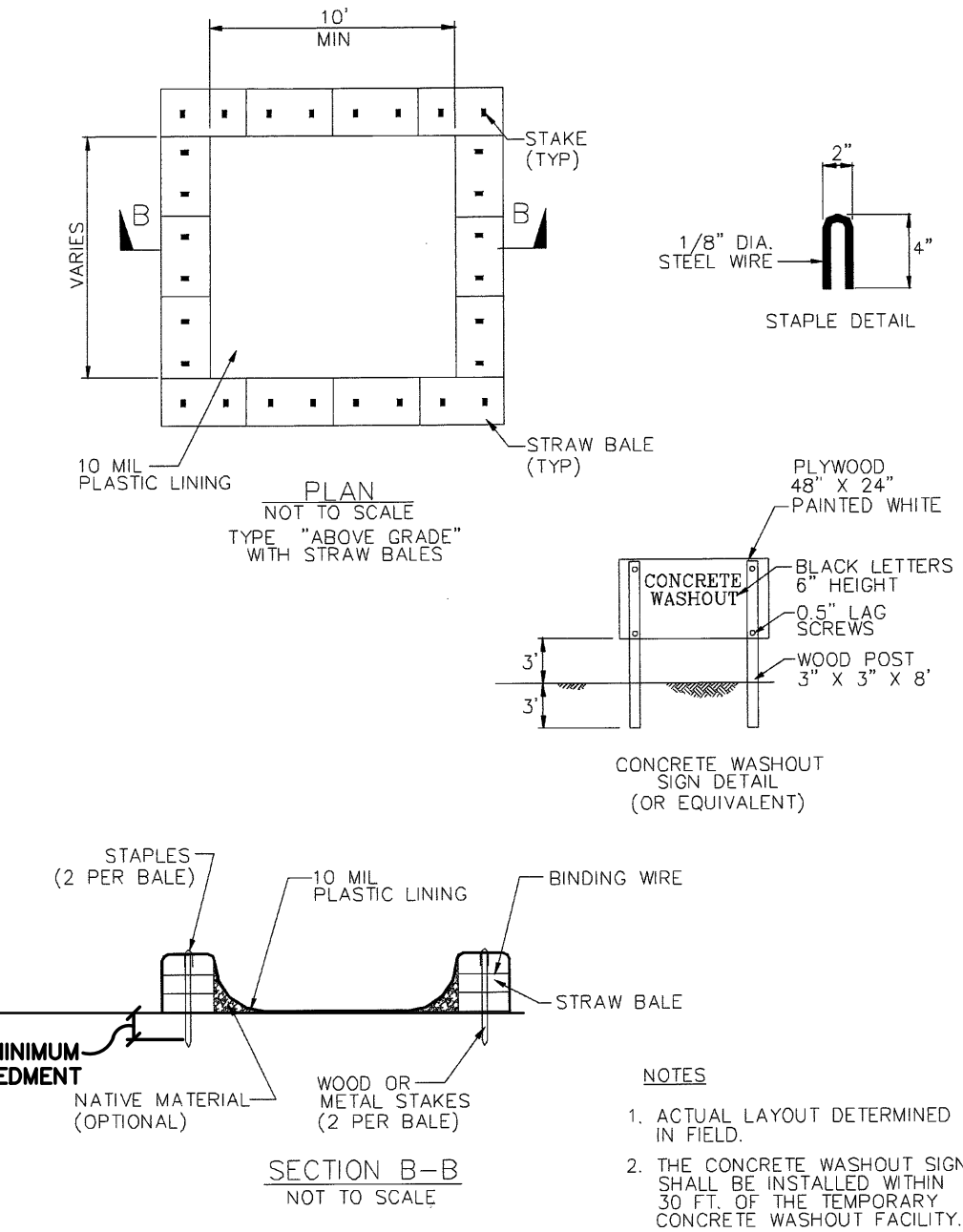
**3** **CONSTRUCTION ENTRANCE**  
SCALE: NTS



- NOTES:**
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
  2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
  3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

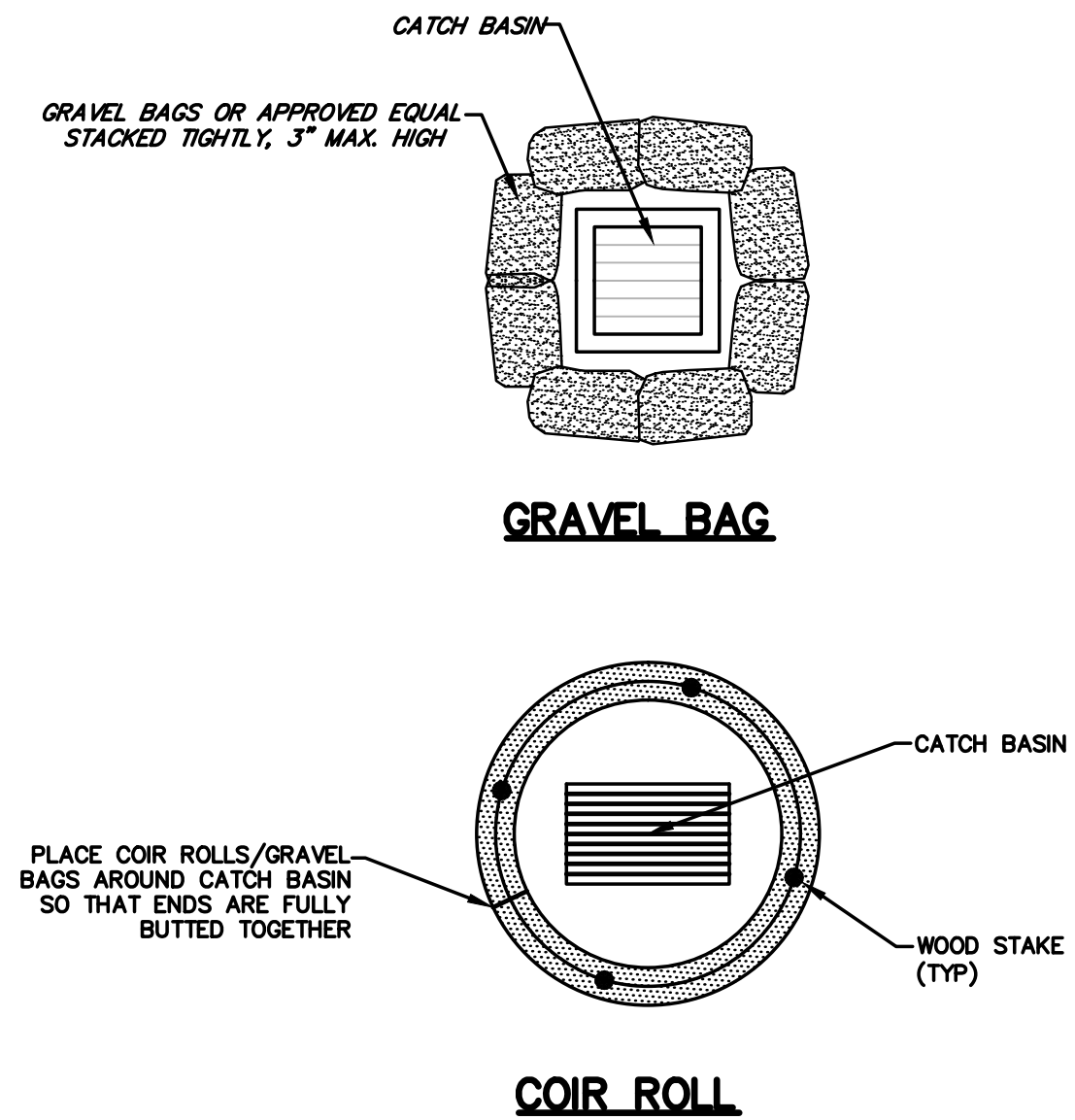
**7** **EROSION CONTROL BLANKET**  
SCALE: NTS

**Concrete Waste Management WM-8**

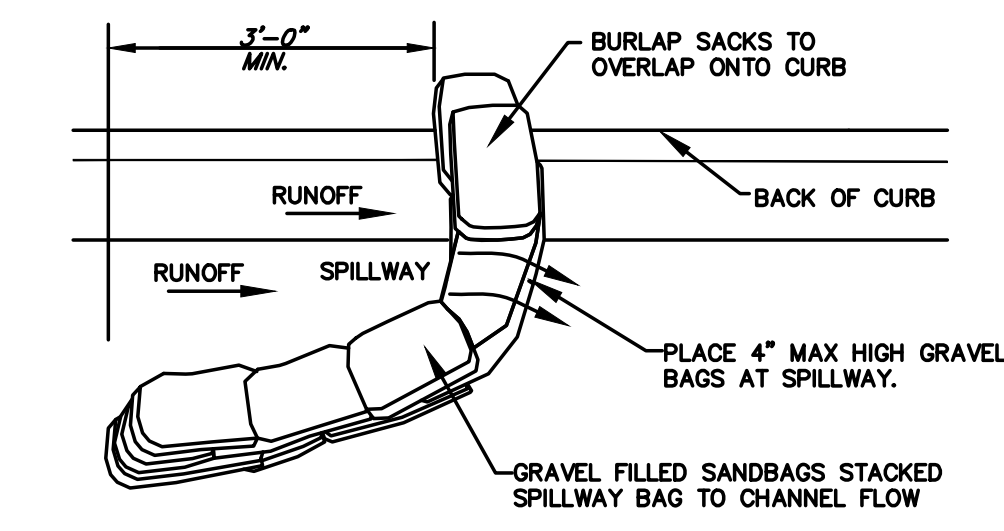


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**4** **CONCRETE WASHOUT FACILITY**  
SCALE: NTS

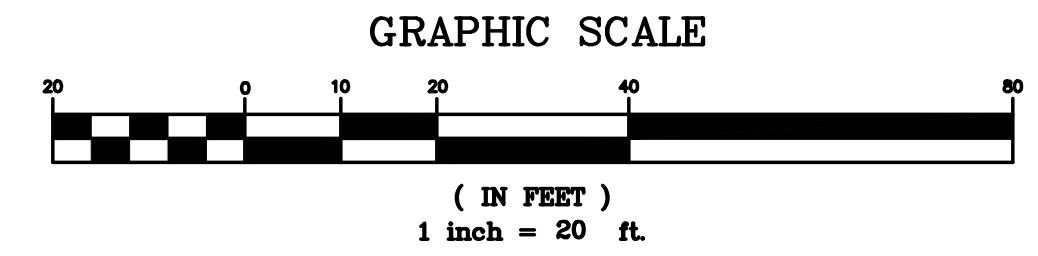


**5** **STORM DRAIN PROTECTION**  
SCALE: NTS



- NOTES:**
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
  2. GRAVEL/SANDBAGS OF EITHER BURLAP OR WOVEN "GEOTEXTILE" FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
  3. LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
  4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

**6** **SEDIMENT BARRIER**  
SCALE: NTS



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APN			
REVISIONS			
<b>BOWMAN &amp; WILLIAMS</b> CONSULTING CIVIL ENGINEERS 1011 CEDAR STREET SANTA CRUZ, CA 95060 (831) 426-3560		<b>EROSION &amp; SEDIMENT CONTROL DETAILS</b>	
RISPIN MANSION PARK CAPITOLA, CALIFORNIA			
SCALE 1" = 20'	DRAWN MAL	JOB NO. 25803	SHEET
DATE DECEMBER 30, 2015	CHECKED JFR	INDEX	<b>C4.1</b>
DESIGN BRR	DWG NAME 25803-C4.0	FILE NO.	OF 9

**GENERAL NOTES**

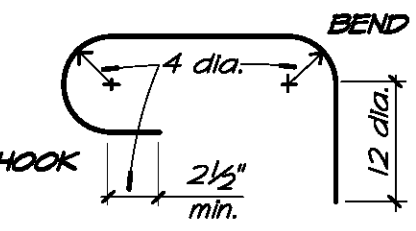
**Site Condition:** The Contractor shall examine and check all existing conditions, dimensions, levels and material and notify the Architect of discrepancies.

**Footings:** Footings shall extend a minimum of 18" below finished grade. Footings are proportioned for an allowable soil pressure of 2000 psf for dead plus live loads with a one third increase for wind or seismic. Pier footings are proportioned for an allowable passive pressure of 250 pcf. See Pacific Crest Engineering, Inc. geotechnical investigation dated January 4, 2015, project No. 15114-S264-B4.

**Concrete:** Concrete shall be proportioned to give a 28 day compressive strength of at least 2500 psi for slabs-on-grade and foundations and 3000 psi for piers, columns and deck fill. The slump shall be the minimum consistent with the condition of placing but in general shall not exceed 4 inches. Water-cement ratio shall not exceed 0.50. All concrete construction shall be in accordance with Chapter 19 of the California Building Code, 2013 Edition.

**Reinforcing bars:** Reinforcing bars shall be deformed bars conforming to ASTM Standard Specification A615 Grade 40 for #4 bars and smaller and Grade 60 for #5 bars and larger. Reinforcing shall be placed in as long lengths as possible. Bars shall lap 60 dia. at splices unless otherwise shown or noted on the plans, using the diameter of the larger bar in case of difference in size. Splices shall be staggered and bars may be wired together at splices. Bend steel around corners 12" minimum. All reinforcing steel shall be in accordance with Chapter 19 of the California Building Code, 2013 Edition. Bar coverage (face of bar to face of concrete) shall be as follows unless noted otherwise.

Concrete slab on grade 1 1/2" min.  
 Concrete surface against earth 3" min.  
 When poured against forms exposed to weather or earth 2" min.  
 All others See details



Bars shall have bends and hooks as follows except as otherwise shown or noted:

**Structural and Miscellaneous Steel:** Structural and miscellaneous steel shall conform to ASTM A-36. Structural steel tubes shall conform to ASTM A500, Grade B. Fabrication, erection, welding and painting shall be in accordance with the latest edition of the American Institute of Steel Construction Specifications. All steel shall be galvanized.

**Steel Decking:** Steel Decking shall be of size and shape as noted on the drawings, galvanized as manufactured by Verco Manufacturing Co. or approved equal.

**Epoxy Adhesive:** Reinforcing dowels and threaded rods set in epoxy adhesive shall have 100 percent of the dowels/ rods proof tested in tension to twice the allowable tension load. Epoxy adhesive to be Simpson SET-XP adhesive per ICBO Report No. 2508, reissued July 2015 or approved equal.

Minimum Proof Load Tests Values and Embedments

Bar Size	Concrete		MASONRY	
	Direct Pull-Out Tension	Embedments	Direct Pull-Out Tension	Embedments
#3 bar	4200#	6" min.*	2000#	6" min.*
#4 bar	7500#	6" min.*	2300#	6" min.*
1/2" dia. thrd rod	4100#	6" min.*	2300#	6" min.*
5/8" dia. thrd rod	4400#	6" min.*	2400#	6" min.*

\* Unless noted otherwise

**Existing Structures:** These drawings detail certain additions and revisions to existing site structures. The Engineer was not engaged to and therefore has not made a structural analysis of the existing site structures and assumes no responsibility for the structural integrity of the site structures. Whenever new work is shown to join and be attached to the existing structures, such attachment has been designed on the basis of information obtained from field observation where possible. If during construction it becomes evident that existing construction is not as indicated on these plans, the Engineer should be notified prior to any further work.

**Special Inspections:** The following special inspections, as required by Section 1705 of the California Building Code, 2013 Edition, shall be provided during construction on the following types of work. The Contractor shall make arrangements for such tests, inspections and approvals with an independent testing laboratory or entity acceptable to the Owner. The Owner shall bear costs of the test and/or inspections.

- A. Structural Welding per Section 1705.2.2 and Table 1705.2.1;
- B. Concrete (piers, columns and deck fill only) per Section 1705.3 and Table 1705.3
- C. Reinforcing steel (piers and columns only) per Section 1705.3 and Table 1705.3
- D. Post-Installed Anchors as noted above.
- E. Piers per 1705.8 and Table 1705.8

**General Design Criteria:**

**Seismic:**  
 Occupancy Category = II, I = 1.0  
 Seismic Design Category = "D"; Site Class "D"  
 S<sub>s</sub> = 1.50 g S<sub>1</sub> = 0.60g  
 F<sub>a</sub> = 1.0; F<sub>v</sub> = 1.5  
 S<sub>ms</sub> = F<sub>a</sub>S<sub>s</sub> = 1.50g  
 S<sub>m1</sub> = F<sub>v</sub>S<sub>1</sub> = 0.90g  
 S<sub>d1</sub> = 2/3 S<sub>ms</sub> = 1.00  
 S<sub>d1</sub> = 2/3 S<sub>m1</sub> = 0.60

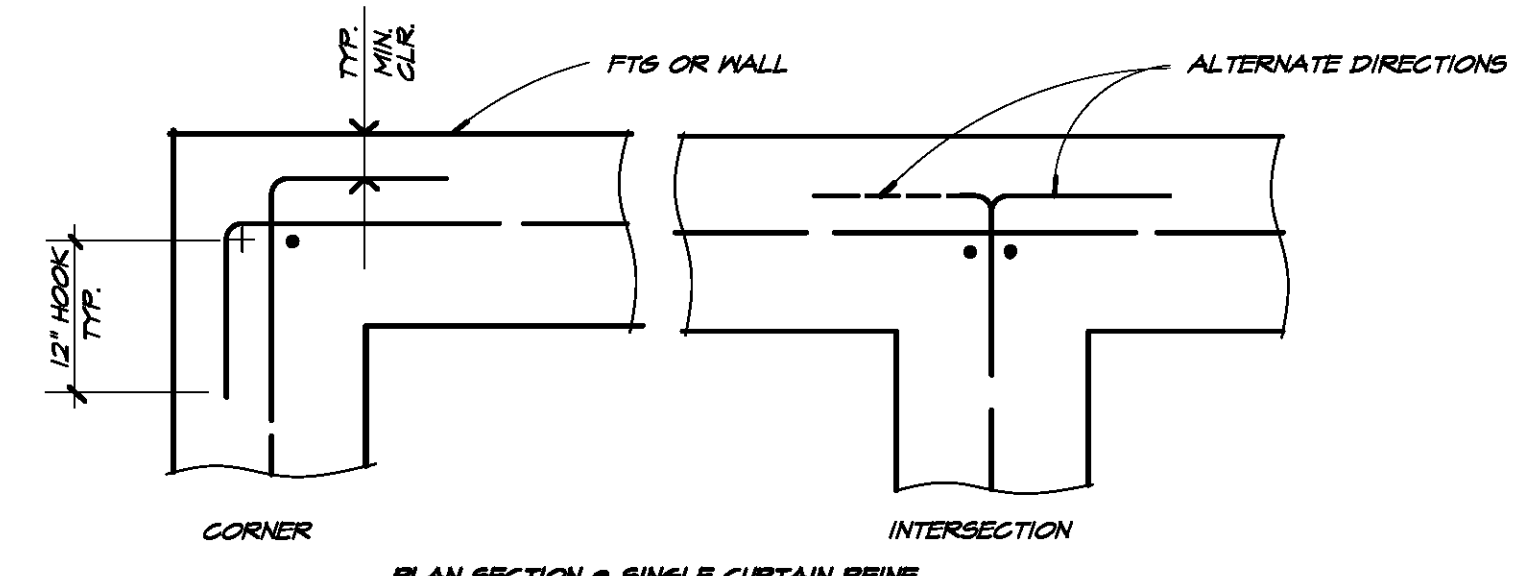
**Longitude & Latitude**  
 Long: -121.95802  
 Lat: 36.91835

**Wind:**  
 Wind Exposure "C"  
 110 mph wind speed

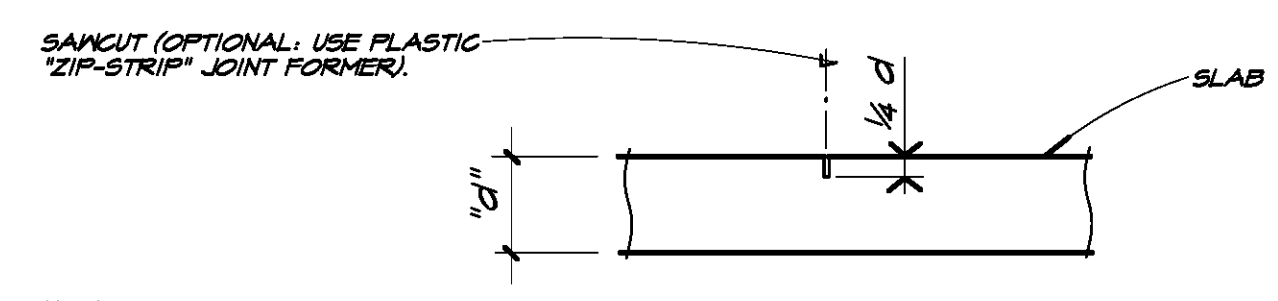
**Structural Observation:** During the construction the owner shall employ the structural engineer responsible for the structural design to make visits to the site to observe general compliance with the approved structural plans, specifications and change orders. The engineer shall submit a statement in writing to the building official stating the site visits have been made and that any deficiencies noted have been corrected. All construction not specifically detailed shall be built to conform with similar construction shown and the requirements of the California Building Code, 2013 Edition.

**ABBREVIATIONS**

A.B. = Anchor Bolt	Frmg. = Framing	Perf. = Performed
Arch. Dngs. = Architectural Drawings	Ft. = Foot, Feet	Ply. = Plywood
Blk. = Block	Ftg. = Footing	Pl. = Plate
Blkg. = Blocking	Galv. = Galvanized	Reinf. = Reinforcing
Bn. = Beam	GL. = Glulam beam	Ret. = Retaining
Bott. = Bottom	GSM. = Galvanized Sheet Metal	Req. = Requirements
Cont. = Cantilever	Hdr. = Header	Rf. = Roof
Cl. = Center Line	Ht. = Height	Rm. = Room
Col. = Column	Horiz. = Horizontal	Rdw. = Redwood
Compl. Pen. = Complete Penetration	Jst. = Joist	S.B. = Solid Blocking
Conc. = Concrete	Max. = Maximum	Shtg. = Sheathing
Cont. = Continuous	M.B. = Machine Bolt	Sim. = Similar
Dbl. = Double	M.B.M. = Metal Blag Manufacturer	Sq. = Square
D.F. = Douglas Fir	Mech. = Mechanical	Std. = Standard
Dia. = Diameter	Mn. = Minimum	T.E.N. = Typical Edge Nailing
(E) = Existing	(N) = New	T&G = Tongue and Groove
Ea. = Each	N.T.S. = Not to Scale	TS = Structural Steel Tube
Flr. = Floor	O.C. = On Center	Typ. = Typical
Fnd. = Foundation	O.H. = Opposite Hand	U.N. = Unless Noted
F.O.C. = Face of Concrete	P.M.P. = Perforated Metal Pipe	Vert. = Vertical
F.O.S. = Face of Studs	P.T.D.F. = Pressure Treated Douglas Fir	W.M.F. = Welded Wire Fabric
		W. = Steel Beam
		W.A. = Wedge Anchor

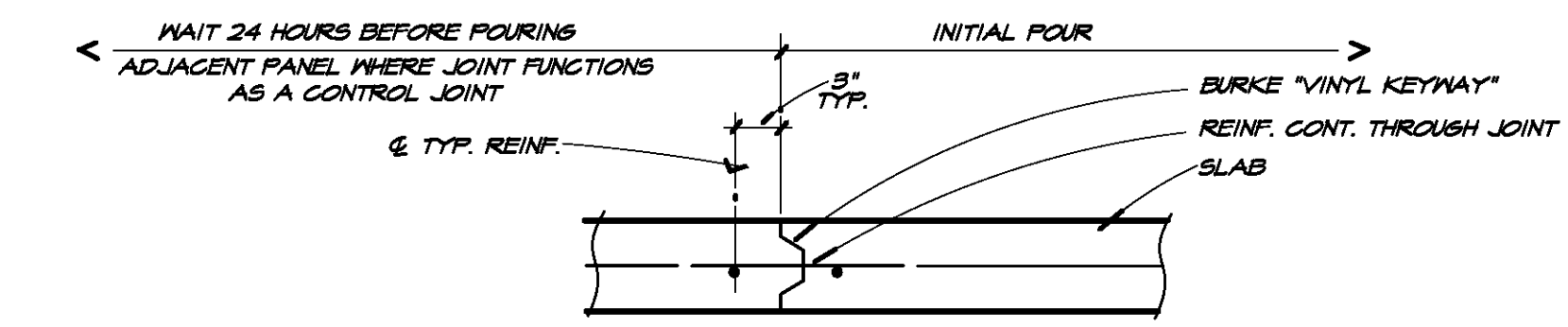


**TYP. WALL & FTG. REINF. @ CORNERS and INTERSECTIONS** (S1.1)



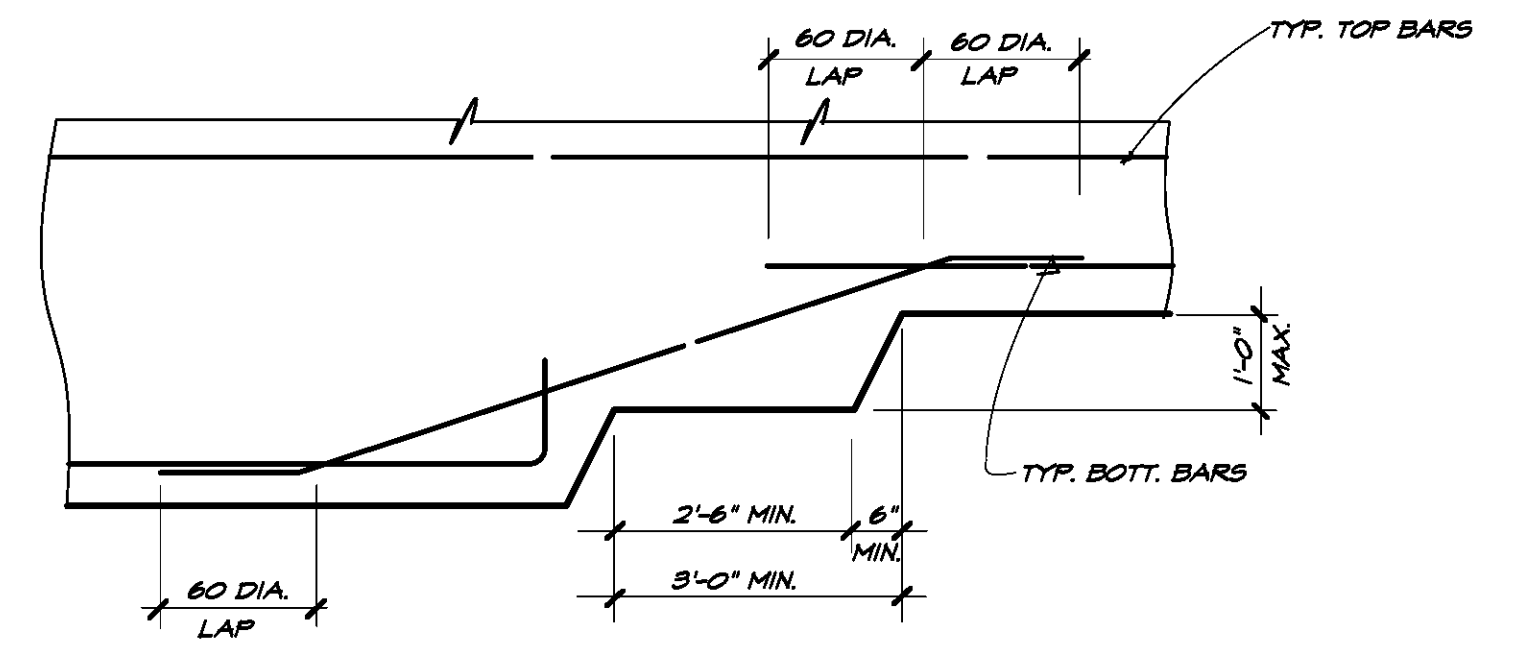
**NOTES:**  
 1. AREA BTWN. SAWCUTS TO BE EQUAL TO OR LESS THAN 225 SQ.FT. COORDINATE LOCATIONS W/ ARCHITECT. SUBMIT SLAB LAYOUT PATTERN FOR REVIEW (SPACING BTWN SAWCUTS AT EXTERIOR SLABS SHALL BE LESS THAN OR EQUAL TO 12').  
 2. SAWCUT WITHIN 15 HOURS AFTER POUR.  
 3. JOINTS TO BE LOCATED AT 15'-0" o.c. MAX. THE PANEL LENGTH TO WIDTH RATIO SHALL NOT EXCEED 1 1/4 TO 1 FOR UNJOINTED SLAB AREA.

**TYPICAL SAWCUT** (S1.1)



**NOTES:**  
 1. CONSTRUCTION JOINT LOCATION SHALL COINCIDE W/ THE CONTROL JOINT PATTERN.  
 2. CONSTRUCTION JOINTS SHALL BE USED TO FORM THE EDGE OF EA. DAYS WORK AND WHERE POURING OPERATIONS ARE SUSPENDED FOR 30 MINS OR MORE.

**TYP. CONSTRUCTION JOINT** (S1.1)



**TYPICAL STEP FOOTING** (S1.1)

**REVISIONS**

DATE	

**DONALD C. URFER AND ASSOC. INC.**  
 CIVIL AND STRUCTURAL ENGINEERS  
 2715 PORTER STREET, SOQUEL, CA 95073  
 831.476.9881

**GENERAL NOTES / TYPICAL DETAILS**

**RISPIN MANSION PARK**  
 WHARF ROAD AND CLARES STREET  
 CAPITOLA, CALIFORNIA



DATE  
 SCALE  
 DRAWN  
 JOB  
 SHEET

**S1.1**

REVISIONS	
DATE	

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**FOUNDATION AND FRAMING PLANS**

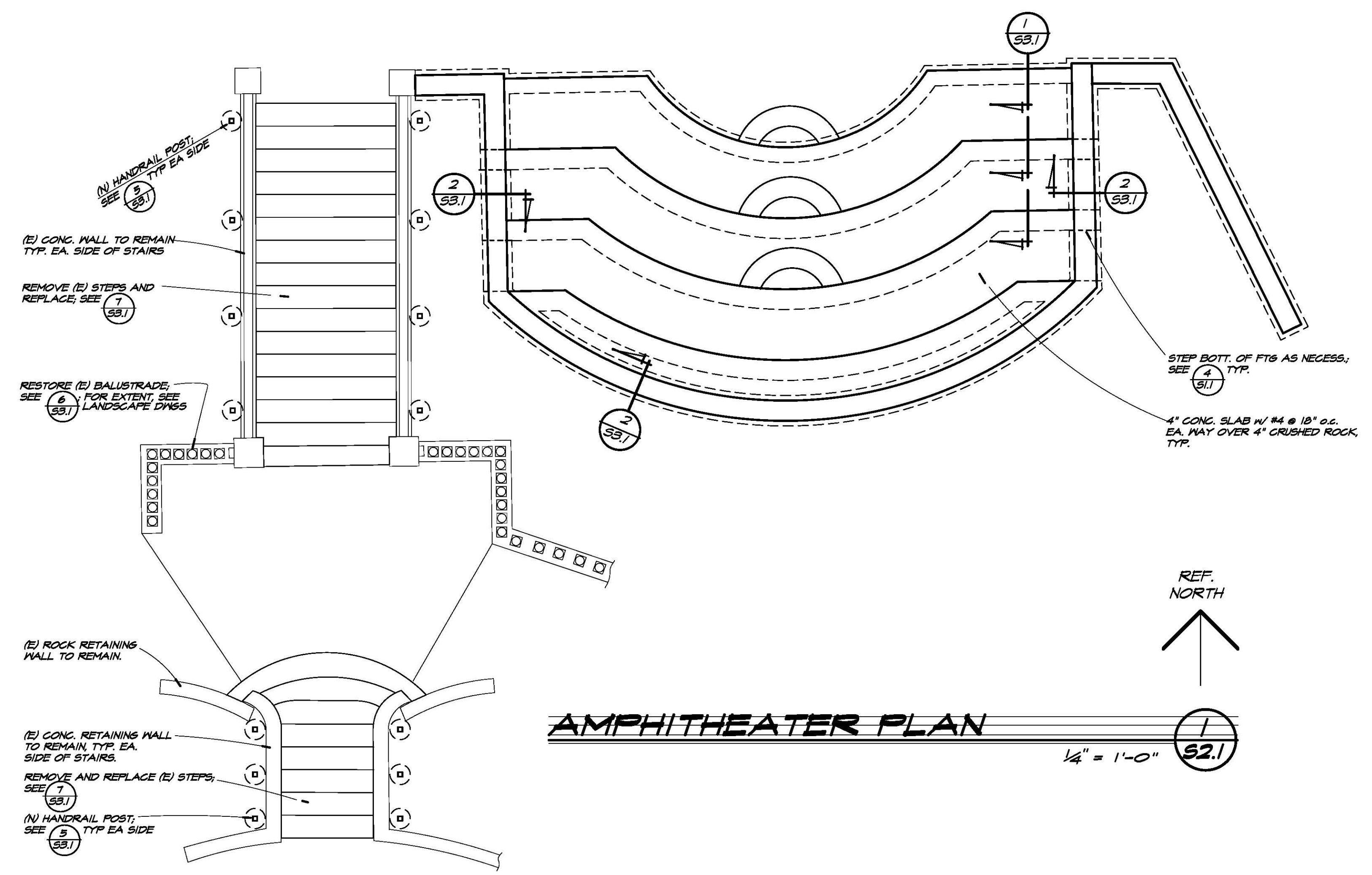
**RISPIN MANSION PARK**  
 WHARF ROAD AND CLARES STREET  
 CAPITOLA, CALIFORNIA



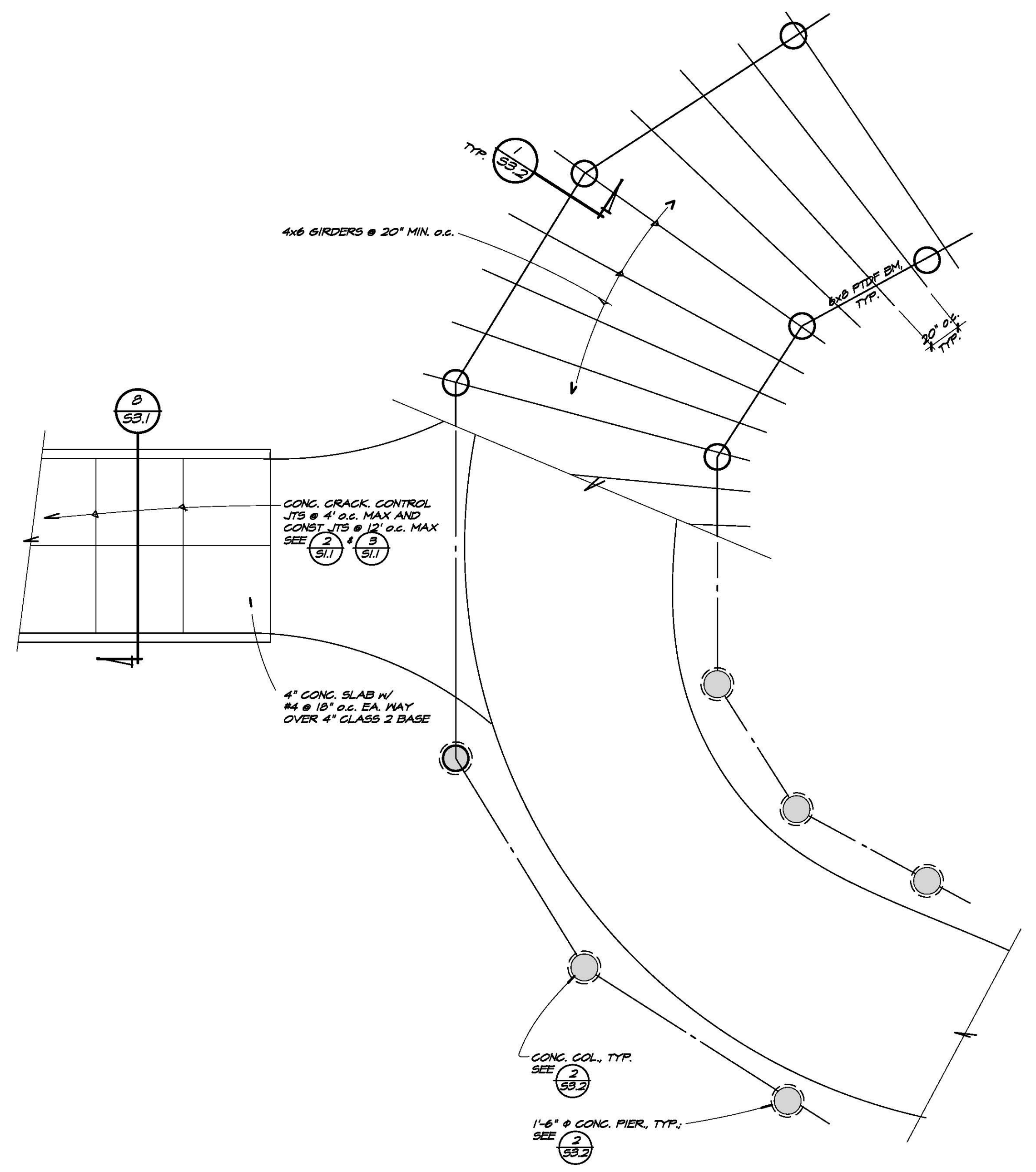
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**S2.1**

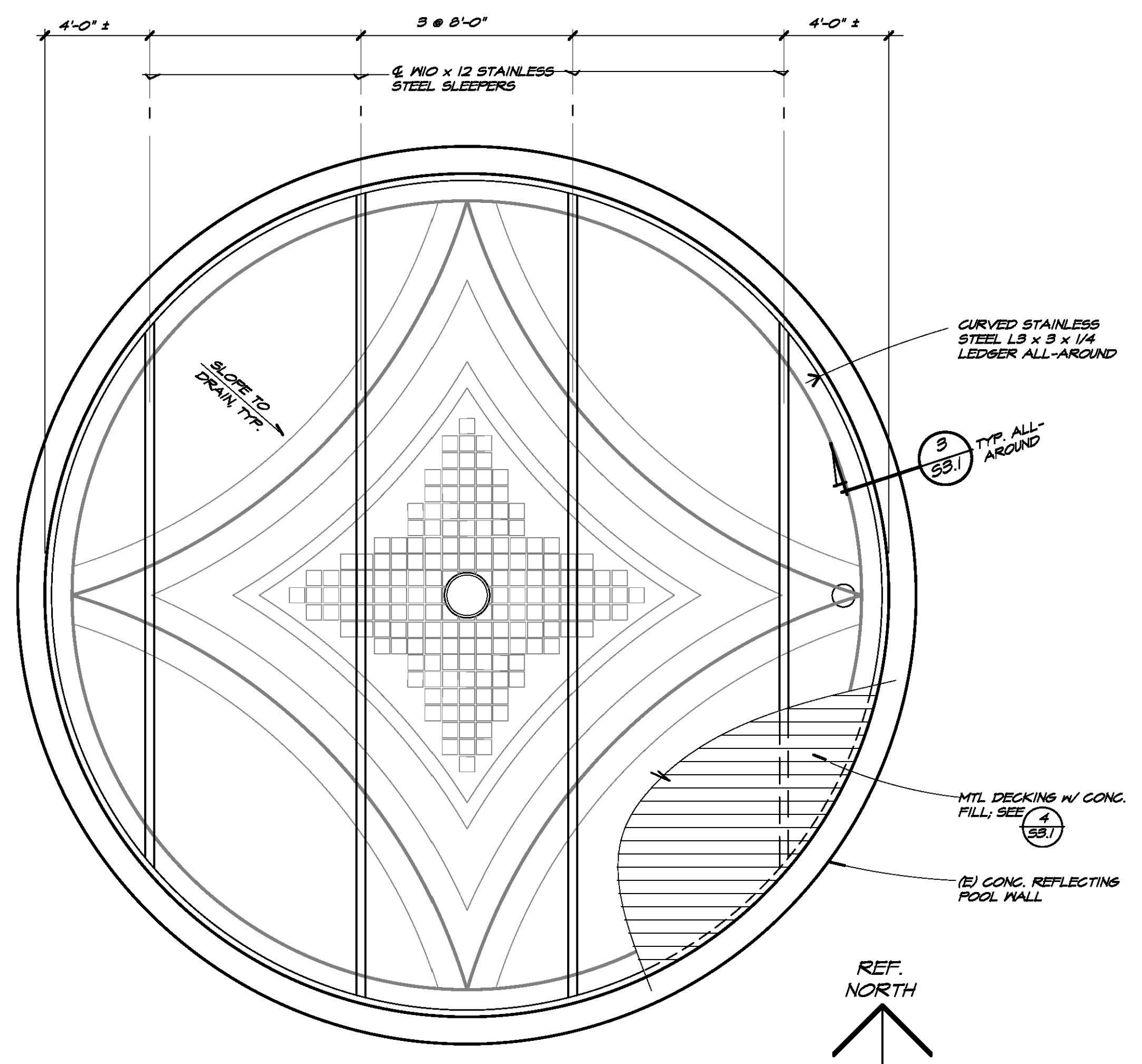
Attachment: Rispin Mansion Park Plans (1418 : Rispin Mansion Park and Pavement Management Program Projects to Bid)



**AMPHITHEATER PLAN**  
 1/4" = 1'-0" S2.1



**ARBOR FND/FRMG PLAN**  
 1/4" = 1'-0" S2.1



**REFLECTING POOL FLR FRMG**  
 1/4" = 1'-0" S2.1

30 DEC 15 11:00 A.M.

REVISIONS	
DATE	

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**DETAILS**

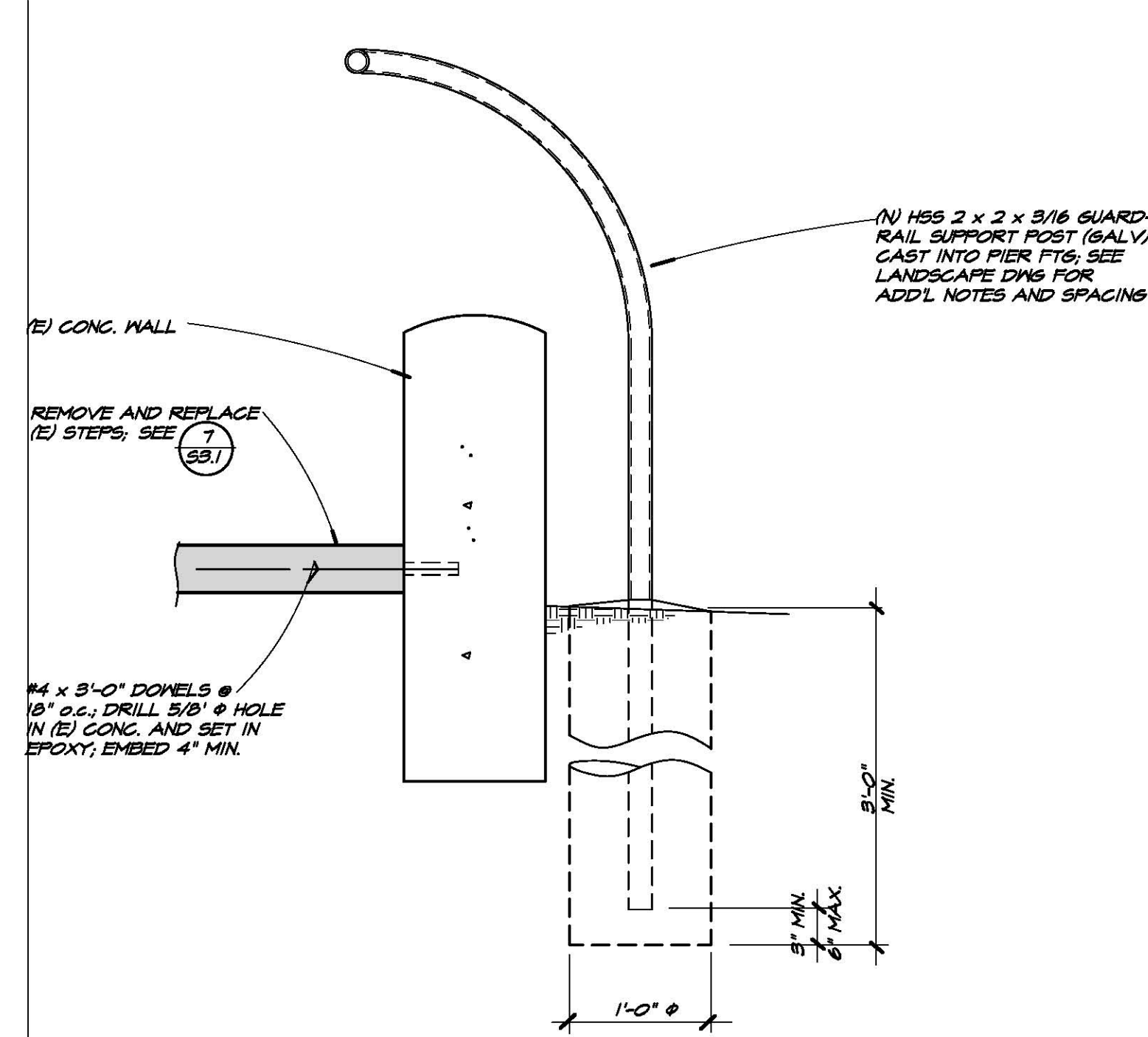
**RISPIN MANSION PARK**  
 WHARF ROAD AND CLARES STREET  
 CAPITOLA, CALIFORNIA



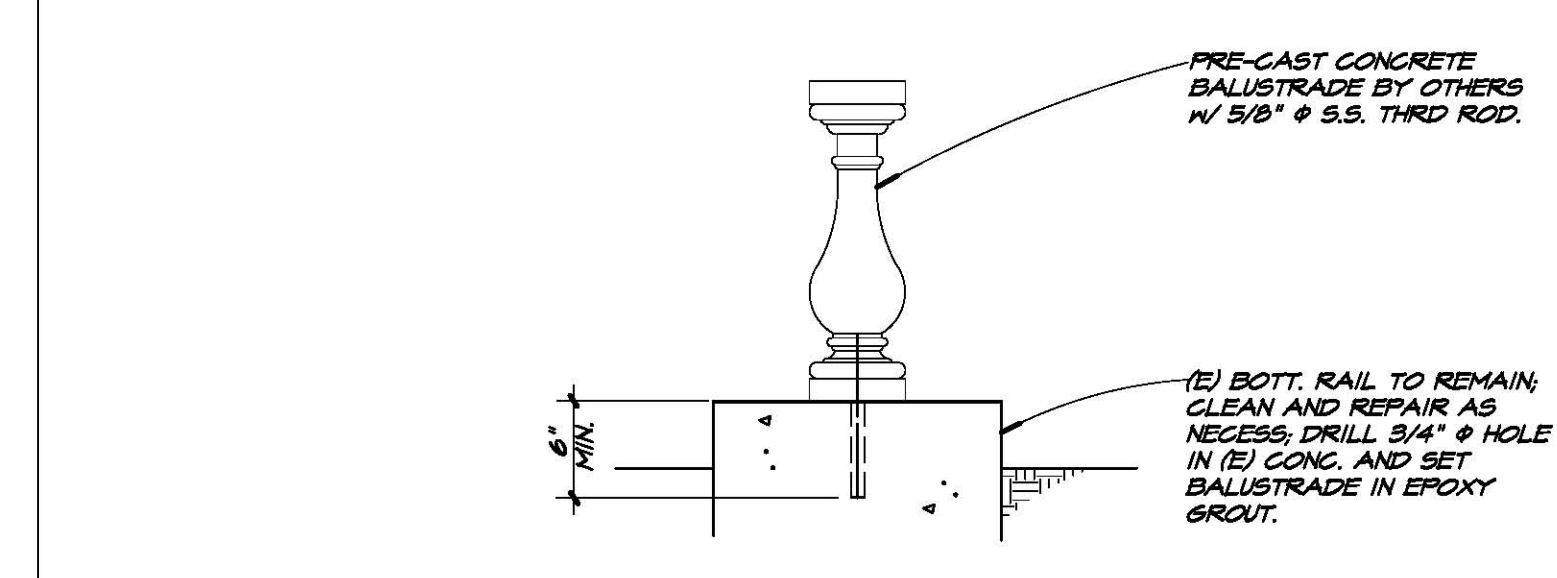
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**S3.1**

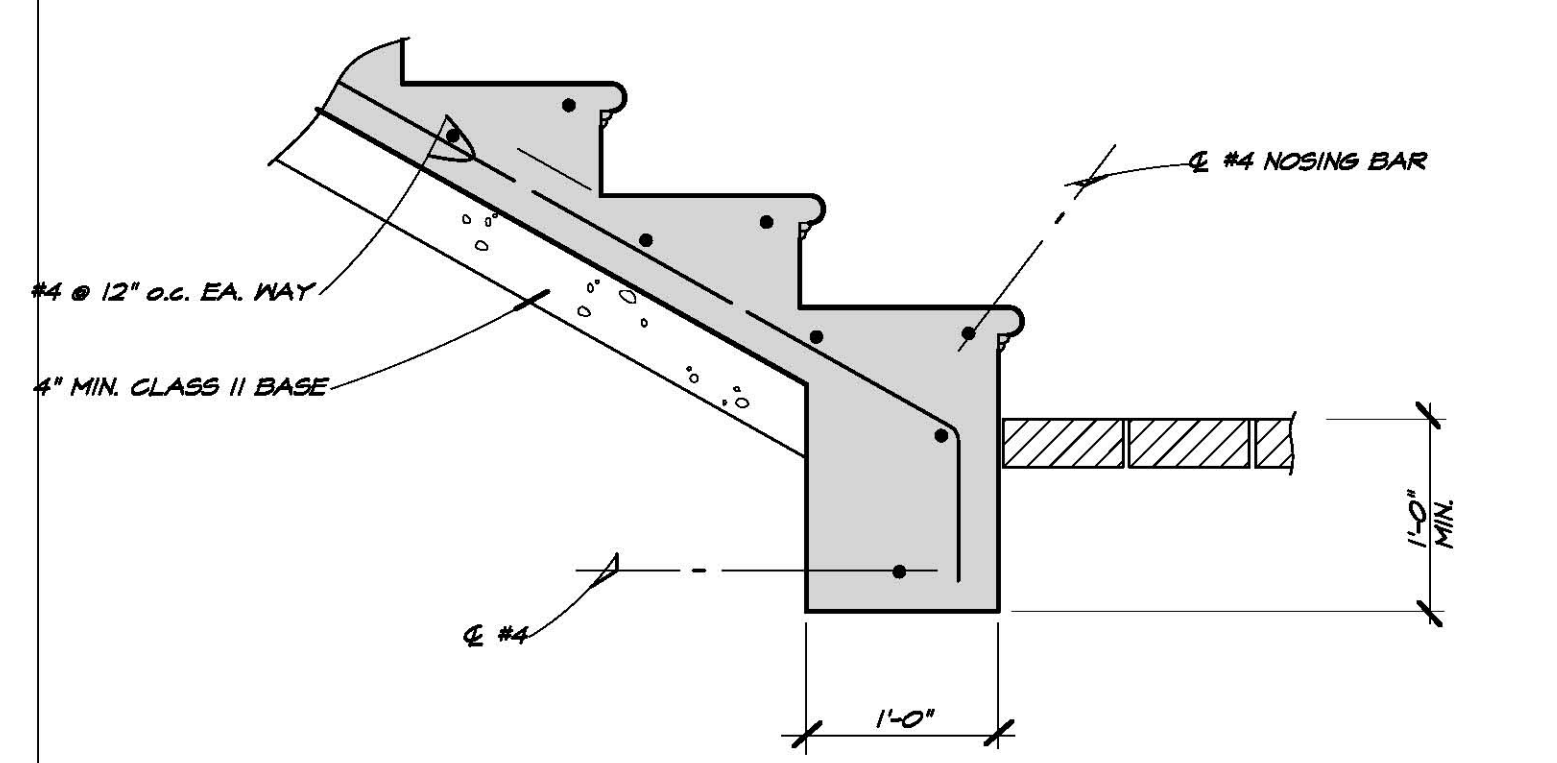
Attachment: Rispin Mansion Park Plans (1418 : Rispin Mansion Park and Pavement Management Program Projects to Bid)



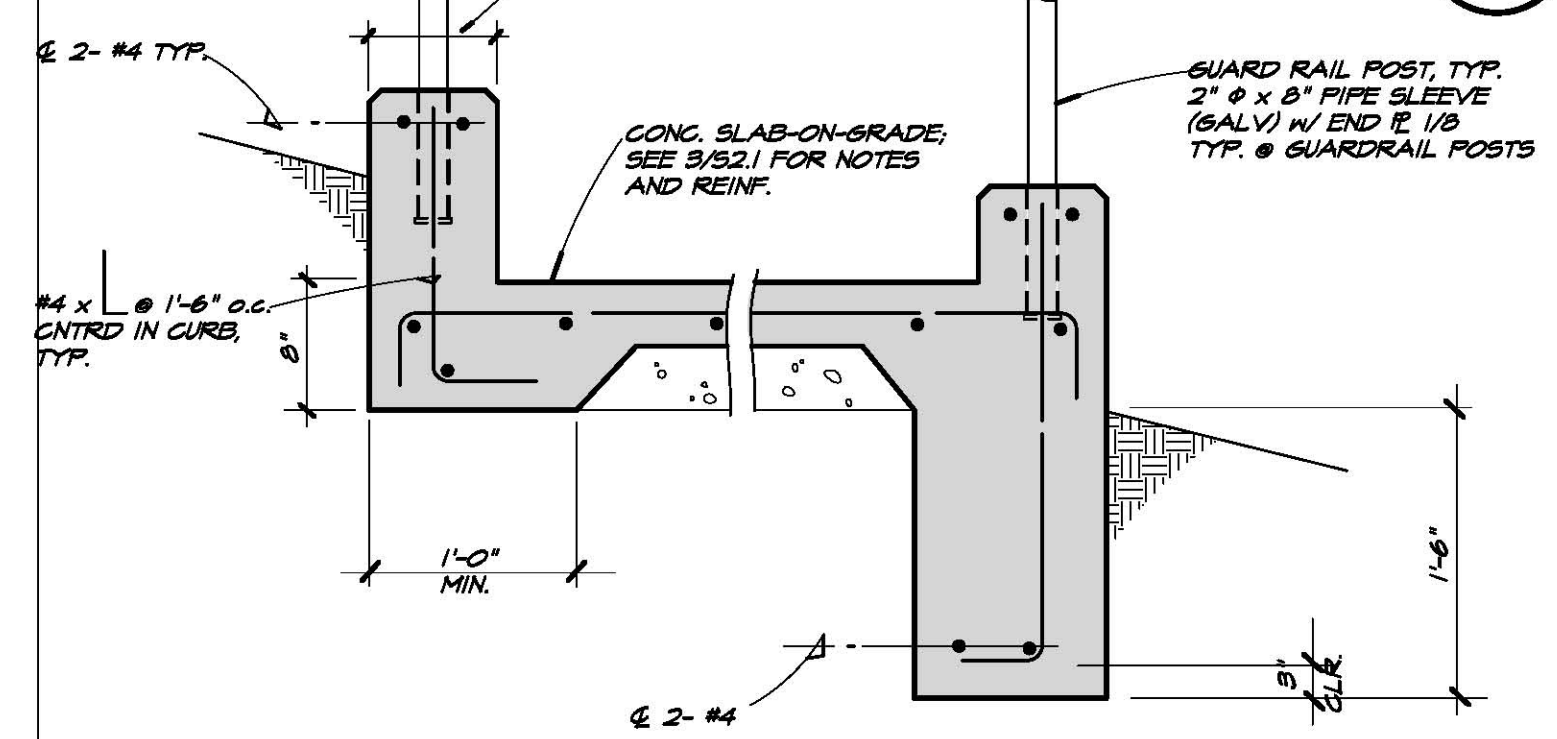
**DETAIL 5**  
 1"=1'-0" S3.1



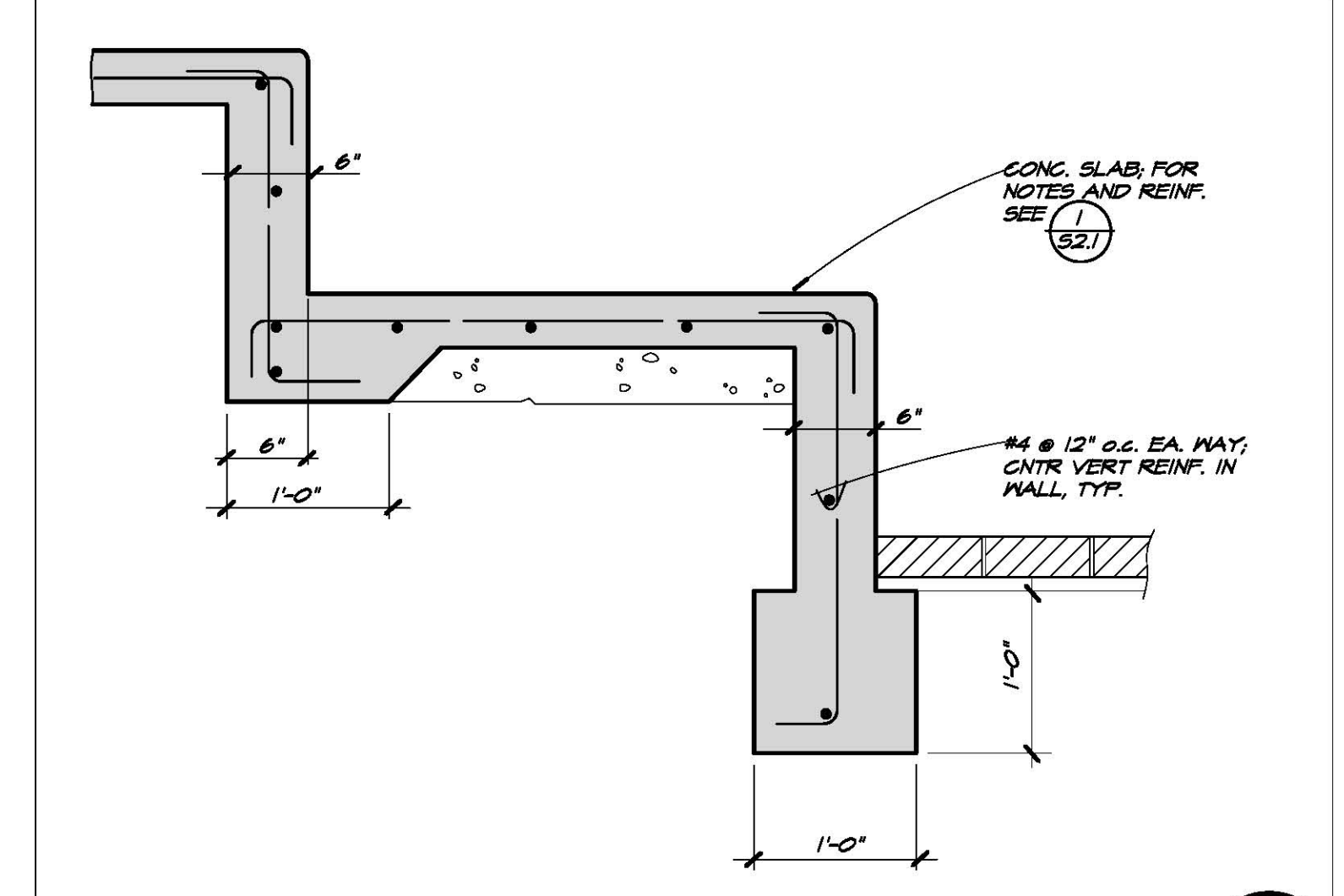
**DETAIL 6**  
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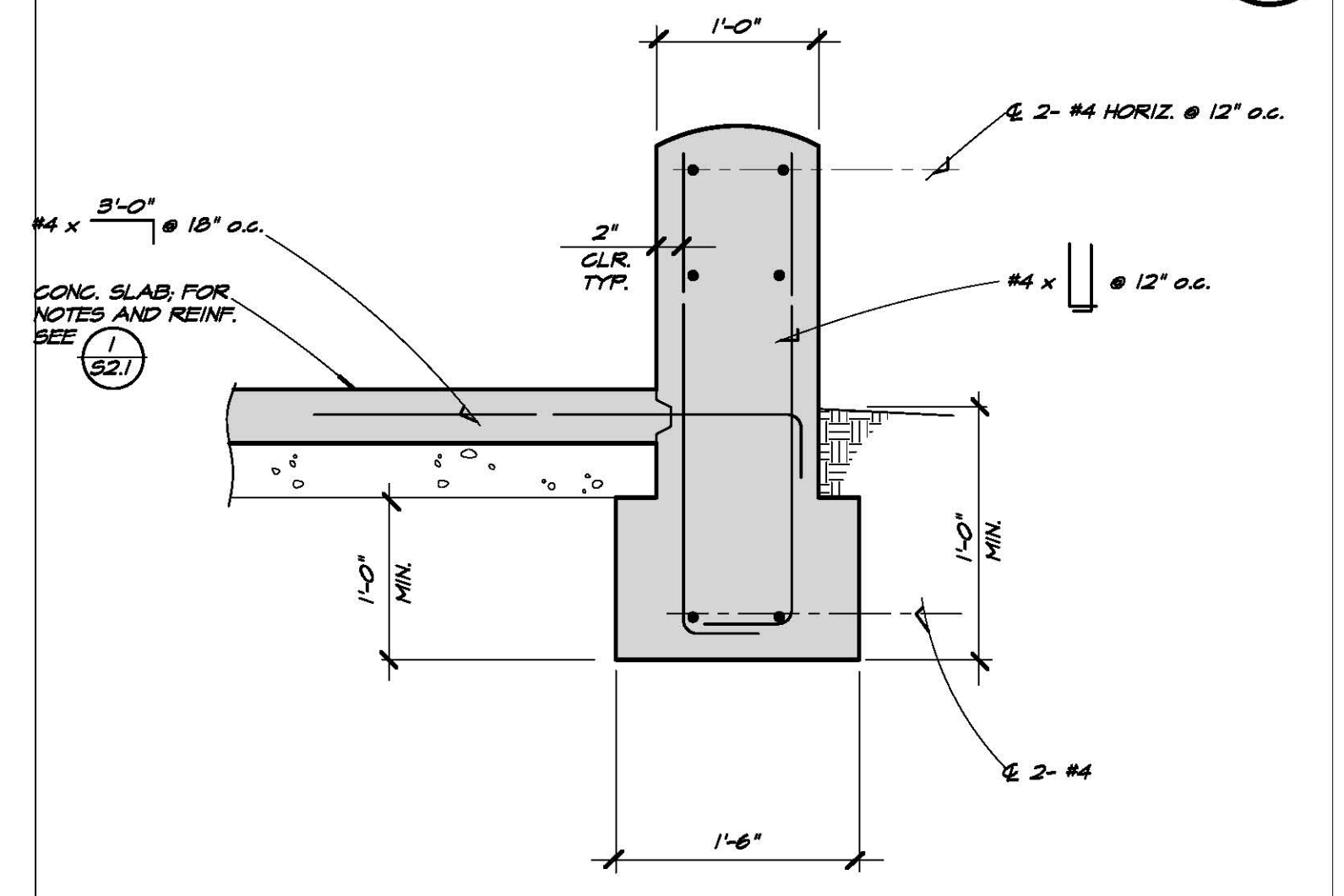
**DETAIL 7**  
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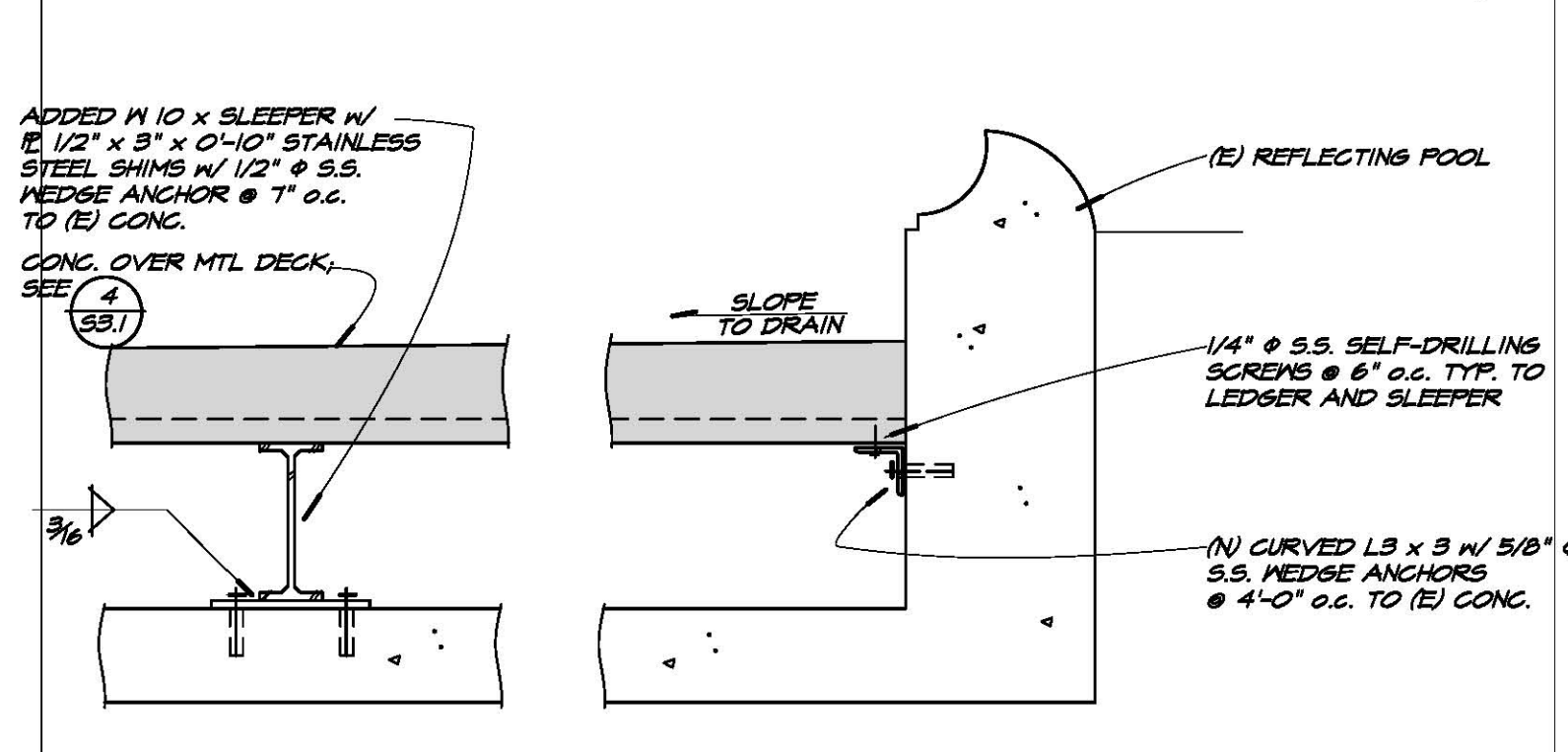
**DETAIL 8**  
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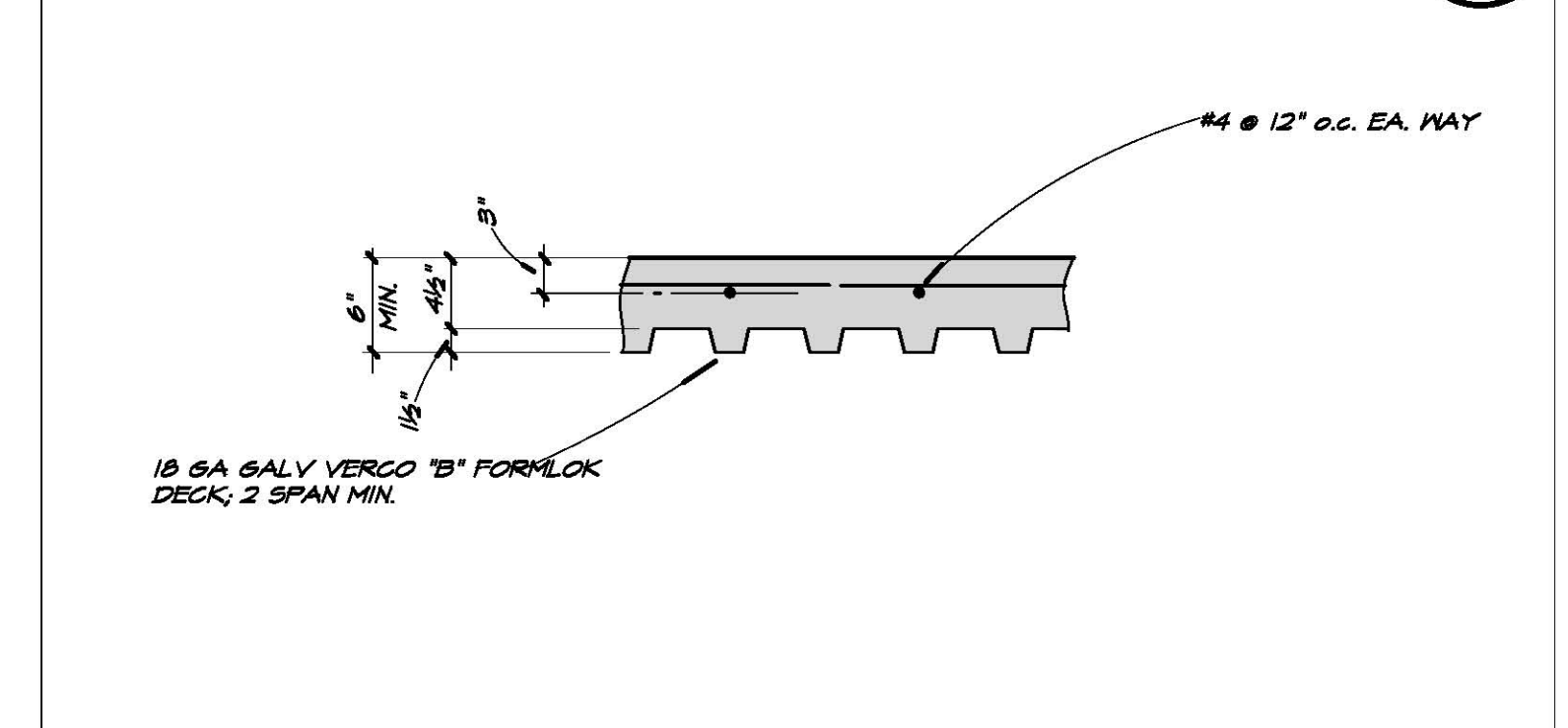
**DETAIL 1**  
 1"=1'-0" S3.1



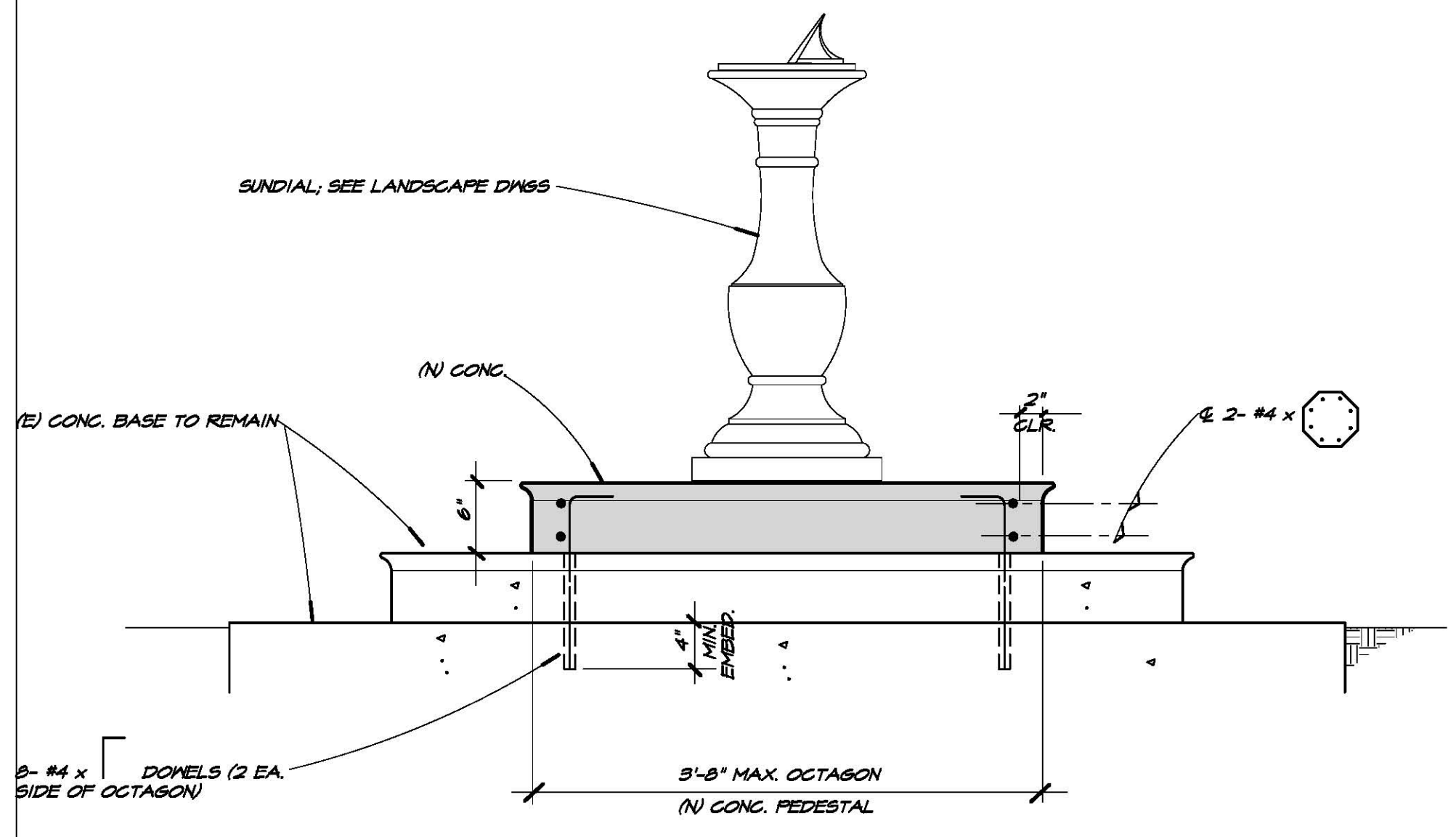
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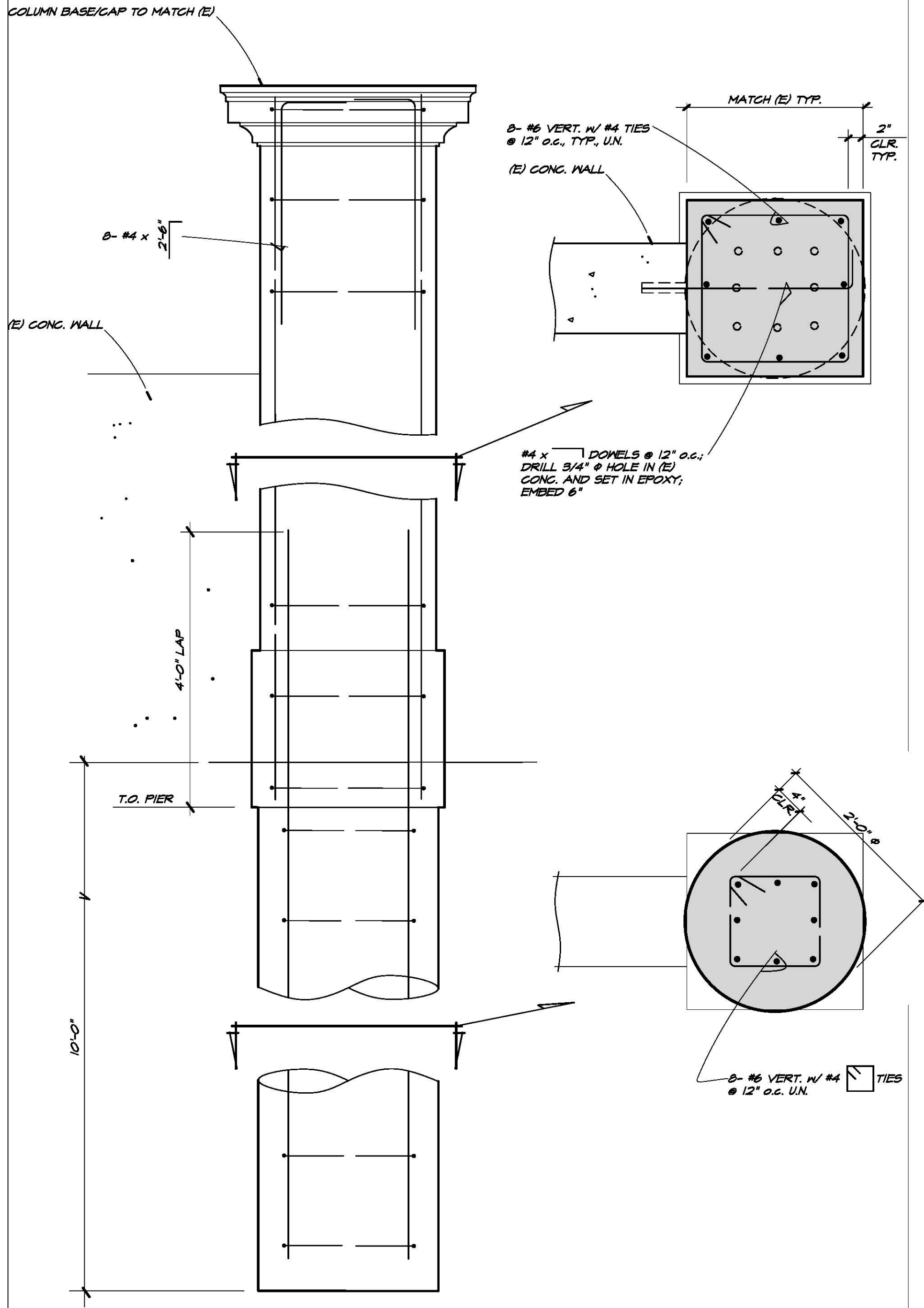
**DETAIL 3**  
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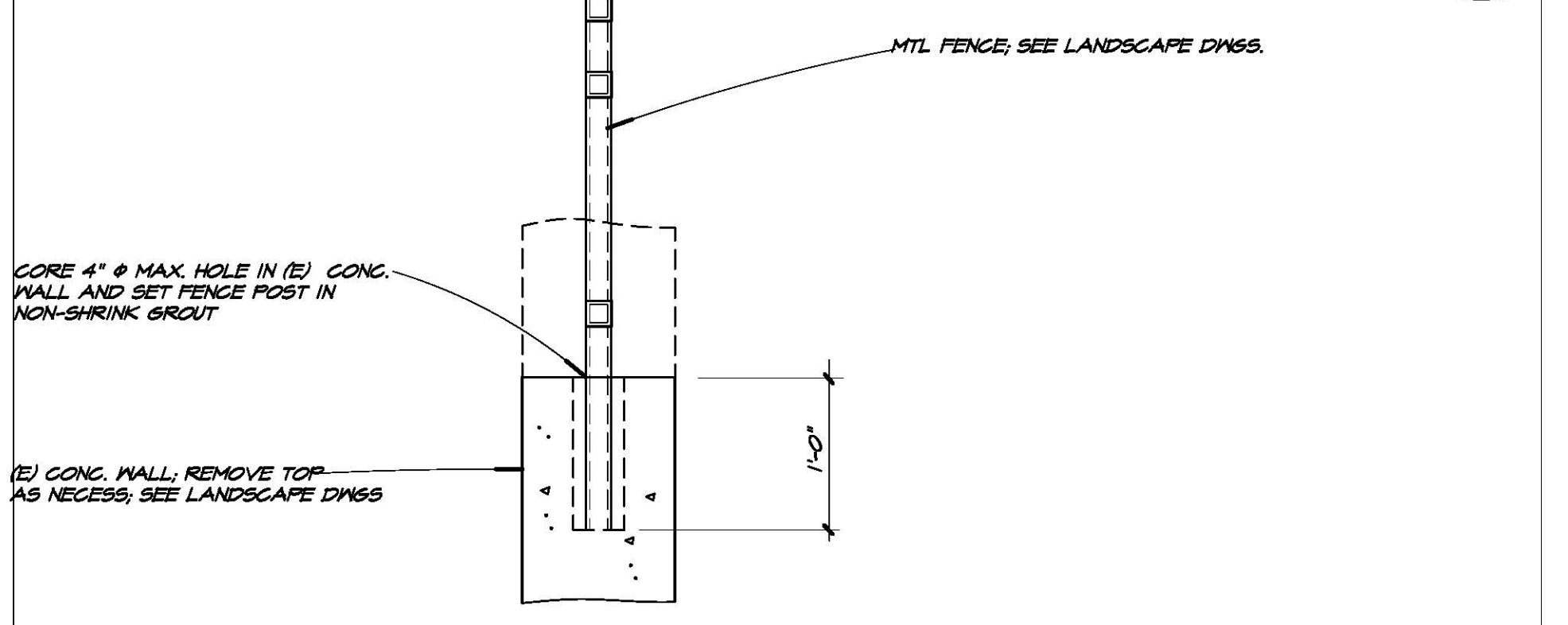
**DETAIL 4**  
 1"=1'-0" S3.1



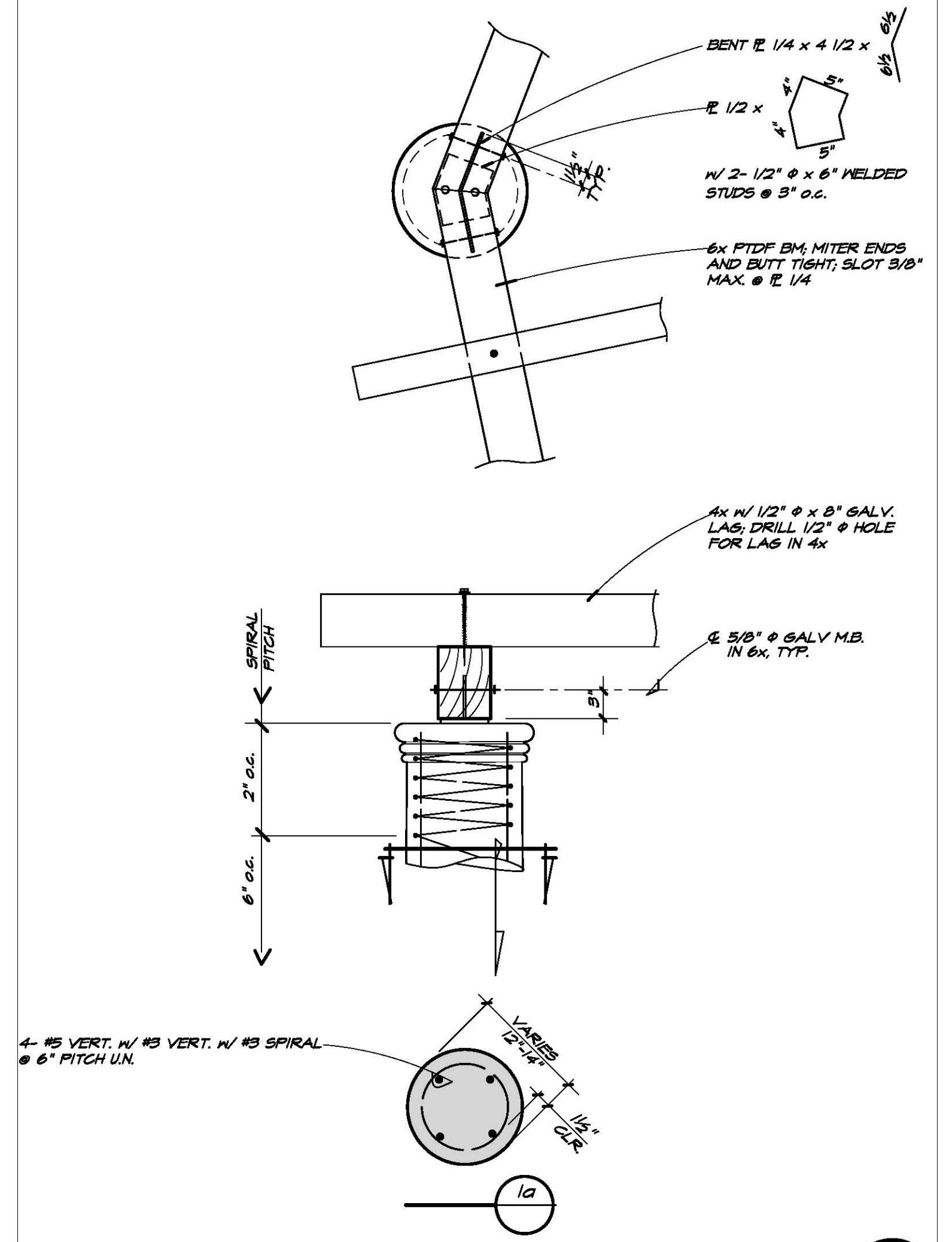
**DETAIL 5**  
1"=1'-0" S3.2



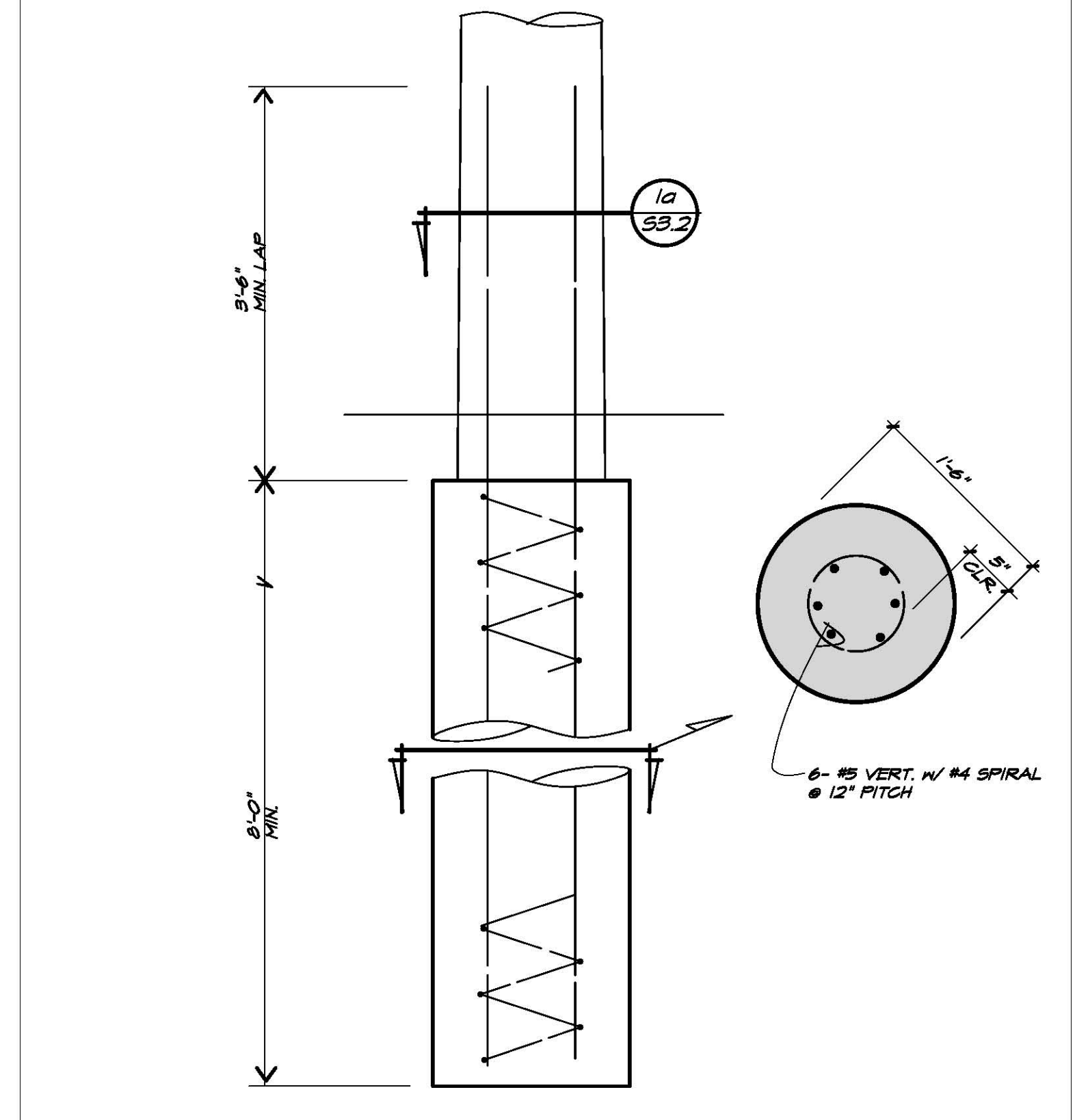
**COLUMN DETAIL**  
1"=1'-0" S3.2



**DETAIL 4**  
1"=1'-0" S3.2



**DETAIL @ ARBOR**  
1"=1'-0" S3.2



**DETAIL @ ARBOR**  
1"=1'-0" S3.2

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CIVIL AND STRUCTURAL ENGINEERS  
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831.476.3681

**DETAILS**

**RISPIN MANSION PARK**  
WHARF ROAD AND CLARES STREET  
CAPITOLA, CALIFORNIA



DATE	
SCALE	
DRAWN	
JOB	
SHEET	

**S3.2**



# RISPIN MANSION WATER FEATURE





















## EQUIPMENT SCHEDULE

- 1 304 STAINLESS STEEL CUSTOM SUCTION SCREEN.
- 2 6" BASKET STRAINER.
- 3 PRESSURE GAUGE, ASHCROFT #25-1009-AW-02L (30" 0-15 PSI).
- 4 PRESSURE GAUGE, ASHCROFT #25-1009-AW-02L (0-60 PSI).
- 5 CONCRETE HOUSEKEEPING PAD, MINIMUM 4" HIGH. ADJUST HEIGHT TO MATCH ALL EQUIPMENT. UNDER CONTRACTOR'S WORK.
- 6 PVC PERFORATED SUPPLY MANIFOLD.
- 7 SUMP DRAIN. UNDER LANDSCAPE ARCHITECT'S WORK.
- 8 WALL FIGURE SPOUT. UNDER LANDSCAPE ARCHITECT'S WORK
- 9 PVC OVERFLOW STAND PIPE.
- 10 OPEN PAVER SYSTEM. UNDER LANDSCAPE ARCHITECT'S WORK.
- 11 CORE DRILL PENETRATION. CONTRACTOR'S WORK.
- 12 PVC OVERFLOW STANDPIPE IN RESERVOIR.
- 13 OVERFLOW CONNECTED TO STORM SYSTEM. UNDER CIVIL ENGINEER'S WORK.
- 14 VENTILATION DUCT TERMINATION, UNDER LANDSCAPE ARCHITECT'S WORK.
- 15 12" PVC VENTILATION PIPE.
- 16 DRAIN CONNECTED TO BUILDING SANITARY SYSTEM AND PROTECTED VIA AN AIR GAP UNDER CIVIL ENGINEER'S WORK.
- 17 COLD WATER SUPPLY PIPE CONNECTED TO BUILDING WATER SUPPLY SYSTEM AND PROTECTED VIA REDUCED PRESSURE TYPE BACKFLOW PREVENTER UNDER CIVIL ENGINEER'S WORK.
- 18 8 FT X 6 FT X 7 FT DEEP INSIDE PRECAST CONCRETE VAULT (1500 PSI) WITH 30" X 30" SINGLE LEAF WATER REPELLANT ALUMINUM (300 LB), UTILITY VAULT.
- 19 VAULT ALUMINUM LADDER.
- 20 HALF-SIZE FLOW DIAGRAM, LAMINATED AND PLACED VISIBALE ON WALL.
- 21 POWER AND CONDUIT, ROUTED AND CONNECTED TO CONTROL PANEL IN VAULT, UNDER ELECTRICAL ENGINEER'S WORK.

## DESIGN NOTES

- P-1 PENTAIR INTELLIFLOXF PUMP, VARIABLE SPEED, 4 HP, 230 VOLTS, SINGLE PHASE, 60HZ.
- DV-1 4" 3-WAY BUTTERFLY ASSEMBLY WITH ELECTRICAL ACTUATOR
- DV-2 3" 3-WAY BRONZE BALL VALVE, KITZ CODE 54.
- FS-1 MCDONNELL-MILLER #FS8-W FLOW SWITCH.
- OP-1 304 STAINLESS STEEL CUSTOM ORIFICE PLATE.
- FM-1 BLUE-WHITE #F-30300P FLOWMETER.
- F-1 PENTAIR #CCP320 CARTTRIDGE FILTER, 320 SQFT FILTER AREA.
- UV-1 AQUAFINE #03AS20 ULTRA VIOLET STERILIZER, 120 GPM AT 60 MJ/CM2 DOSAGE, 120 VOLTS.
- SP-1 PACO #PIP-700 SUBMERSIBLE PUMP, 120 VOLTS.
- VF-1 CONTINENTAL FAN #250 VENTILATION FAN, ¼ HP MOTOR, 120 VOLTS.
- S-1 ASCO #8221G007 1" SLOW CLOSING SOLENOID VALVE, 120 VOLTS.
- SCV-1 SINGER #106-SC 3" FULL PORT, NORMALLY CLOSED, 120 VOLTS.
- P-2 LITTLE GIANT #PES-800-PW SUBMERSIBLE PIMP, 120 VOLTS.
- JB-1 PEM #J-2 JUNCTION BOX WITH CORD SEAL.

## SYMBOLS

-  - STANDARD CONCENTRIC REDUCER.
-  - STANDARD ECCENTRIC REDUCER (TOP FLAT).
-  - STANDARD ECCENTRIC REDUCER (BOTTOM FLAT).
-  - BALL CHECK VALVE.
-  - BUTTERFLY VALVE.
-  - BALL VALVE.
-  - NEEDLE VALVE.
-  - END CAP PIPE.
-  - OPEN PIPE TERMINATION.
-  - ISOLATING VALVE TAG.  
NO = NORMALLY OPEN.  
NC = NORMALLY CLOSED.
-  - THROTTLING VALVE TAG.
-  - DRAIN VALVE TAG.
-  - WATER PROOF DOUBLE WALL OUTLET (20A).
- C.O. - CLEANOUT
-  - GAUGE  
(P) PRESSURE: 0 - 60 PSI  
(V) COMPOUND: 30" 0 - 15 PSI
-  - FLOOR DRAIN
-  - WYE STRAINER
-  - HOSE BIB
-  - INPUT CONTROLLED BY TIMER
-  - EQUIPMENT INTERLOCKED
-  - LIGHT FIXTURE.

## GENERAL NOTES AND SPECIFICATIONS

1. WATER FEATURE PIPES SHALL BE PVC SCH. 40 WITH SCH. 80 FITTINGS UNLESS OTHERWISE SPECIFIED.
2. POTABLE WATER SUPPLY PIPING SHALL BE COPPER TYPE "K".
3. WATER FEATURE VALVES:
  - a. BALL VALVES 2" AND SMALLER: PVC TRUE-UNION TYPE.
  - b. CHECK VALVES 2" AND SMALLER: PVC TRUE-UNION BALL TYPE.
  - c. BRONZE VALVES: BRONZE BODY WITH STAINLESS BALL AND STEM.
4. PIPE HANGERS: CONTRACTOR SHALL SUBMIT THE APPROPRIATE HANGERS AS REQUIRED AND COMPLY
5. WITH LOCAL BUILDING CODES CONCERNING SPACING AND CLEARANCES.
6. CONTRACTOR SHALL PROVIDE DEAD LEVEL PIPE RUNS FOR WATER FEATURES UNLESS SLOPE IS SHOWN.
7. CONTRACTOR SHALL AVOID ANY TRAPS ON THE HORIZONTAL PIPE RUNS.
8. CONTRACTOR SHALL COORDINATE WITH BUILDING ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTOR.
9. CONTRACTOR SHALL SUBMIT INSTALLATION SHOP DRAWINGS FOR APPROVAL PRIOR TO ANY WORK.
10. CONTRACTOR SHALL SUBMIT FULL SET OF EQUIPMENT SUBMITTAL DATA FOR APPROVAL PRIOR TO ANY WORK.
11. CONTRACTOR SHALL COORDINATE WITH STRUCTURAL ENGINEER EXACT LOCATION OF PENETRATION SLEEVES.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION PERMITS AS PER CITY AND CLIENT REQUIREMENTS.
13. ESTIMATED ELECTRICAL LOAD: 7000 WATTS
13. ELECTRICAL SPECIFICATIONS:
  - A. REFERENCE STANDARDS
    - i. THIS INSTALLATION SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE LATEST EDITION OF THE FOLLOWING CODES:
      - NEC NATIONAL ELECTRICAL CODE.
      - UBC UNIFORM BUILDING CODE.
    - ii. MATERIALS FURNISHED HEREUNDER SHALL, WHERE APPLICABLE, COMPLY WITH THE LATEST EDITION OF APPLICABLE STANDARD SPECIFICATIONS PUBLISHED BY THE FOLLOWING ORGANIZATIONS:
      - ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS.
      - ANSI AMERICAN NATIONAL STANDARDS INSTITUTE.
      - IEEE INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS.
      - IPCEA INSULATED POWER CABLE ENGINEERS ASSOCIATION.
      - NEMA NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION.
    - iii. PROVIDE LABELED EQUIPMENT CERTIFYING APPROVAL, AS HEREINAFTER SPECIFIED, BY UNDERWRITERS LABORATORIES (UL).
    - iv. ALL CONDUITS SHALL BE PVC WHERE LOCAL CODES PERMIT, OR OTHERWISE SPECIFIED.
  - B. DISTRIBUTION EQUIPMENT CP-1
    - i. GENERAL
      1. EQUIPMENT SHALL BE AS MANUFACTURED BY SOUTH COAST CONTROLS OR APPROVED EQUAL. REFER TO THE ELECTRICAL AND PLUMBING DRAWINGS FOR EQUIPMENT SCHEDULE.
      2. VOLTAGE AND CHARACTERISTICS SHALL BE AS SHOWN ON THE DRAWINGS
      3. ALL ENCLOSURES SHALL BE FACTORY COATED WITH GRAY ENAMEL, CONSTRUCTED TO NEMA AND BE LABELED U.L. LABEL WHERE APPLICABLE.
      4. ALL WALL-MOUNTED ELECTRICAL PANELS MUST BE ISOLATED FROM VAULT WALL VIA 1" RUBBER BUSHINGS.
      5. CONDUITS SHALL BE PVC WHERE ACCEPTABLE BY LOCAL CODE OR OTHERWISE SPECIFIED.
    - ii. MOTOR AND CONTROL CENTER EQUIPMENT CP-1:
      1. HOFFMAN NEMA 4 CSD SERIES OR APPROVED EQUAL.
      2. HORIZONTAL BUS BARS: 300 AMPERE, TIN PLATED COPPER WITH BUS BARRIERS.
      3. ARE HORIZONTAL BUS BARS LARGE ENOUGH? NO HORIZONTAL BUS REQUIRED FOR SINGLE SECTION. VERTICAL BUS BARS: 300 AMPERE, TIN PLATED COPPER WITH BUS BARRIERS
      4. GROUND BUS: UNPLATED COPPER.
      5. BRACING: 42,000 AMPERES RMS SYMMETRICAL. CONTRACTOR TO CONFIRM SUITABILITY FOR AVAILABLE FAULT CURRENT.
      6. DIMENSIONS: 20" X 20" X 8" DEEP.
      7. DEVICES: AS SHOWN ON THE ELECTRICAL DRAWINGS
      8. EVERY CONTROL CONDUCTOR SHALL BE IDENTIFIED AT BOTH ENDS WITH THE SPECIFIED WIRE MARKERS.
      9. CONTROL TRANSFORMER.
    - iii. EQUIPMENT:
      1. MAIN DISCONNECT BREAKER: CUTTLER HAMMER EGS SERIES.
      2. MOTOR CONTACTOR: CUTTLER HAMMER XT SERIES.
      3. MANUAL MOTOR STARTER: CUTTLER HAMMER QC SERIES, GFI BREAKER.
      4. BREAKERS: WMZS SERIES.
      5. PANEL MOUNT ACTUATOR & INDICATOR: CUTTLER HAMMER 10250T SERIES.
      6. TERMINAL BLOCK: ALLEN BRADLEY J3 AND J6 SERIES.
      7. CONTROL RELAYS: A.D. INDUSTRIAL 10 AMP RATING.
      8. TIMER: SOUTH COAST CONTROLS 7-DAY.
      9. NAMEPLATES: LAMINATED PLASTIC, 1" X 3-1/2", BLACK WITH WHITE ENGRAVED LETTERS. MINIMIZE CHARACTER SIZE 1/8.

**Michael Arnone + Associates**  
LANDSCAPE ARCHITECTURE  
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**RISPIN MANSION PARK**  
WHARF ROAD AND CLARES STREET  
CAPITOLA, CALIFORNIA

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DATE	PURPOSE	BY
12.30.15	80% SUBMITTAL	EB

scale:  
NONE

sheet title:  
WATER  
FEATURE  
NOTES AND  
SYMBOLS

sheet number:  
WF-1.01

80% SUBMITTAL - NOT FOR CONSTRUCTION

# RISPIN MANSION WATER FEATURE

## GENERAL NOTES AND SPECIFICATIONS (CONTINUED)

### WATERPROOFING

- A. SPEED PLUG BY EUCLID CHEMICAL: USE IN THE CAVITIES LEFT BY THE REMOVAL OF THE EXISTING FITTINGS AND CRACKS IN THE BASIN WALLS AND FLOORS. APPLIED AS PER MANUFACTURER'S RECOMMENDATIONS.
- B. HEY'DI K-11 BY EUCLID CHEMICAL: USE TO WATERPROOF THE ENTIRE EXISTING FOUNTAIN BASIN WALLS AND FLOORS. APPLIED AS PER MANUFACTURER'S RECOMMENDATIONS.

### REMOVAL OF EXISTING EQUIPMENT

- A. EXISTING FOUNTAINS:
  1. CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES BEFORE REMOVING ANY STRUCTURE OR EQUIPMENT.
  2. CONTRACTOR SHALL DISPOSE OF ALL EXISTING STRUCTURES AND EQUIPMENT AS PER LANDSCAPE ARCHITECT'S INSTRUCTIONS.
  3. CONTRACTOR SHALL REPAIR AND RESTORE THE EXISTING SITE AS PER LANDSCAPE ARCHITECT'S SPECIFICATIONS.
- B. EXISTING POOL PIPE STUBS:
  2. CONTRACTOR SHALL CHISEL OFF CONCRETE AROUND THE STUBS AND CUT THEM BASED ON DETAIL DRAWINGS.
  3. CONTRACTOR SHALL CLEAN AND REPAIR WALLS AND FLOORS OF THE FOUNTAINS AND APPLY THE WATERPROOFING CONFORMING SPECIFICATIONS AND AS PER MANUFACTURER'S RECOMMENDATIONS.

### OPERATING INSTRUCTION

- C. AT THE TIME OF COMPLETION, A PERIOD OF NOT LESS THAN EIGHT HOURS SHALL BE ALLOTTED BY THE CONTRACTOR FOR INSTRUCTION OF OPERATING AND MAINTENANCE PERSONNEL IN THE USE OF ALL SYSTEMS. ALL PERSONNEL SHALL BE INSTRUCTED AT ONE TIME, THE CONTRACTOR MAKING ALL NECESSARY ARRANGEMENTS WITH MANUFACTURER'S REPRESENTATIVES TO PROVIDE INSTRUCTION, PRODUCT LITERATURE AND APPLICATION GUIDES FOR THE USERS REFERENCE.

### THIRTY-DAY OPERATION PERIOD

- A. PRIOR TO ACCEPTANCE OF THE INSTALLATION BY THE OWNER, THE CONTRACTOR SHALL DEMONSTRATE A CONCURRENT THIRTY DAY, UNINTERRUPTED DAILY OPERATION OF NOT LESS THAN TWELVE HOURS NOR MORE THAN TWENTY HOURS FOR ALL SYSTEMS PROVIDED UNDER THIS SECTION.
- B. THE CONTRACTOR SHALL SUPERVISE THE OPERATION OF THE EQUIPMENT, BE RESPONSIBLE FOR THE PROPER OPERATION AND MAINTENANCE THEREOF, AND MAKE NO CLAIM AGAINST THE OWNER FOR ANY DAMAGE TO THE EQUIPMENT DURING SUCH OPERATION. THE CONTRACTOR SHALL MAKE SUCH CHANGES, ADJUSTMENTS, OR REPLACEMENTS OF EQUIPMENT AS MAY BE REQUIRED TO MAKE THE INSTALLATION COMPLY WITH THE SPECIFICATIONS.
- C. THE COSTS OF ELECTRICITY, WATER AND THE OWNER WILL PAY NORMAL OPERATIONAL SUPPLIES DURING THE THIRTY-DAY OPERATION PERIOD. WATER TREATMENT CHEMICALS ARE INCLUDED IN THE SERVICES OF THE WATER TREATMENT COMPANY RETAINED BY THE PLUMBING CONTRACTOR. THE CONTRACTOR SHALL PAY FOR ALL OPERATING COSTS RESULTING FROM SYSTEM DEFICIENCIES.
- D. COORDINATE THE THIRTY-DAY OPERATION PERIOD WITH THE ELECTRICAL CONTRACTOR AND OTHER TRADES RELATED TO THE FOUNTAIN WORK.

**Michael Arnone + Associates**  
LANDSCAPE ARCHITECTURE  
3370 Samuel Place Santa Cruz, CA 95062  
831.482.4888 mka@amonslandscape.com www.amonslandscape.com

**RISPIN MANSION PARK**  
WHARF ROAD AND CLARES STREET  
CAPITOLA, CALIFORNIA

**b/w/w**  
designers and consultants  
Landscape Architecture  
Water Features  
Retaining Walls  
Bioswales  
Mudflats  
Canals  
benjardim waterscape works  
PO Box 1918, Soquel, CA 95023, U.S.A.  
t 831.438.3000 f 831.438.7000  
www.benjardim.com

DATE	PURPOSE	BY
12.30.15	80% SUBMITTAL	EB

scale:  
NONE

sheet title:  
WATER  
FEATURE  
NOTES AND  
SYMBOLS

sheet number:

WF-1.02

80% SUBMITTAL - NOT FOR CONSTRUCTION

**RISPIN MANSION PARK**  
**WHARF ROAD AND CLARES STREET**  
**CAPITOLA, CALIFORNIA**

**b/w/w**  
 designers and consultants  
 Swimming Pools  
 Water Features  
 Restrooms  
 Miscellanea  
 Controls

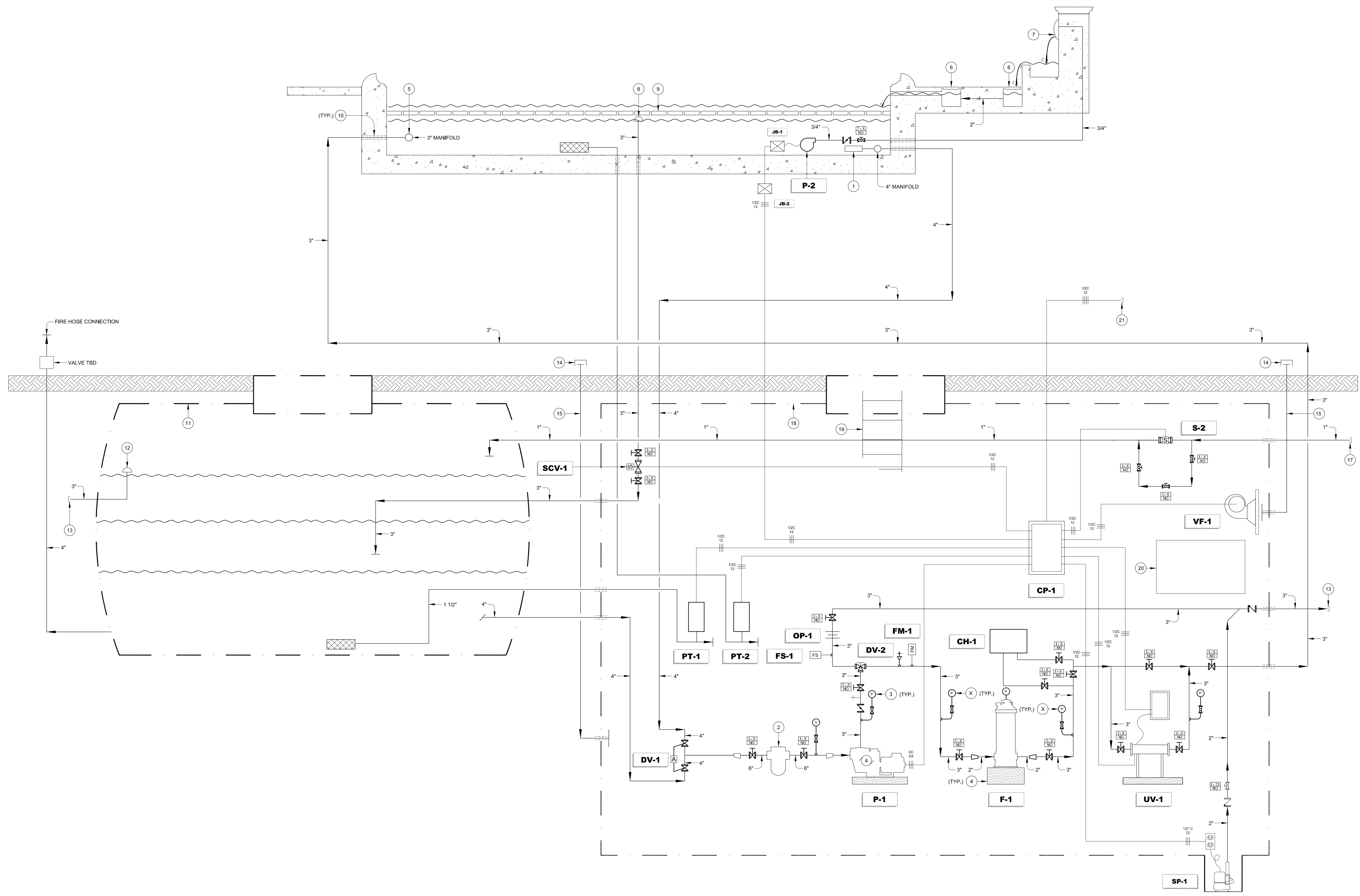
benjamin waterscope works  
 PO Box 1918, Soquel, CA 95063 U.S.A.  
 t: 831.436.3071 f: 831.436.7050  
 www.benjaminwaterscope.com

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12.30.15	80% SUBMITTAL	EB

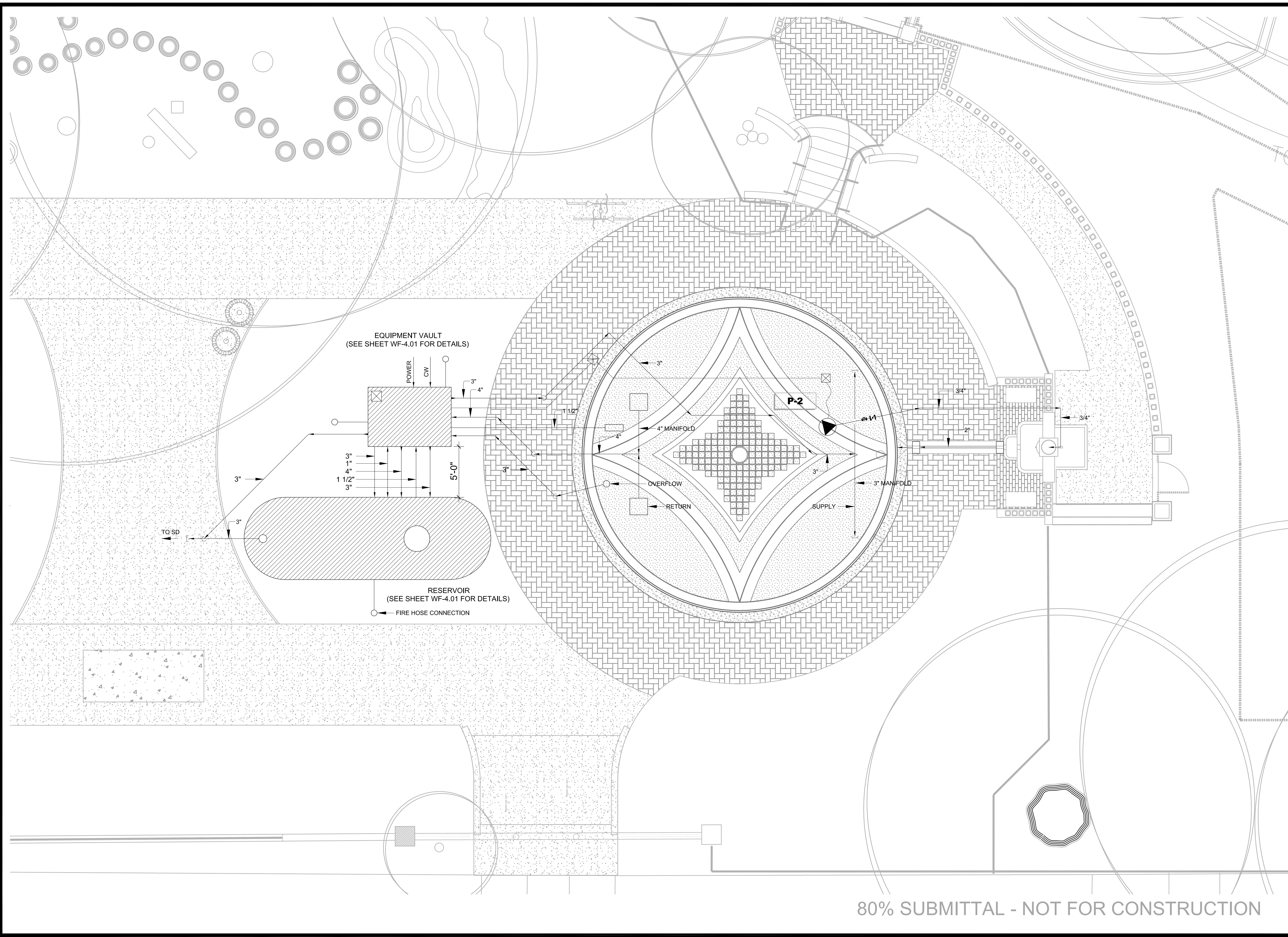
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sheet title:  
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 FEATURE  
 FLOW  
 DIAGRAM

sheet number:  
 WF-2.01



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**Michael Arnone + Associates**  
 LANDSCAPE ARCHITECTURE  
 3370 Samuel Place Santa Cruz, CA 95062  
 831.462.4888 mka@arnonelandscape.com www.arnonelandscape.com

**RISPIN MANSION PARK**  
 WHARF ROAD AND CLARES STREET  
 CAPITOLA, CALIFORNIA

**b/w/w**  
 designers and consultants  
 Landscaping Plans  
 Water Features  
 Retainments  
 Miscellaneous  
 Details

benjamin waterscope works  
 PO Box 1918, Soquel, CA 95063, U.S.A.  
 T 831 436 2000 F 831 436 7000  
 www.benjaminwaterscope.com

DATE	PURPOSE	BY
12.30.15	80% SUBMITTAL	EB

scale:  
 1/4" = 1'-0"

sheet title:  
 WATER  
 FEATURE  
 SITE PLAN

sheet number:  
 WF-3.01

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Attachment: Rispin Mansion Park Plans (1418 - Rispin Mansion Park and Pavement Management Program Projects to Bid)

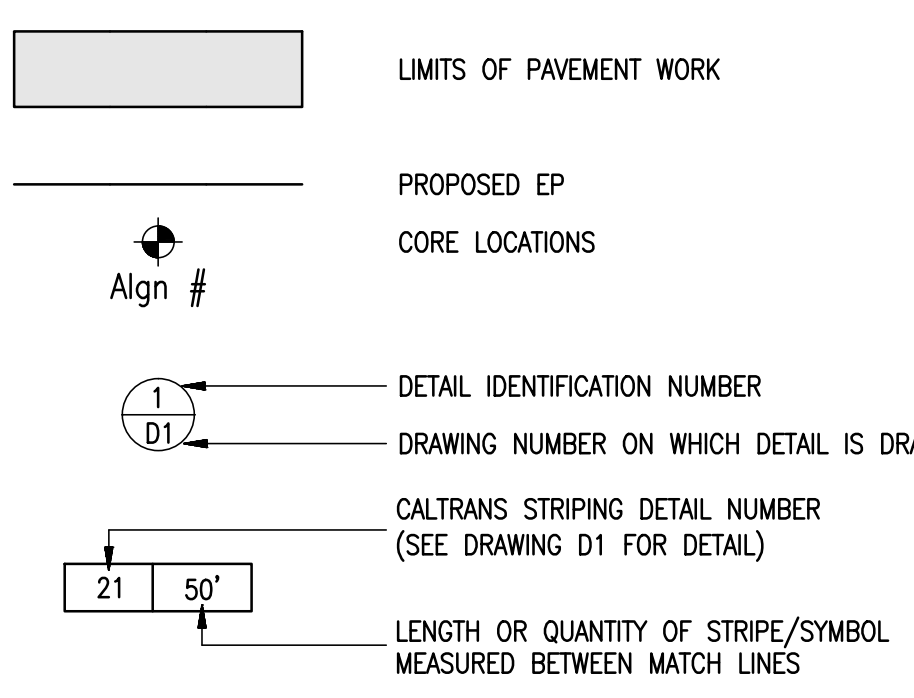


GENERAL NOTES

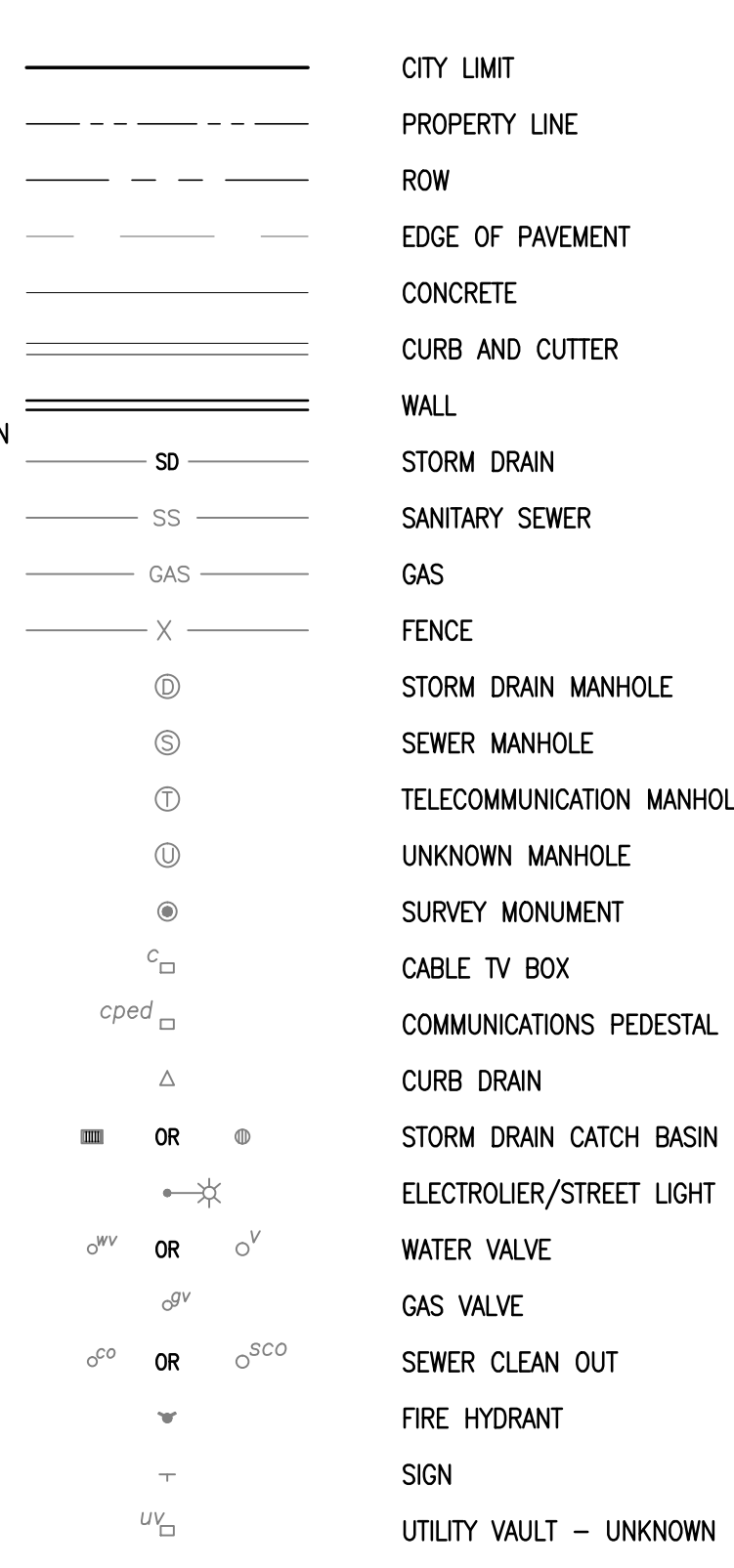
- 1. ALL DRAWINGS AND SPECIFICATIONS ARE CONSIDERED PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION MAY BE ISSUED. WORK NOT CONFORMING TO THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO THE CITY.
2. DRAWING BASE MAP IS BASED ON SANTA CRUZ COUNTY PARCEL DATA. PARCEL LINES ARE APPROXIMATE AND ARE FOR INFORMATIONAL PURPOSES ONLY.
3. SPECIFIC NOTES AND DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY LOCATIONS OF EXISTING FACILITIES AND TO IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY FIELD CONFLICTS.
5. ALL MATERIALS AND WORKMANSHIP SHALL FULLY CONFORM WITH THE SPECIFICATIONS, STANDARDS, AND ORDINANCES OF THE CITY OF CAPITOLA, THE LATEST SANTA CRUZ COUNTY STANDARD PLANS, AND THE CALTRANS STANDARD SPECIFICATIONS (LATEST REVISION). STANDARD PLANS ARE AVAILABLE AT THE OFFICE OF THE ENGINEER.
6. CONTRACTOR SHALL MEET WITH THE CITY PRIOR TO START OF CONSTRUCTION. 48 HOURS NOTICE TO THE ENGINEER IS REQUIRED ON ALL INSPECTIONS.
7. CONTRACTOR IS RESPONSIBLE TO MAKE ALL ARRANGEMENTS FOR SITE INSPECTIONS AND ENSURE THAT ALL CURRENT STANDARDS FOR THE CITY, SANTA CRUZ COUNTY, AND CALTRANS ARE FOLLOWED PRIOR TO BEGINNING ANY PHASE OF CONSTRUCTION WORK.
8. CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES.
9. CONSTRUCTION SHALL BE LIMITED TO BETWEEN THE HOURS OF 8:00 A.M. AND 4:30 P.M., MONDAY THROUGH FRIDAY AND INSPECTION REQUESTS SHALL BE LIMITED TO NORMAL CITY BUSINESS HOURS: 8:30 A.M. TO 5:00 P.M., MONDAY THROUGH FRIDAY. ARRANGEMENTS FOR ANY OVERTIME INSPECTION SERVICES AND PAYMENTS OF FEES FOR SAME SHOULD BE MADE 48 HOURS IN ADVANCE AND ARE SUBJECT TO INSPECTION AVAILABILITY AND APPROVAL BY THE ENGINEER.
10. THE CITY IS RESPONSIBLE FOR ARRANGEMENTS TO PAY FOR ALL MATERIAL TESTING REQUIRED FOR QUALITY ASSURANCE/ACCEPTANCE OF THIS PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE TO IT THAT ALL MATERIAL TESTING REQUIRED BY THE ENGINEER AND QUALITY CONTROL TESTING, PER THE SPECIAL PROVISIONS, IS PERFORMED. ENGINEER WILL ONLY PERFORM QUALITY ASSURANCE TESTING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF QUALITY ASSURANCE TESTING TO ALLOW THE ENGINEER TO SCHEDULE MATERIAL TESTING LAB SAMPLING OR TESTING.
11. DUST CONTROL DURING ALL PHASES OF CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN GOOD HOUSEKEEPING WITHIN THE CONSTRUCTION AREA AND STAGING AREA.
12. WATER FOR DUST CONTROL AND USE FOR COMPACTION MAY BE PURCHASED FROM THE APPROPRIATE AGENCY PRIOR TO THE START OF ANY WORK, AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PAY FOR ANY FEES OR DEPOSITS.
13. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT FOR APPROVAL THE PROPOSED ROUTE(S) FOR ALL CONSTRUCTION TRAFFIC RELATED TO THE PROJECT. UPON APPROVAL, THE CONTRACTOR SHALL STRICTLY ADHERE TO THAT ROUTE(S) ONLY, UNLESS WRITTEN PERMISSION IS OBTAINED TO CHANGE THE ROUTE(S). IN ADDITION TO THE CONTRACTOR'S PROPOSED ROUTE(S), A DETOUR PLAN SHALL BE SUBMITTED FOR APPROVAL BY THE ENGINEER.
14. CONTRACTOR SHOULD NOTE THE PRESENCE OF OVERHEAD UTILITIES IN THE WORK AREA. AS PART OF THEIR PRE-BID INSPECTION, CONTRACTOR SHALL NOTE THE TYPE AND LOCATION OF OVERHEAD UTILITIES IN THE PROPOSED WORK AREA. CONTRACTOR'S PRICE SHALL INCLUDE PROVISIONS FOR WORKING IN AREAS WHERE UTILITIES EXIST AT THE TIME OF BIDDING, AND NO ADDITIONAL COMPENSATION IS ALLOWED.
15. THE CONTRACTOR SHALL MAINTAIN ACCESS TO RESIDENCES AND BUSINESSES AFFECTED BY THE PROJECT THROUGHOUT THE LIFE OF THE CONTRACT AS SPECIFIED IN THE SPECIAL PROVISIONS.
16. LOCATIONS OF EXISTING MONUMENTS, MANHOLES, WATER VALVES, ETC. ARE APPROXIMATED BASED ON FIELD OBSERVATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
17. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICES ALERT (U.S.A.) 800-227-2600 (OR DIAL 811), TWO (2) WORKING DAYS PRIOR TO START OF ANY EXCAVATION OR DEMOLITION OF IMPROVEMENTS.
18. ANY DAMAGE TO THE EXISTING FACILITIES INCLUDING TREES, LANDSCAPING, IRRIGATION, FENCES, WALLS, SIDEWALK, MAILBOXES, UTILITIES, AND OTHER PAVEMENT SURFACES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE. CONTRACTOR SHALL RESTORE ANY AND ALL PAVEMENT AND OTHER FACILITIES OUTSIDE LIMITS OF WORK AFFECTED BY THE CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VIDEO TAPE OR DOCUMENT EXISTING CONDITIONS PRIOR TO START OF WORK TO SUBSTANTIATE ANY PREVIOUS DAMAGE, ETC.; COPIES OF WHICH SHALL BE PROVIDED TO THE ENGINEER.
19. ALL SURVEY MONUMENTS SHALL ONLY BE RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR AT THE DIRECTION OF THE ENGINEER.
20. ALL STRIPING AND MARKINGS SHALL BE THERMOPLASTIC. ALL BLUE REFLECTIVE FIRE HYDRANT MARKERS SHALL BE SET 6" OFF THE STREET CENTERLINE OR CENTERLINE STRIPING.
21. TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, AND OTHER DEVICES TO PROVIDE FOR SAFE PASSAGE OF PUBLIC VEHICULAR AND PEDESTRIAN TRAFFIC IN ACCORDANCE WITH CA MUTCD.
22. TYPICAL DETAILS REFERRED TO ON THESE DRAWINGS ARE FROM THE LATEST VERSIONS OF THE CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARD PLANS, AND SANTA CRUZ COUNTY STANDARD PLANS.
23. CONTRACTOR SHALL POSSESS A VALID CLASS 'A' LICENSE AT THE TIME OF AWARD OF THE CONTRACT.

LEGEND

PROPOSED FEATURES

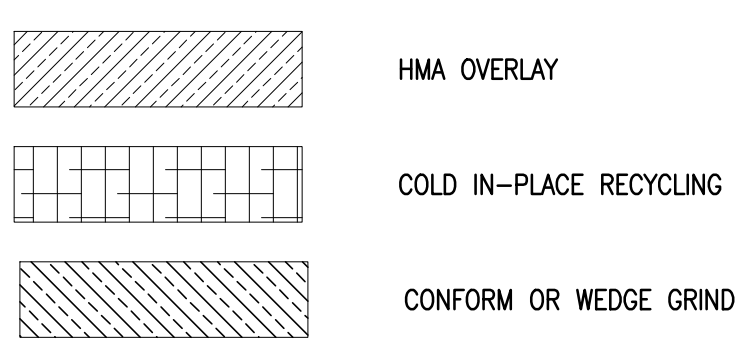


EXISTING FEATURES

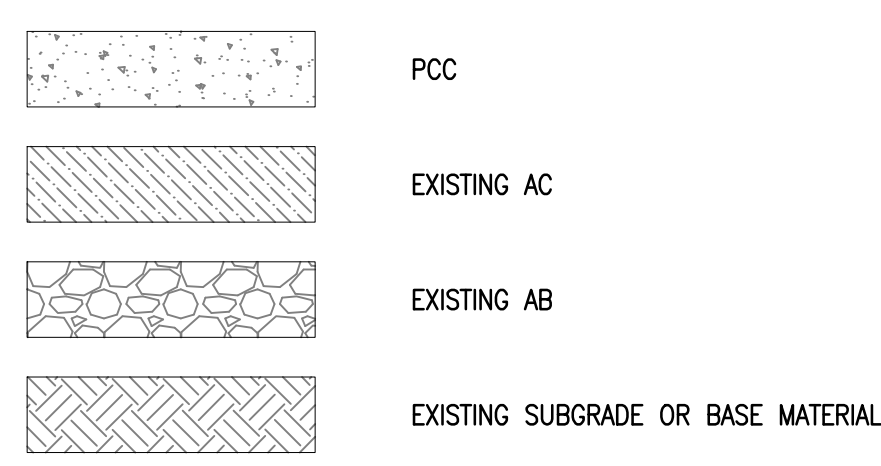


LEGEND - PAVING DETAIL SHEETS

PROPOSED FEATURES



EXISTING FEATURES



ABBREVIATIONS

Table of abbreviations for materials and features. Includes: AB - AGGREGATE BASE, AC - ASPHALT CONCRETE, @ - AT, APPROX. - APPROXIMATE, AVG. - AVERAGE, BMP - BEST MANAGEMENT PRACTICES, CA - CALIFORNIA, CATV - CABLE/TELEVISION, C&G - CURB AND GUTTER, CB - CATCH BASIN, CF - CUBIC FEET, CIR - COLD IN-PLACE RECYCLING, CL - CENTERLINE, CLR - CLEAR, COMM - COMMUNICATION, CONC - CONCRETE, CONST - CONSTRUCT, CY - CUBIC YARD, MH - MANHOLE, MAX - MAXIMUM, MDD - MAXIMUM DRY DENSITY, MIN - MINIMUM, MISC - MISCELLANEOUS, MON - MONUMENT, MUTCD - MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, N - NORTH, (N) - NEW, N/O - NORTH OF, NIC - NOT IN CONTRACT, # OR NO. - NUMBER, O.C. - ON CENTER, O.D. - OUTER DIAMETER, +/- - PLUS OR MINUS, (P) - PROPOSED, PG&E - PACIFIC GAS & ELECTRIC, PT. - POINT, PCC - PORTLAND CEMENT CONCRETE, PVMT - PAVEMENT, PSI - POUNDS PER SQUARE INCH, PL - PROPERTY LINE, PP - POWER POLE, PVC - POLYVINYL CHLORIDE, R - RADIUS, RC - RELATIVE COMPACTION, RHMA - RUBBERIZED HOT MIX ASPHALT, ROW - RIGHT-OF-WAY, S - SLOPE, SOUTH, SAMI-R - STRESS ABSORBING MEMBRANE INTERLAYERS (RUBBERIZED), SD - STORM DRAIN, SDMH - STORM DRAIN MANHOLE, SF - SQUARE FOOT/FEET, SG - SUBGRADE, SSMH - SANITARY SEWER MANHOLE, SSCO - SANITARY SEWER CLEAN OUT, STD - STANDARD, STA - STATION, SW - SIDEWALK, SY - SQUARE YARD, TBX - TELECOMMUNICATIONS BOX, TC - TOP OF CURB, TEMP - TEMPORARY, TP - THERMO-PLASTIC, TSB - TRAFFIC SIGNAL BOX, TYP. - TYPICAL, U/G - UNDERGROUND, VG - VALLEY GUTTER, W - WATER, WEST, WL - WATERLINE, W/ - WITH, WM - WATER METER, WV - WATER VALVE, WB - WESTBOUND.

NCE logo and contact information: 501 Canal Blvd., Suite 1, Richmond, Ca. 94804, (510) 215-3620 \* Fax (510) 215-2898



2016 STREET REHABILITATION PROJECT

OWNER



420 CAPITOLA AVENUE, CAPITOLA, CA 95010

Table with 3 columns: NO., DATE, DESCRIPTION. Contains project details like PROJECT NO: 303.05.55, DESIGNED BY: JB, DRAWN BY: JB, AP, CHECKED BY: FGH, DATE: 04/07/16, DATE: 05/06/2016.

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SHEET TITLE

NOTES, LEGEND AND ABBREVIATIONS

Table with 2 columns: DRAWING, SHEET. Drawing: G2, Sheet: 2 OF 18.



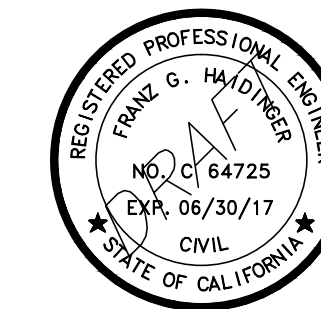
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Attachment: 2016 Street Rehabilitation Project Plans (1416) - Ripin Mansion Park and Pavement Management Program Projects to Bid





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2016 STREET  
REHABILITATION  
PROJECT

OWNER



420 CAPITOLA AVENUE  
CAPITOLA, CA 95010

NO.	DATE	DESCRIPTION

PROJECT NO: 303.05.55

DESIGNED BY: JB

DRAWN BY: JB, AP

CHECKED BY: FGH DATE: 04/07/16

DATE: 05/06/2016

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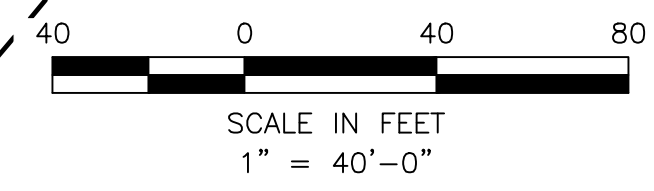
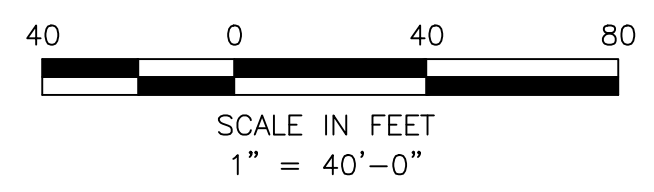
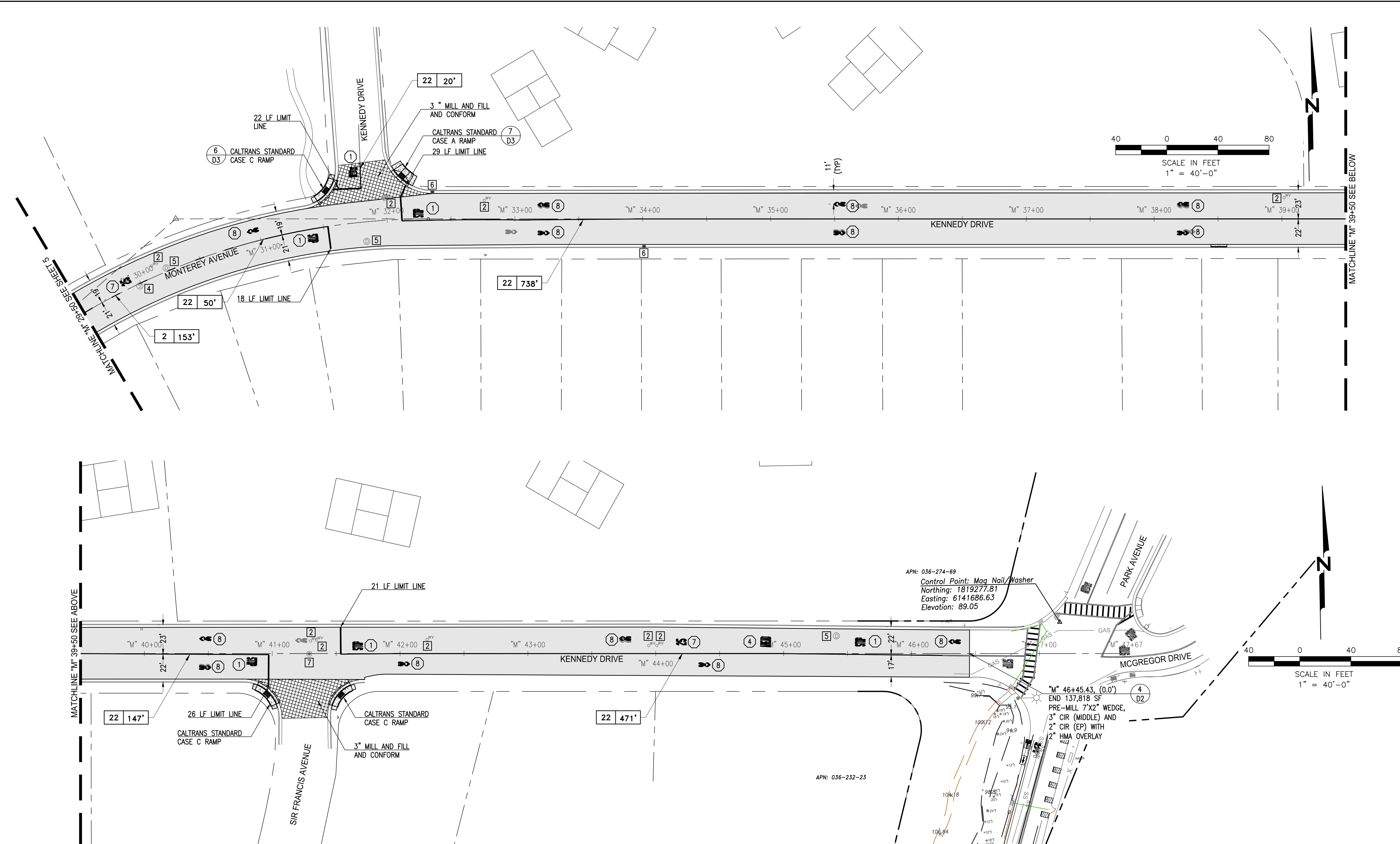
SHEET TITLE

LAYOUT PLAN  
MONTEREY AVENUE  
"M" 29+50 TO "M" 46+83

DRAWING

C4

SHEET 6 OF 18



- NOTES:
- REMOVE PAVEMENT MARKINGS, STRIPING AND MARKERS PRIOR TO PAVEMENT REHABILITATION; AND REPLACE IN LIKE KIND WITH THERMOPLASTIC STRIPING AND MARKINGS.
  - STRIPING LAYOUT DIMENSIONS MEASURED FROM FACE OF CURB.
  - ALL EXISTING UTILITY COVERS IN PROJECT AREA SHALL BE ADJUSTED TO FINISHED GRADE.
  - STANDARD CASE CURB RAMPS SHALL BE INSTALLED IN ACCORDANCE WITH LATEST REVISED CALTRANS STANDARD PLANS.

- UTILITY KEYNOTES:
- GAS VALVE; PROTECT IN PLACE.
  - WATER VALVE; PROTECT IN PLACE. ADJUST WATER VALVE BOX AND COVER TO GRADE.
  - SANITARY SEWER CLEANOUT; PROTECT IN PLACE. ADJUST VALVE BOX AND COVER TO GRADE.
  - SSMH; PROTECT IN PLACE. ADJUST SSMH RING AND COVER TO GRADE.
  - SDMH; PROTECT IN PLACE. ADJUST SDMH RING AND COVER TO GRADE.
  - CATCH BASIN OR CURB INLET; PROTECT IN PLACE.
  - SURVEY MONUMENT; PROTECT IN PLACE, ADJUST BOX AND COVER TO GRADE.
  - TELECOMMUNICATION MANHOLE; PROTECT IN PLACE. ADJUST MANHOLE RING AND COVER TO GRADE.
  - UNKNOWN; PROTECT IN PLACE. ADJUST RING AND COVER TO GRADE.
  - CP TEST STATION; PROTECT IN PLACE. ADJUST VALVE BOX AND COVER TO GRADE.
  - TELECOMMUNICATION BOX; PROTECT IN PLACE. ADJUST COVER TO GRADE.

- STRIPING KEYNOTES:
- INSTALL CALTRANS PAVEMENT MARKING "STOP"
  - INSTALL CALTRANS PAVEMENT MARKING "XING"
  - INSTALL CALTRANS PAVEMENT MARKING "SLOW"
  - INSTALL CALTRANS PAVEMENT MARKING "AHEAD"
  - INSTALL CALTRANS PAVEMENT MARKING "SCHOOL"
  - INSTALL CALTRANS PAVEMENT MARKING YIELD LINE
  - INSTALL CALTRANS PAVEMENT MARKING "25"
  - INSTALL CALTRANS PAVEMENT MARKING SHARED ROADWAY BICYCLE
  - INSTALL CALTRANS PAVEMENT MARKING "35"
  - INSTALL CALTRANS PAVEMENT MARKING BIKE LANE ARROW
  - INSTALL CALTRANS PAVEMENT MARKING BIKE LANE WITH PERSON

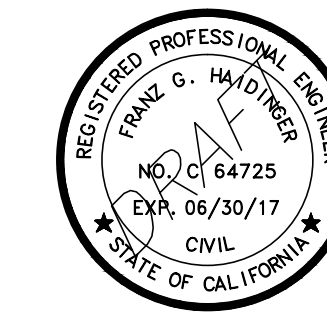
- INSTALL CALTRANS TYPE II ARROW
- INSTALL CALTRANS TYPE IV ARROW
- INSTALL CALTRANS PAVEMENT MARKING "ONLY"
- INSTALL CALTRANS PAVEMENT MARKING "BIKE"
- INSTALL CALTRANS PAVEMENT MARKING "LANE"
- INSTALL CALTRANS PAVEMENT MARKING "KEEP"
- INSTALL CALTRANS PAVEMENT MARKING "CLEAR"

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DATE: 05/06/2016





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 (510) 215-3620 \* Fax (510) 215-2898



**2016 STREET REHABILITATION PROJECT**

OWNER



**420 CAPITOLA AVENUE  
 CAPITOLA, CA 95010**

NO.	DATE	DESCRIPTION

PROJECT NO:	303.05.55
DESIGNED BY:	JB
DRAWN BY:	JB, AP
CHECKED BY:	FGH DATE: 04/07/16
DATE:	05/06/2016

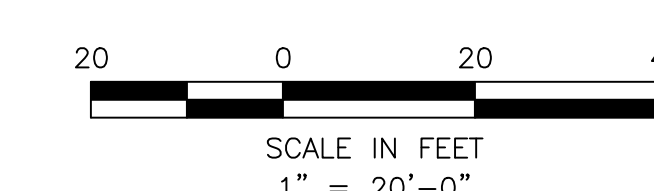
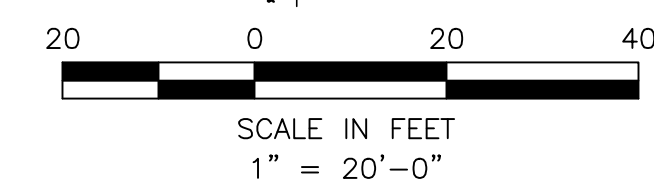
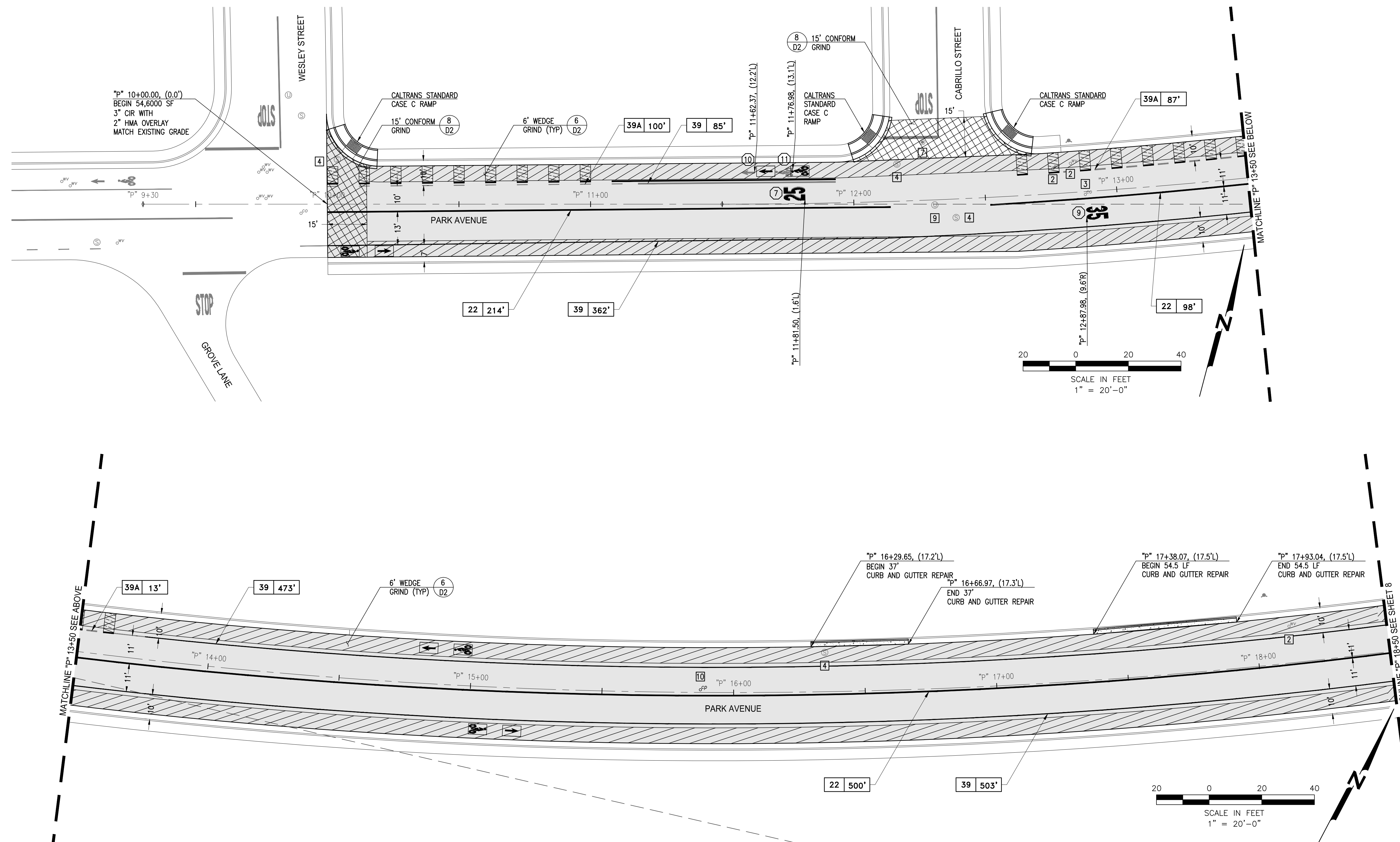
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SHEET TITLE

**LAYOUT PLAN  
 PARK AVENUE  
 "P" 10+00 TO "P" 18+50**

DRAWING **C5**

SHEET 7 OF 18



- NOTES:**
- REMOVE PAVEMENT MARKINGS, STRIPING AND MARKERS PRIOR TO PAVEMENT REHABILITATION; AND REPLACE IN LIKE KIND WITH THERMOPLASTIC STRIPING AND MARKINGS.
  - STRIPING LAYOUT DIMENSIONS MEASURED FROM FACE OF CURB.
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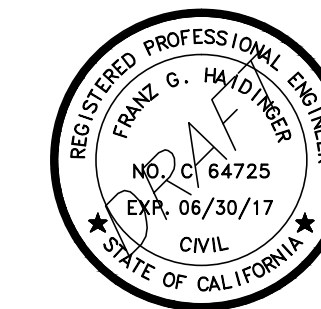
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2016 STREET  
REHABILITATION  
PROJECT

OWNER



420 CAPITOLA AVENUE  
CAPITOLA, CA 95010

NO.	DATE	DESCRIPTION

PROJECT NO:	303.05.55
DESIGNED BY:	JB
DRAWN BY:	JB, AP
CHECKED BY:	FGH DATE: 04/07/16
DATE:	05/06/2016

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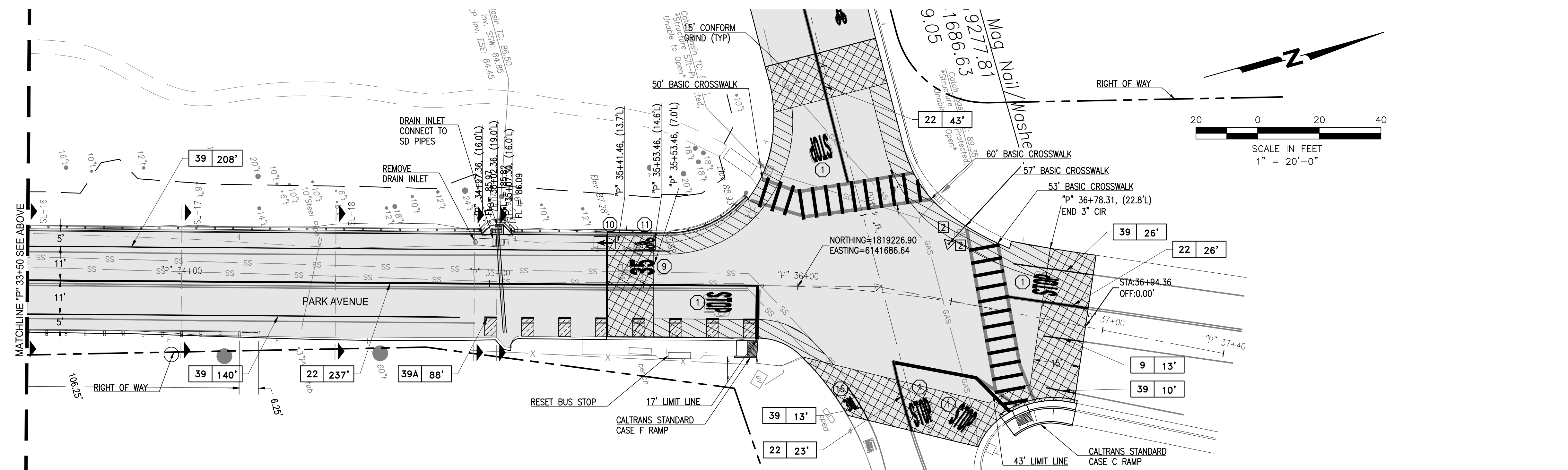
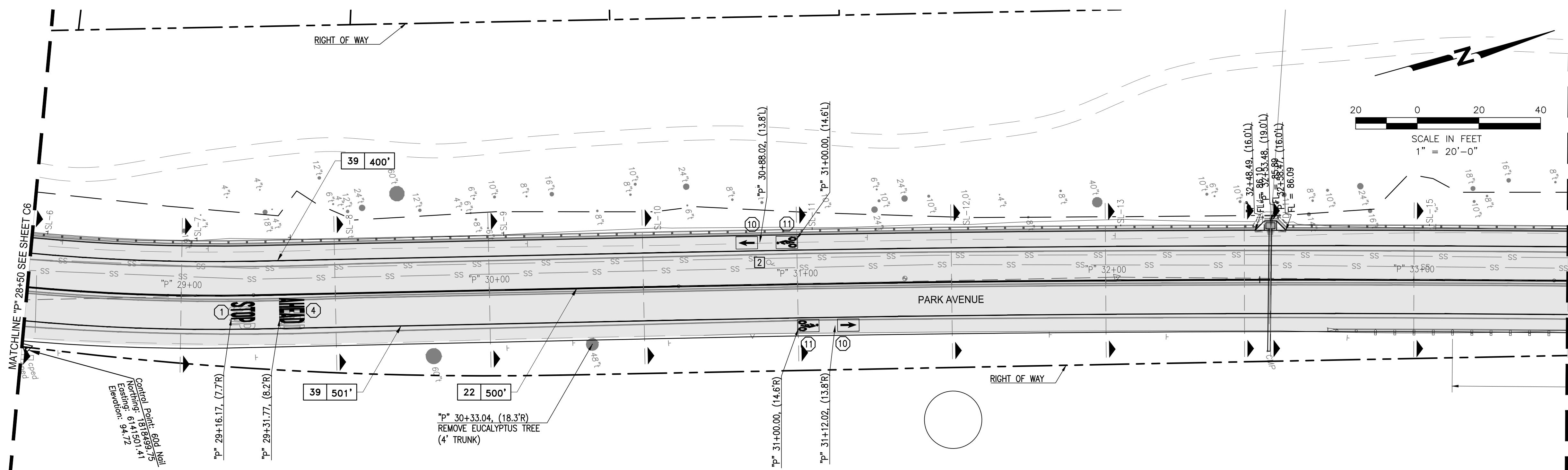
SHEET TITLE

LAYOUT PLAN  
PARK AVENUE  
"P" 28+50 TO "P" 36+94

DRAWING

C7

SHEET 9 OF 18



NOTES:

- REMOVE PAVEMENT MARKINGS, STRIPING AND MARKERS PRIOR TO PAVEMENT REHABILITATION; AND REPLACE IN LIKE KIND WITH THERMOPLASTIC STRIPING AND MARKINGS.
- STRIPING LAYOUT DIMENSIONS MEASURED FROM FACE OF CURB.
- ALL EXISTING UTILITY COVERS IN PROJECT AREA SHALL BE ADJUSTED TO FINISHED GRADE.
- STANDARD CASE CURB RAMPS SHALL BE INSTALLED IN ACCORDANCE WITH LATEST REVISED CALTRANS STANDARD PLANS.

UTILITY KEYNOTES:

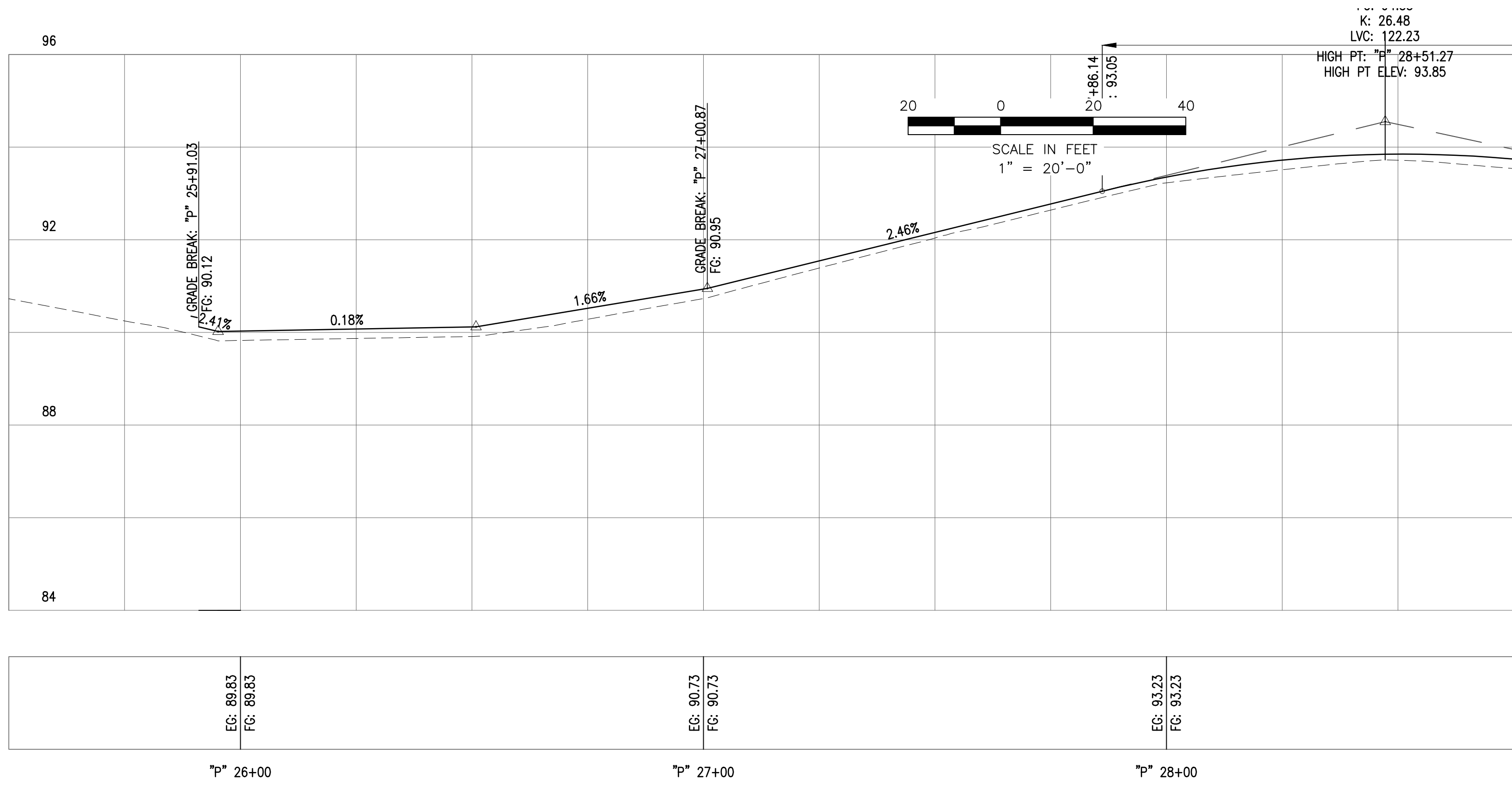
- GAS VALVE; PROTECT IN PLACE.
- WATER VALVE; PROTECT IN PLACE. ADJUST WATER VALVE BOX AND COVER TO GRADE.
- SANITARY SEWER CLEANOUT; PROTECT IN PLACE. ADJUST VALVE BOX AND COVER TO GRADE.
- SSMH; PROTECT IN PLACE. ADJUST SSMH RING AND COVER TO GRADE.
- SDMH; PROTECT IN PLACE. ADJUST SDMH RING AND COVER TO GRADE.
- CATCH BASIN OR CURB INLET; PROTECT IN PLACE.
- SURVEY MONUMENT; PROTECT IN PLACE, ADJUST BOX AND COVER TO GRADE.
- TELECOMMUNICATION MANHOLE; PROTECT IN PLACE. ADJUST MANHOLE RING AND COVER TO GRADE.
- UNKNOWN; PROTECT IN PLACE. ADJUST RING AND COVER TO GRADE.
- CP TEST STATION; PROTECT IN PLACE. ADJUST VALVE BOX AND COVER TO GRADE.
- TELECOMMUNICATION BOX; PROTECT IN PLACE. ADJUST COVER TO GRADE.

STRIPING KEYNOTES:

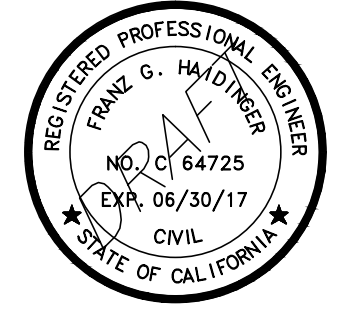
- INSTALL CALTRANS PAVEMENT MARKING "STOP"
- INSTALL CALTRANS PAVEMENT MARKING "XING"
- INSTALL CALTRANS PAVEMENT MARKING "SLOW"
- INSTALL CALTRANS PAVEMENT MARKING "AHEAD"
- INSTALL CALTRANS PAVEMENT MARKING "SCHOOL"
- INSTALL CALTRANS PAVEMENT MARKING YIELD LINE
- INSTALL CALTRANS PAVEMENT MARKING "25"
- INSTALL CALTRANS PAVEMENT MARKING SHARED ROADWAY BICYCLE
- INSTALL CALTRANS PAVEMENT MARKING "35"
- INSTALL CALTRANS PAVEMENT MARKING BIKE LANE ARROW
- INSTALL CALTRANS PAVEMENT MARKING BIKE LANE WITH PERSON
- INSTALL CALTRANS TYPE II ARROW
- INSTALL CALTRANS TYPE IV ARROW
- INSTALL CALTRANS PAVEMENT MARKING "ONLY"
- INSTALL CALTRANS PAVEMENT MARKING "BIKE"
- INSTALL CALTRANS PAVEMENT MARKING "LANE"
- INSTALL CALTRANS PAVEMENT MARKING "KEEP"
- INSTALL CALTRANS PAVEMENT MARKING "CLEAR"

100% SUBMITTAL  
**PRELIMINARY**  
FOR REVIEW  
NOT FOR CONSTRUCTION  
DATE: 05/06/2016






**NCE**  
 501 Canal Blvd., Suite I  
 Richmond, Ca. 94804  
 (510) 215-3620 \* Fax (510) 215-2898



**2016 STREET REHABILITATION PROJECT**

OWNER  
  
**420 CAPITOLA AVENUE**  
**CAPITOLA, CA 95010**

NO.	DATE	DESCRIPTION

PROJECT NO:	303.05.55
DESIGNED BY:	JB
DRAWN BY:	JB, AP
CHECKED BY:	FGH DATE: 04/07/16
DATE:	05/06/2016

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SHEET TITLE  
**LAYOUT PLAN**  
**PARK AVENUE**  
**"P" 26+00 TO "P" 28+50**  
 DRAWING **C8**  
 SHEET 10 OF 18

- NOTES:
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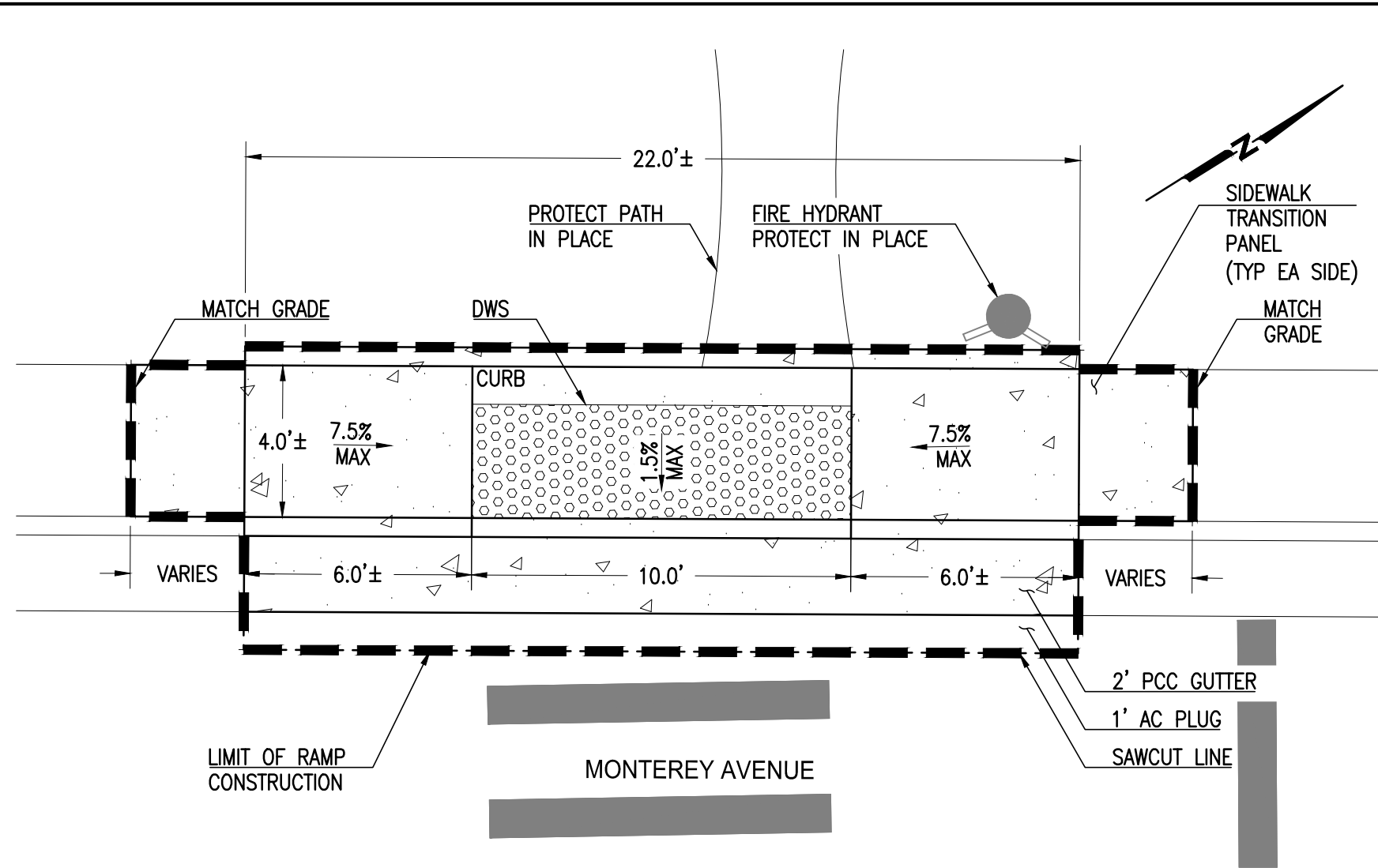




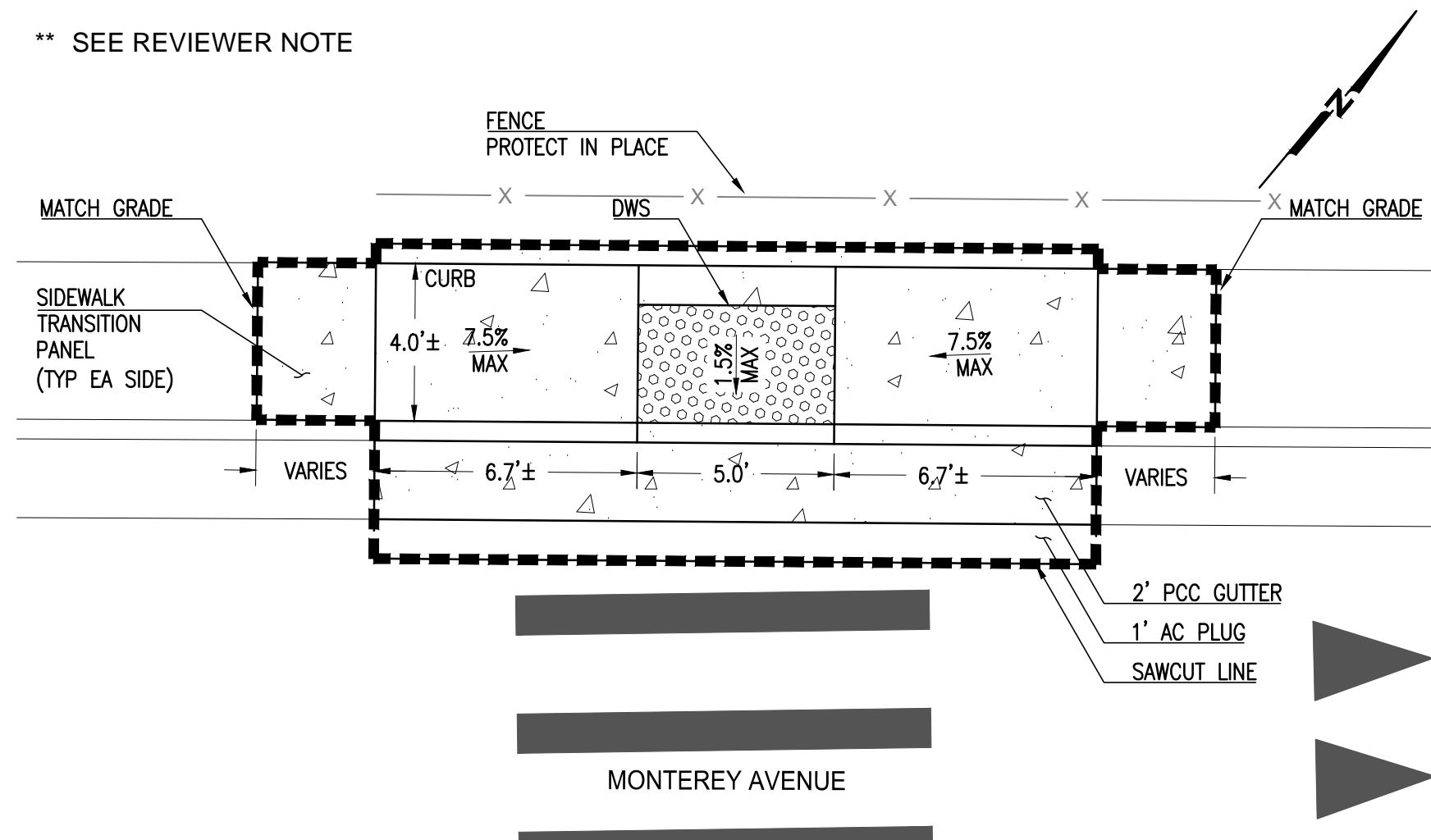




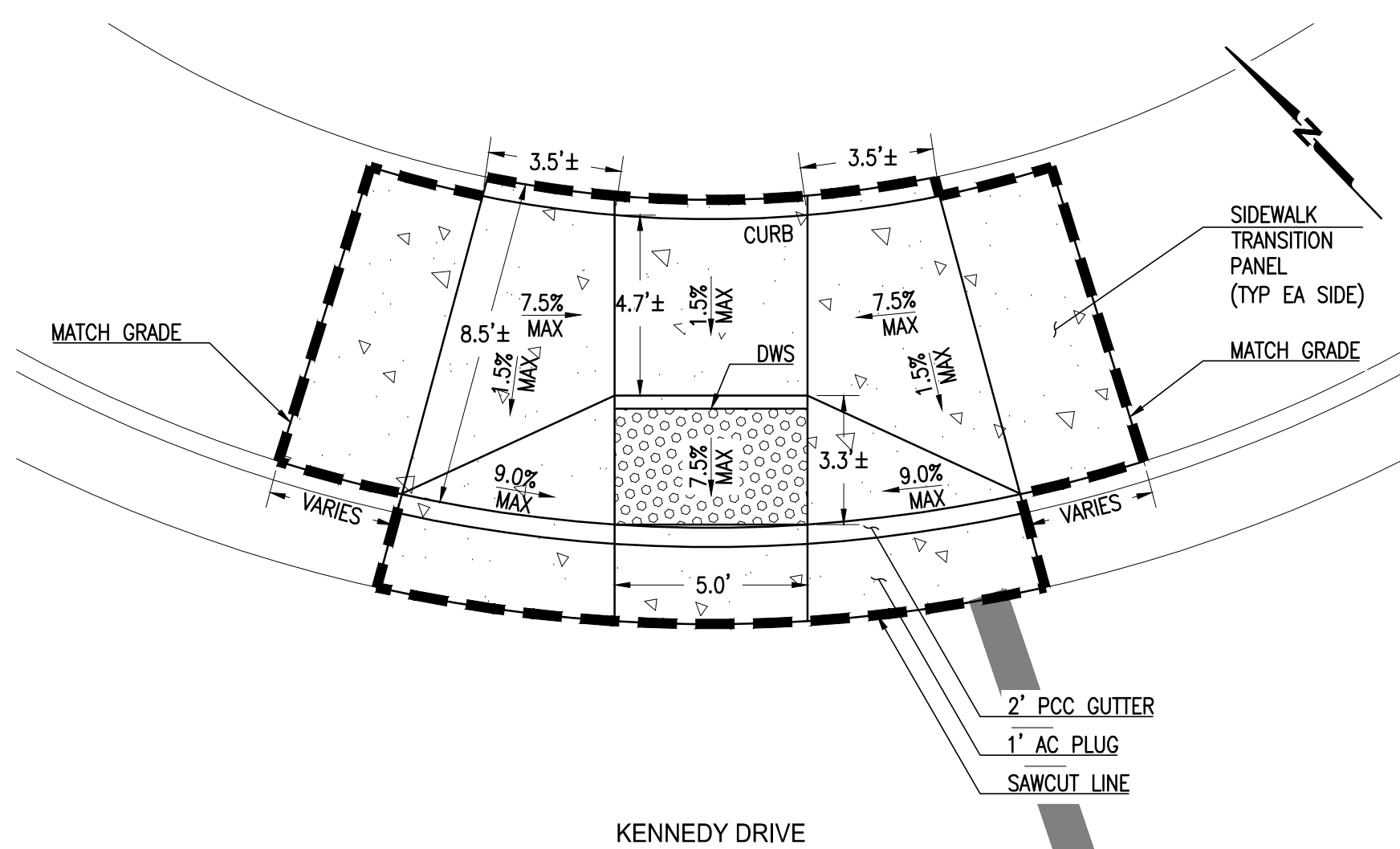




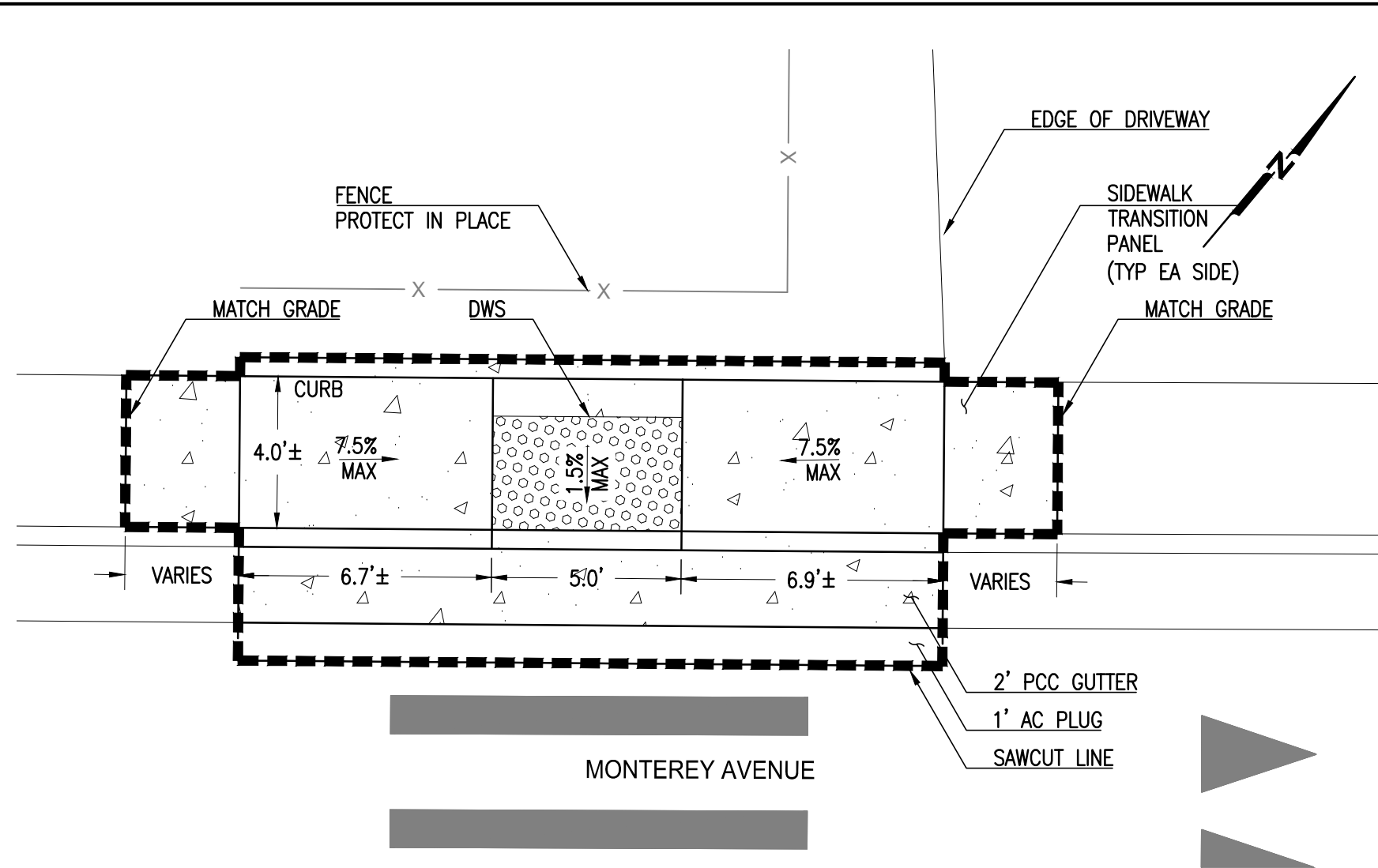
1 D3 MONTEREY AVENUE AND WASHBURN STREET  
NORTH  
SCALE: 1"=4'-0"



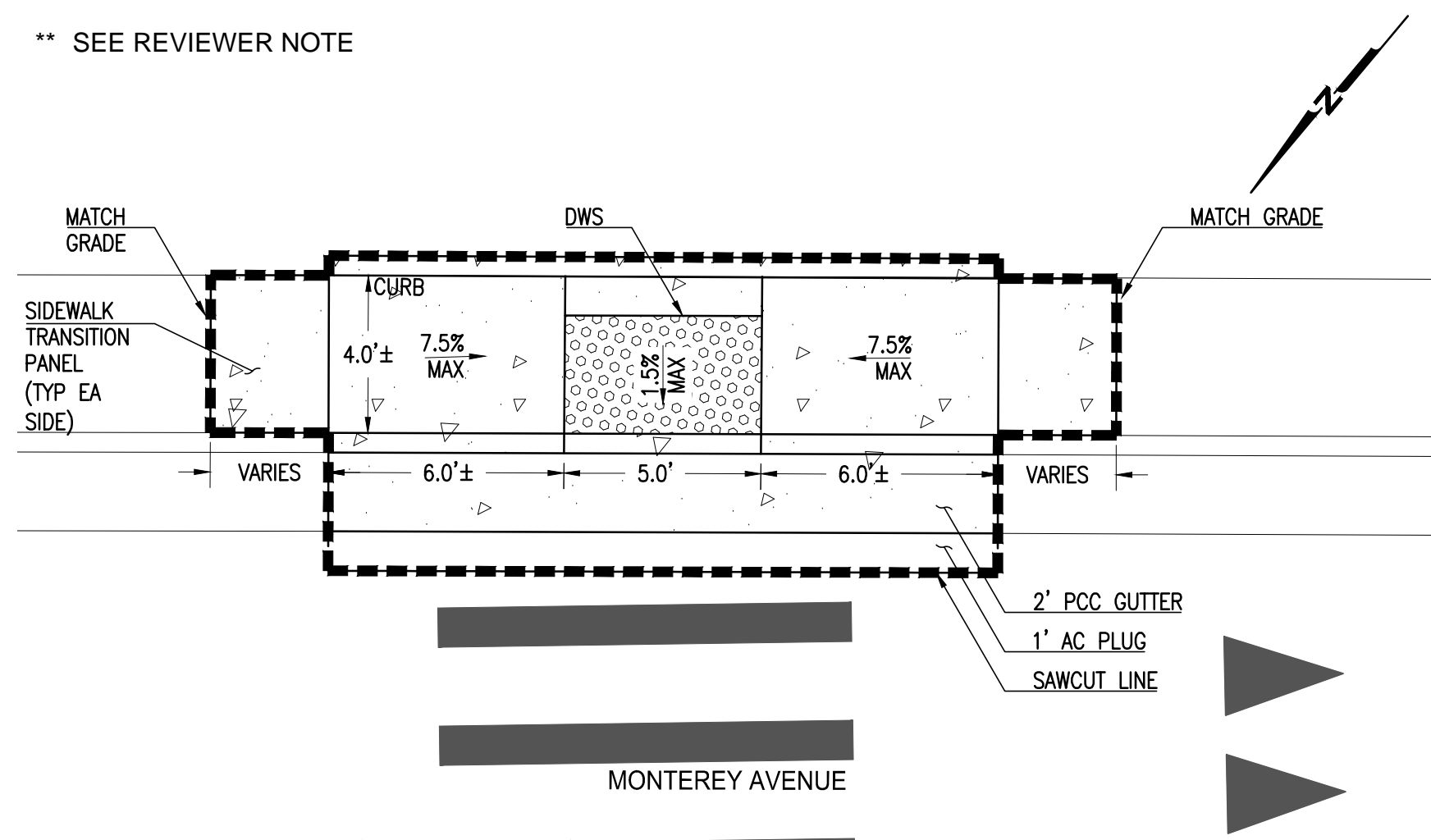
4 D3 MONTEREY AVENUE MIDBLOCK #2  
NORTH  
SCALE: 1"=4'-0"



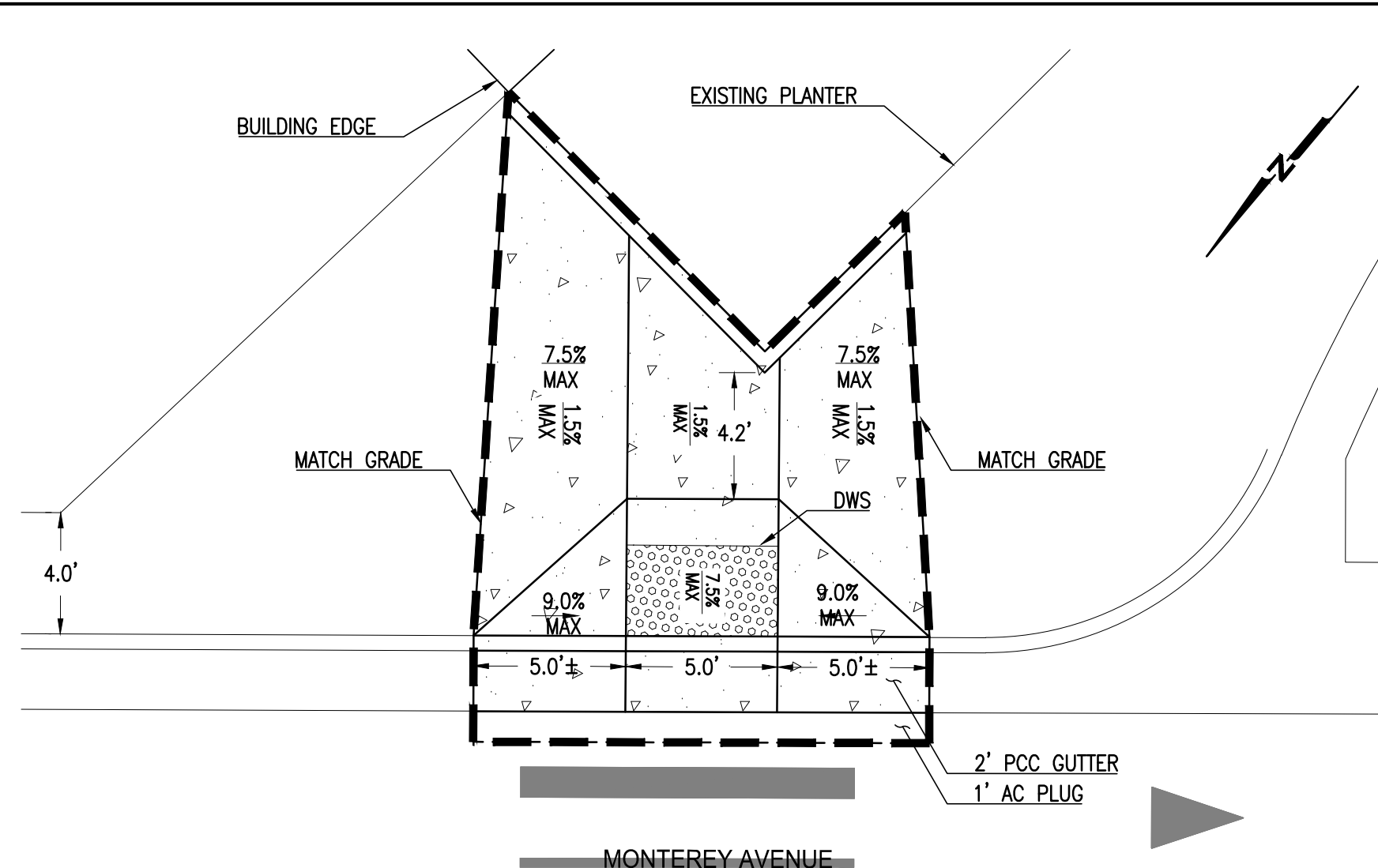
7 D3 MONTEREY AVENUE AND KENNEDY AVE  
NORTHEAST  
SCALE: 1"=4'-0"



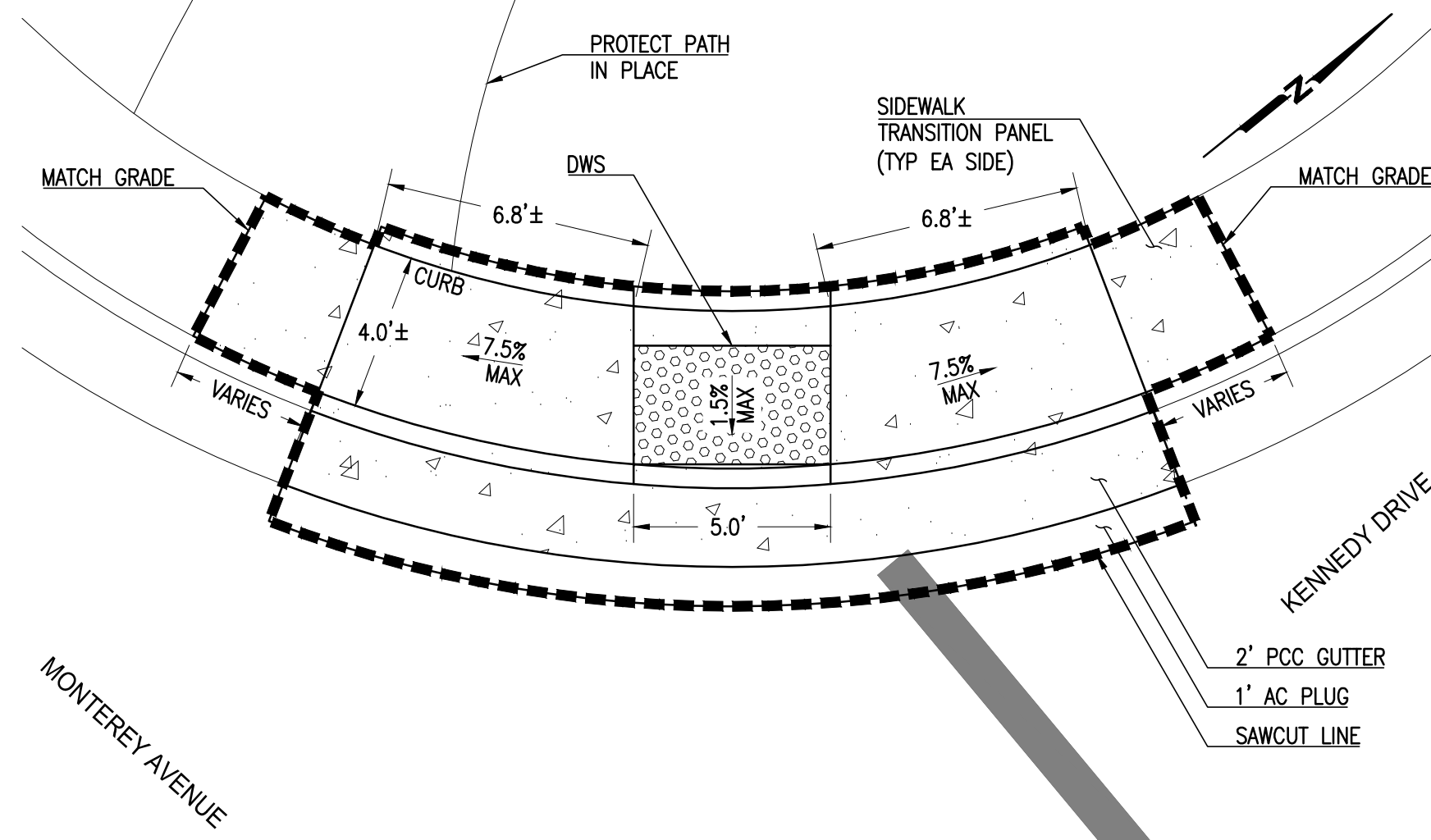
2 D3 MONTEREY AVENUE MIDBLOCK #1  
NORTH  
SCALE: 1"=4'-0"



5 D3 MONTEREY AVENUE MIDBLOCK #2  
SOUTH  
SCALE: 1"=4'-0"



3 D3 MONTEREY AVENUE MIDBLOCK #1  
SOUTH  
SCALE: 1"=5'-0"



6 D3 MONTEREY AVENUE AND KENNEDY AVE  
NORTHWEST  
SCALE: 1"=4'-0"

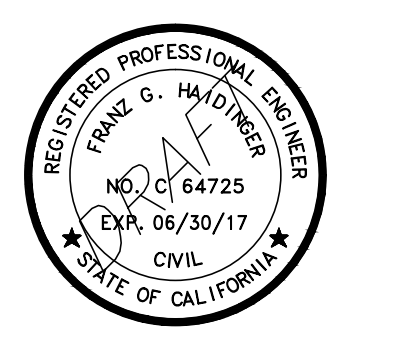
\*\* NOTE TO REVIEWER: INSTALLATION OF ADA COMPLIANT CURB RAMPS AT CURRENT MID-BLOCK LOCATION NOT POSSIBLE BETWEEN ADDRESS #609 AND #613. INSTALLATION OF COMPLIANT RAMPS POSSIBLE IN FRONT OF #613 AND UTILIZING LOCATION OF UNUSED DRIVEWAY ON THE EAST SIDE OF MONTEREY AVENUE.

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  - SIDEWALK PANELS AND C+G TO BE REMOVED AND REPLACED TO TRANSITION THE NEW RAMP TO EXISTING IMPROVEMENTS ARE PAID SEPARATELY.

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**2016 STREET  
REHABILITATION  
PROJECT**

OWNER

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CAPITOLA, CA 95010**

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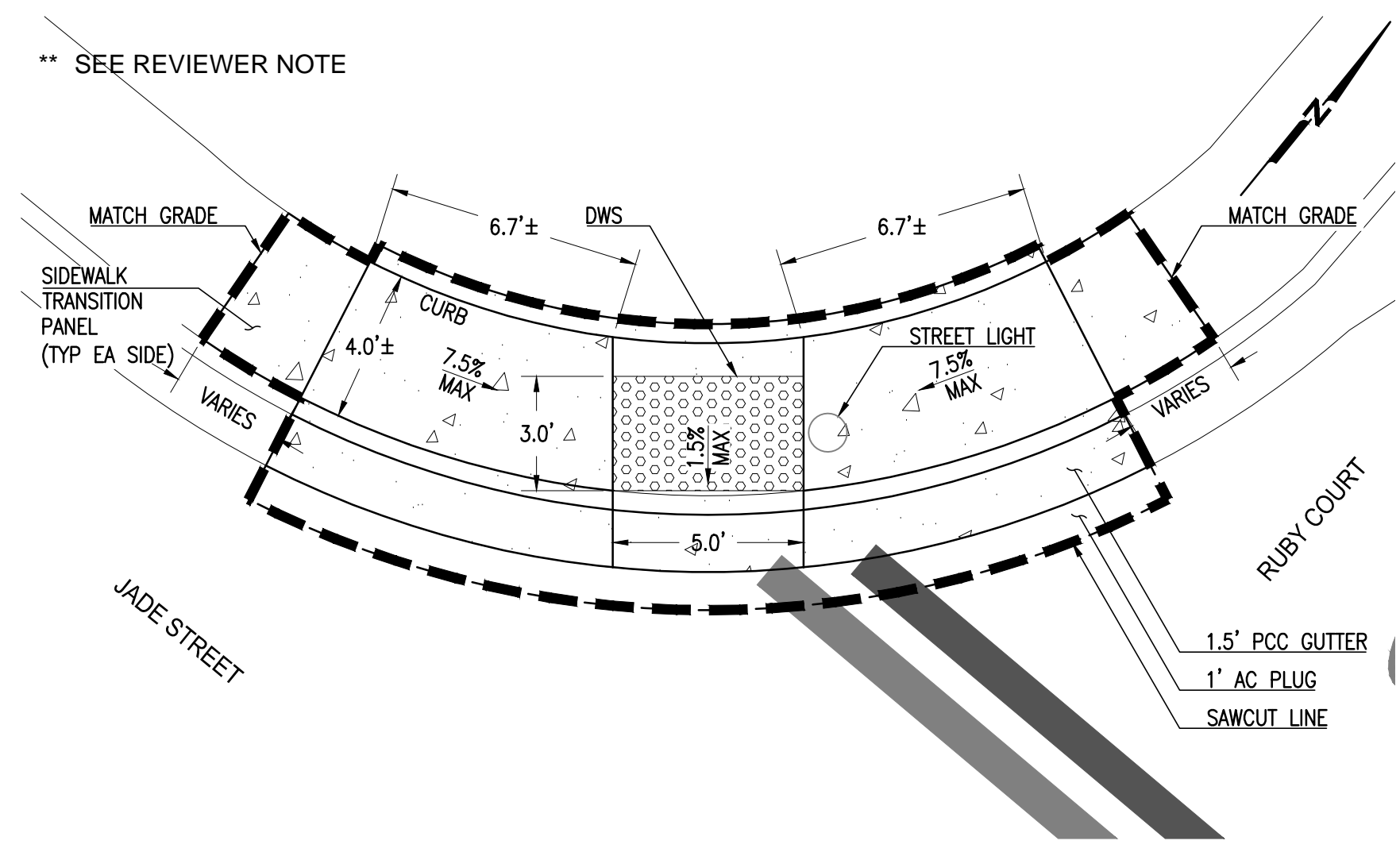
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SHEET TITLE	
<b>CURB RAMP DETAILS 1</b>	
DRAWING	<b>D3</b>
SHEET	21 OF 18

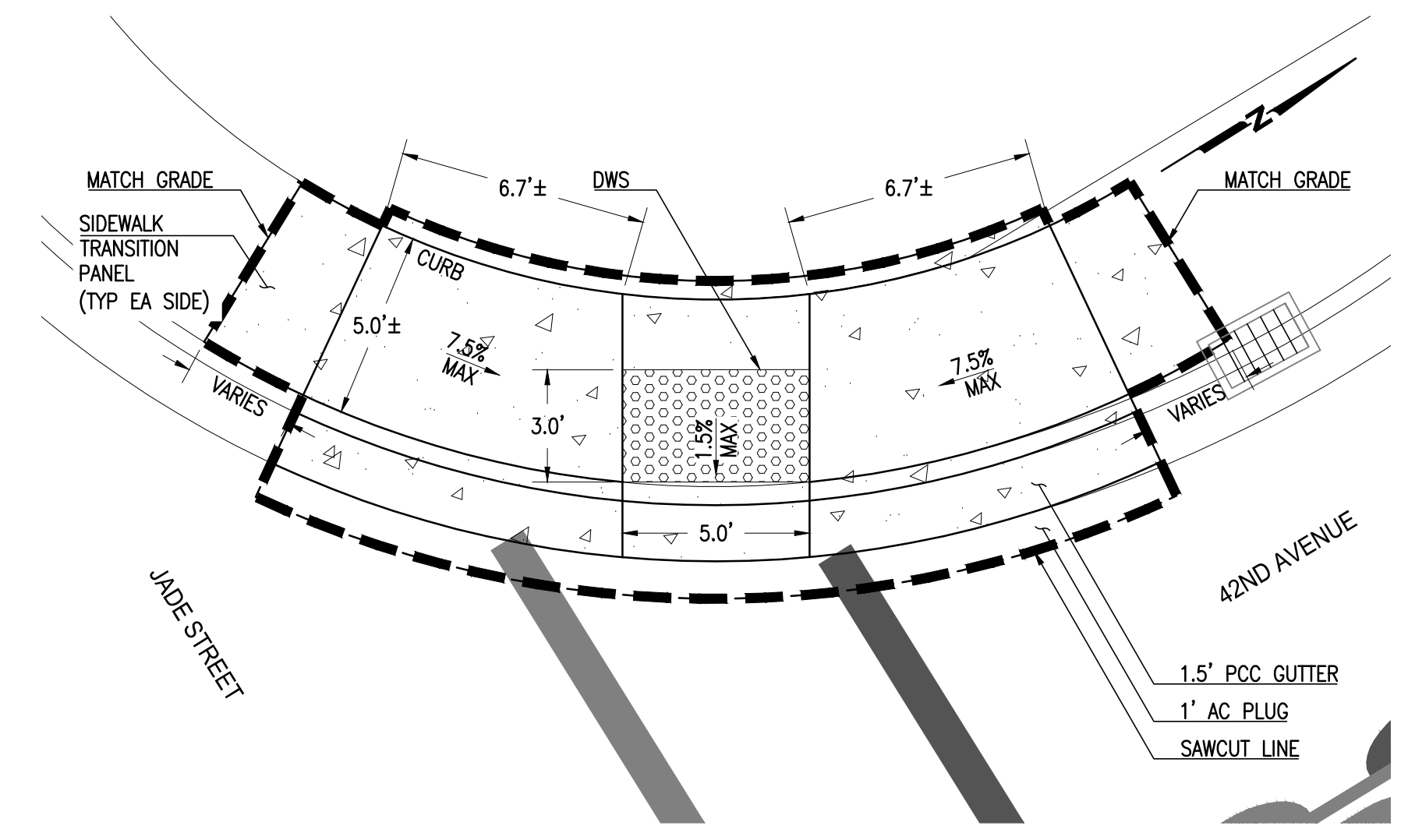


NOTE TO REVIEWER: EXISTING STREET LIGHT INTERFERES WITH PROPER PLACEMENT OF ADA COMPLIANT CURB RAMP AT CORNER. OPTION 1 INVOLVES RELOCATING STREET LIGHT TO BACK OF WALK FOR PROPER CURB RAMP PLACEMENT. OPTION 2 INCLUDES SHIFTING CURB RAMP LOCATION TO NON-IDEAL LOCATION OR BUILDING RAMP AT TRUE CORNER IN CONFLICT WITH EXISTING STREET LIGHT.

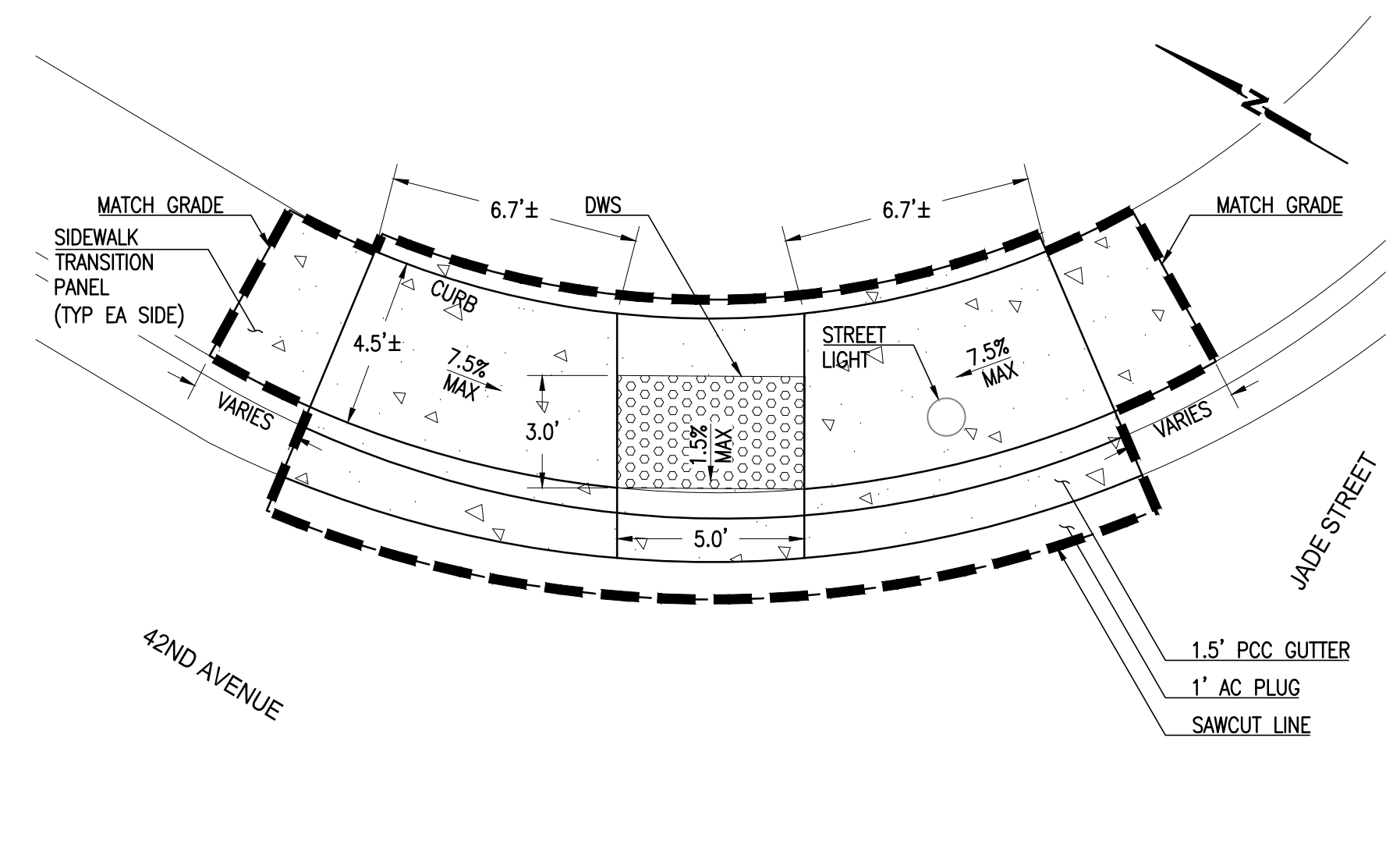
\*\* SEE REVIEWER NOTE



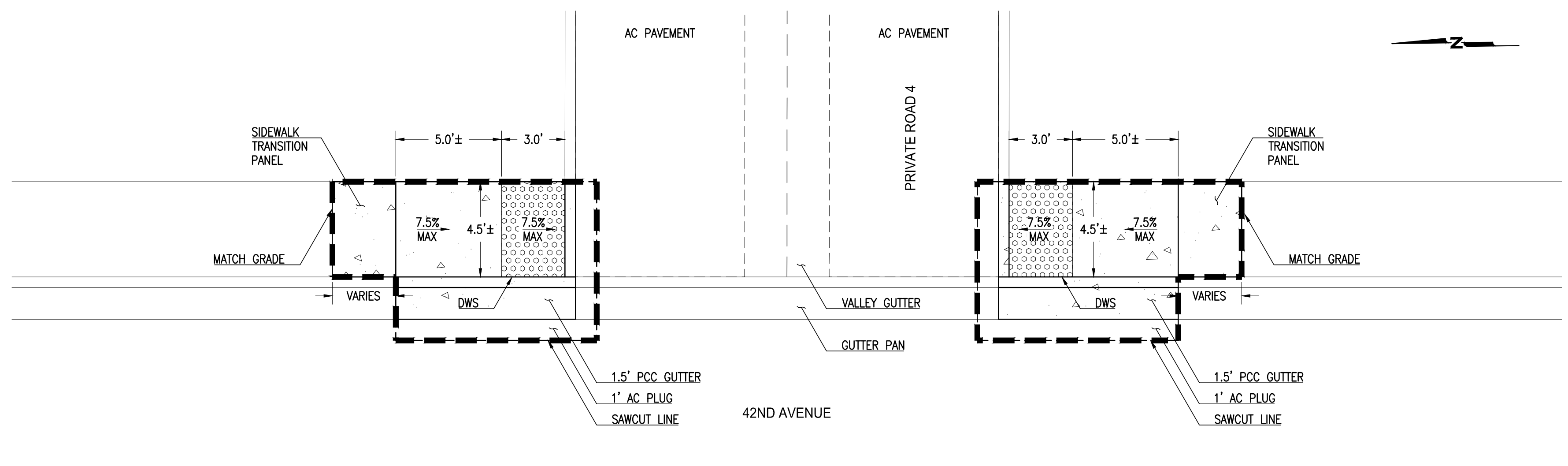
1 D5 RUBY COURT AND JADE STREET NORTHWEST SCALE: 1"=4'-0"



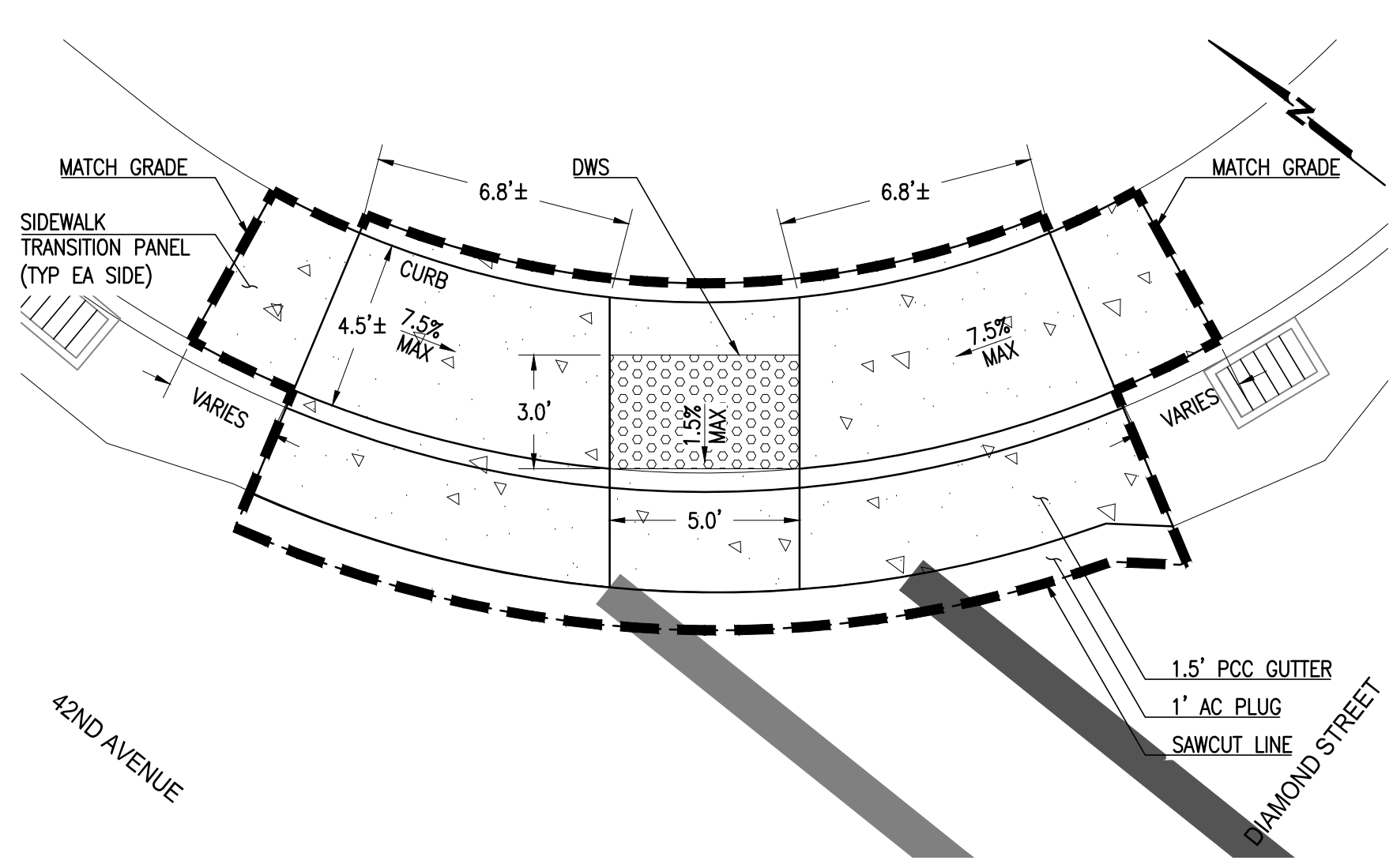
2 D5 42ND AVENUE AND JADE STREET NORTHWEST SCALE: 1"=4'-0"



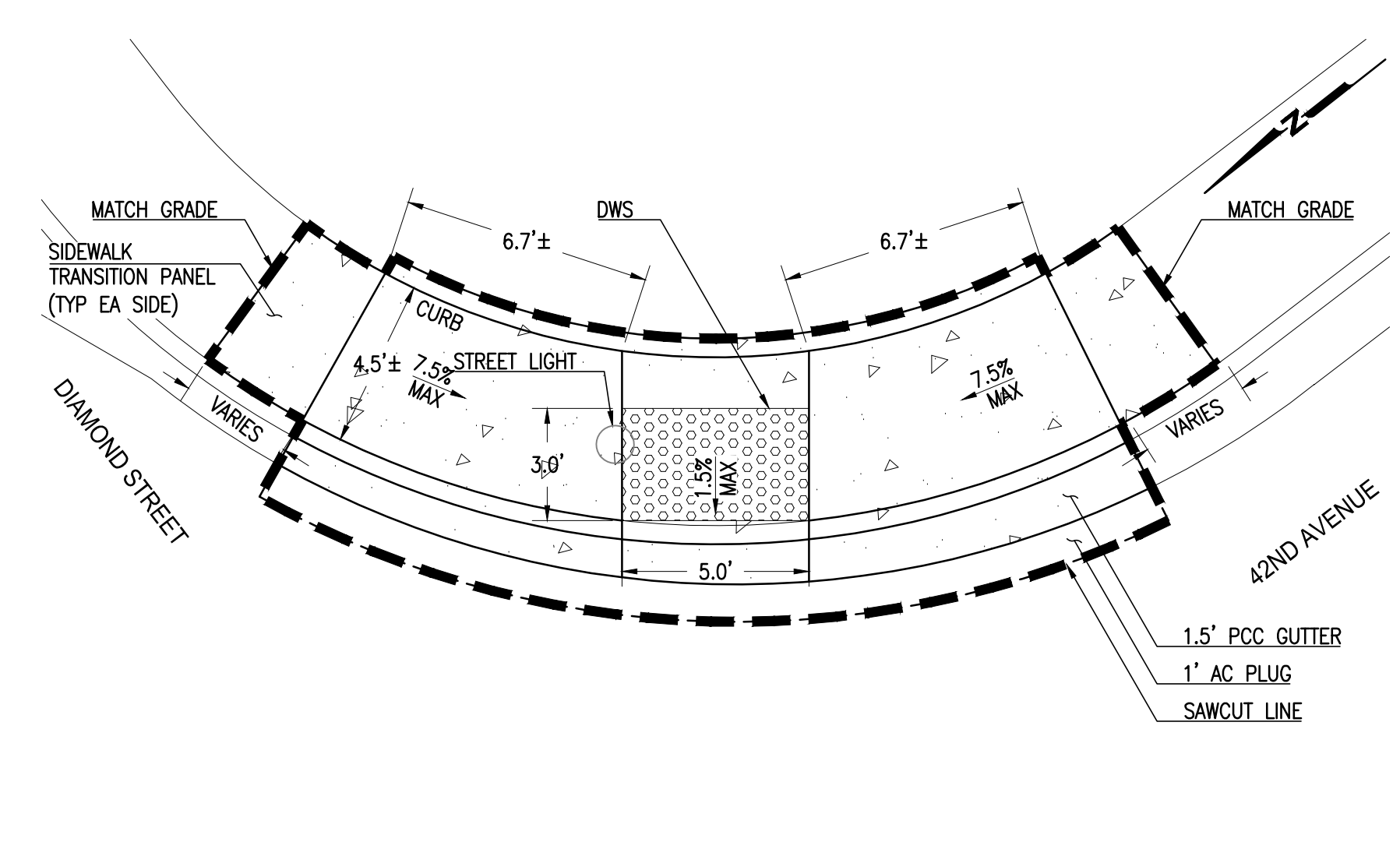
3 D5 42ND AVENUE AND JADE STREET NORTHEAST SCALE: 1"=4'-0"



4 D5 42ND AVENUE AND PRIVATE ROAD 4 SCALE: 1"=4'-0"



5 D5 42ND AVENUE AND DIAMOND STREET NORTHEAST SCALE: 1"=4'-0"



6 D5 42ND AVENUE AND DIAMOND STREET SOUTHEAST SCALE: 1"=4'-0"

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100% SUBMITTAL PRELIMINARY FOR REVIEW NOT FOR CONSTRUCTION DATE: 05/06/2016



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OWNER CITY OF CAPITOLA INCORPORATED 1982 420 CAPITOLA AVENUE CAPITOLA, CA 95010

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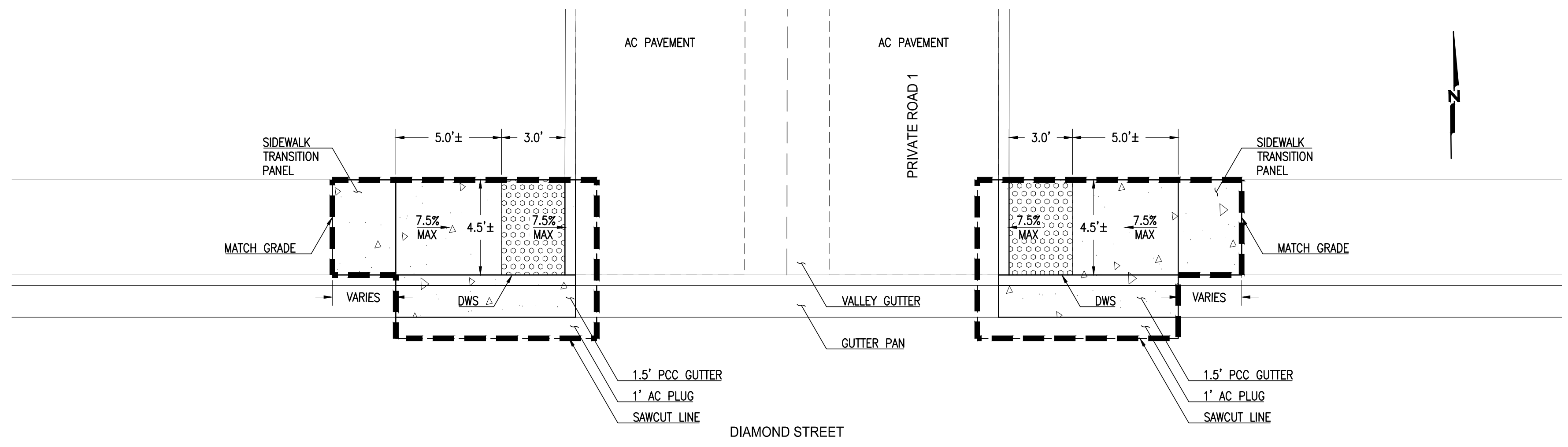
SHEET TITLE CURB RAMP DETAILS 3

DRAWING D5

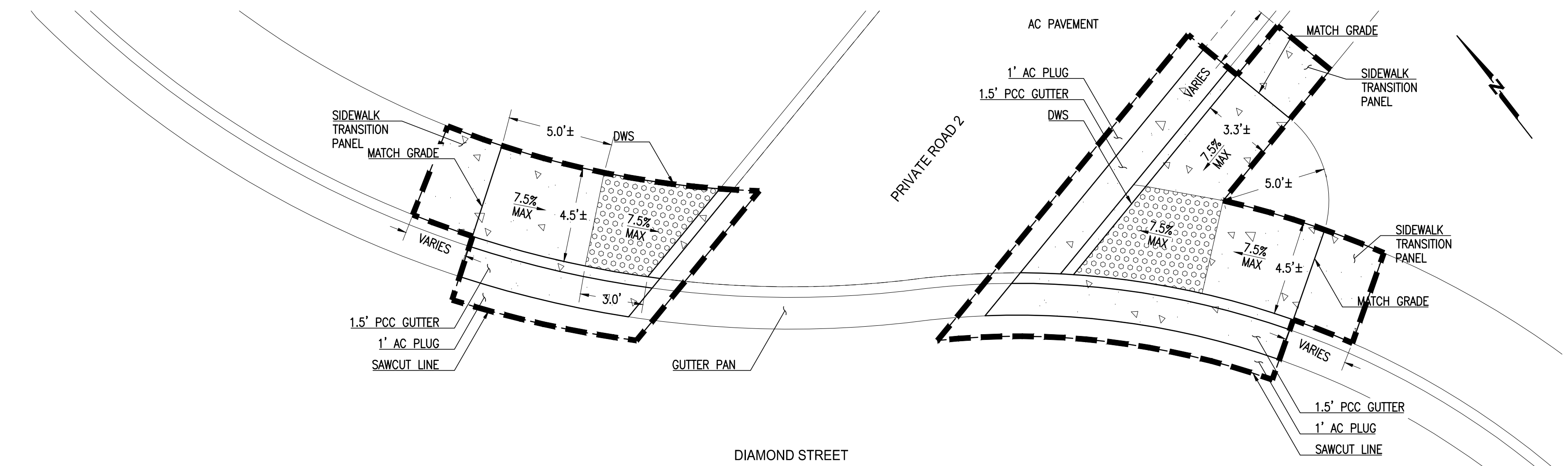
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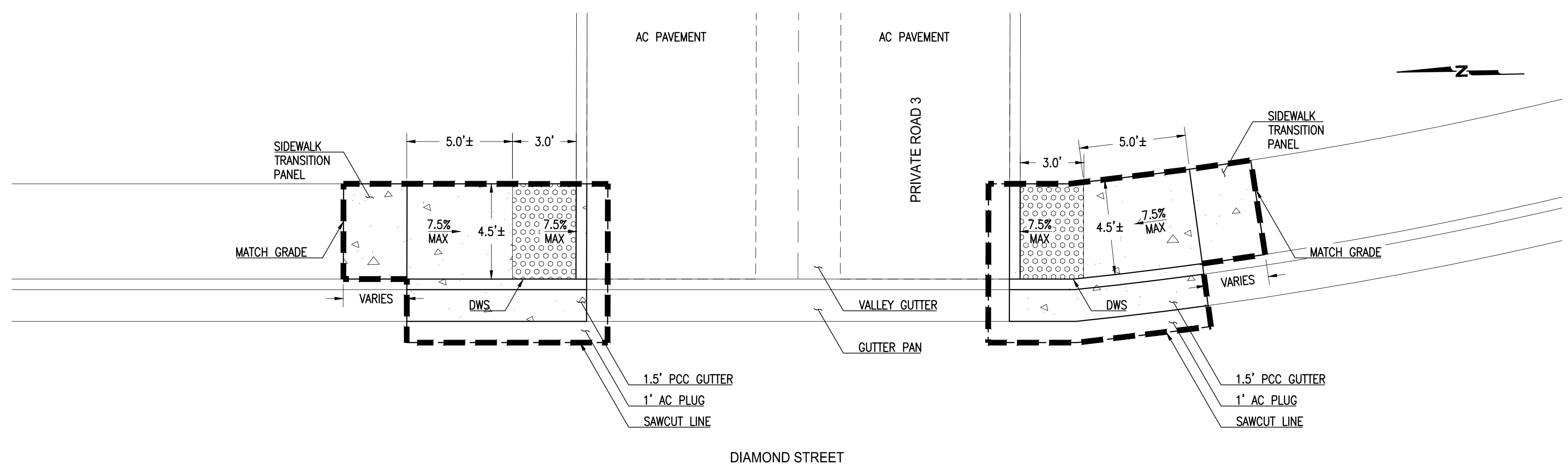
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1  
D6  
DIAMOND STREET AND PRIVATE ROAD 1  
SCALE: 1"=4'-0"



2  
D6  
DIAMOND STREET AND PRIVATE ROAD 2  
SCALE: 1"=4'-0"



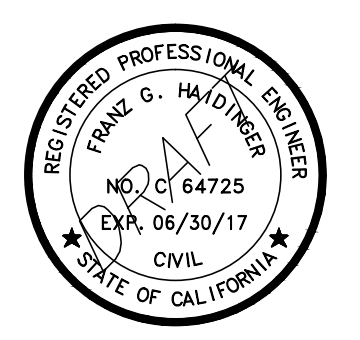
3  
D6  
DIAMOND STREET AND PRIVATE ROAD 3  
SCALE: 1"=4'-0"

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SHEET TITLE

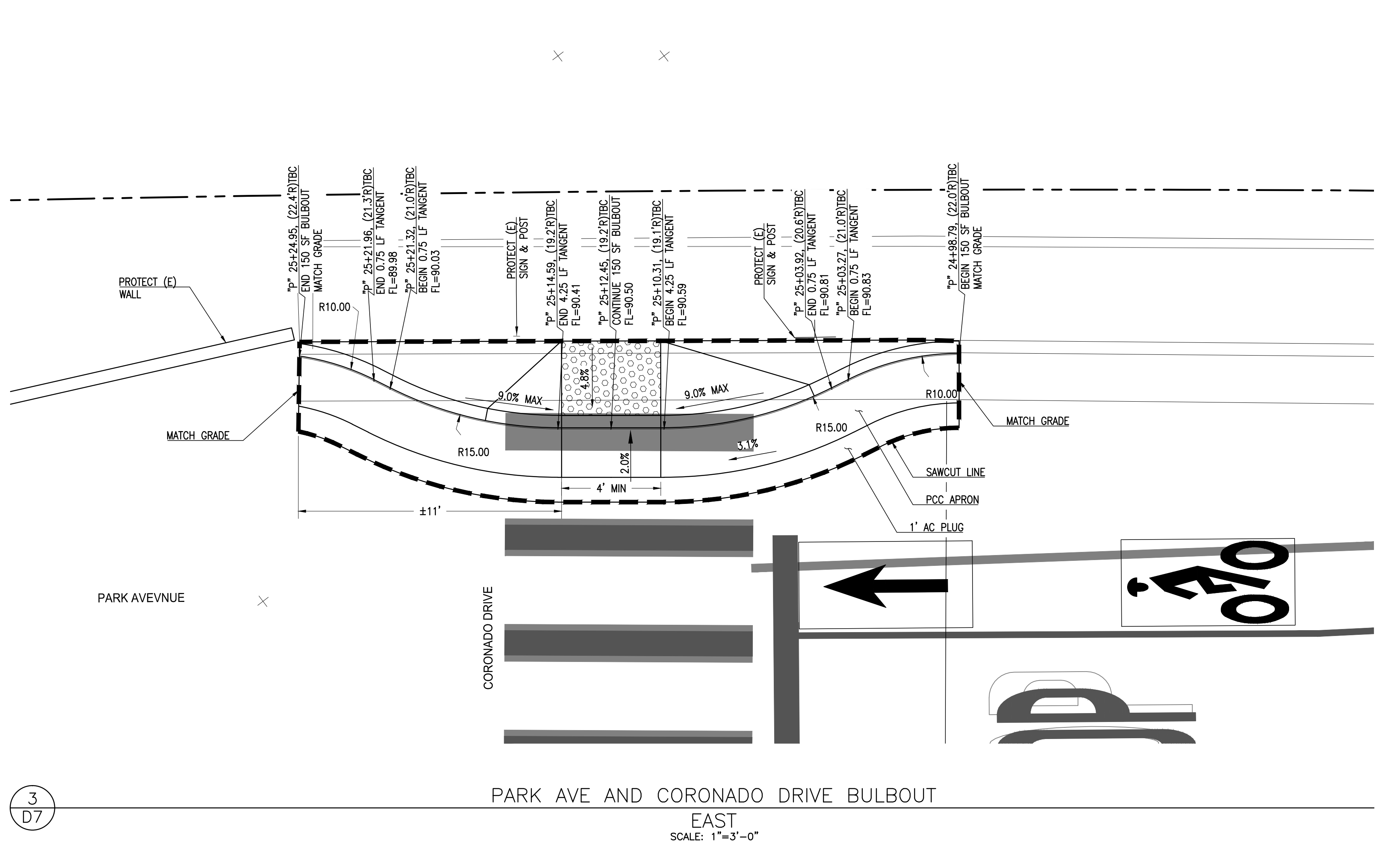
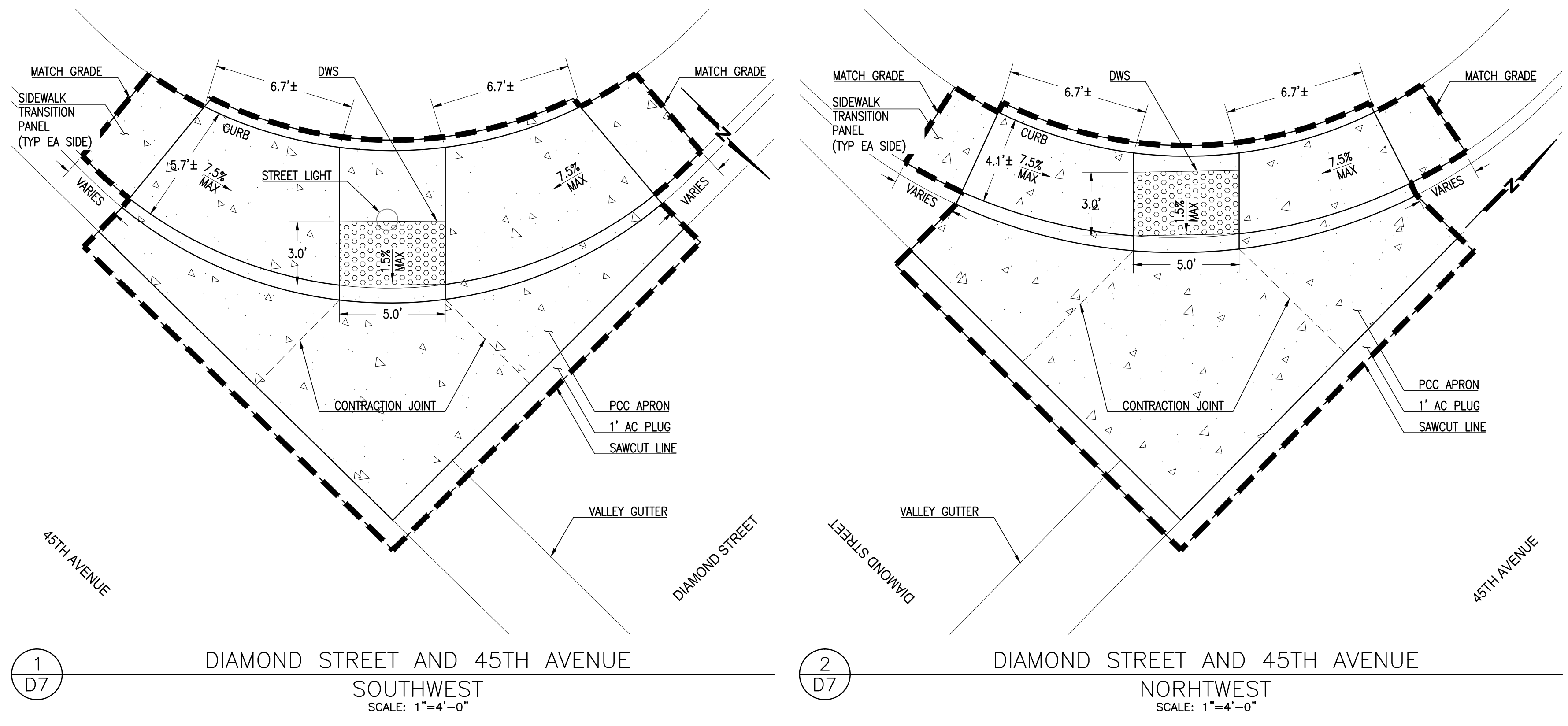
**CURB RAMP DETAILS 4**

DRAWING **D6**

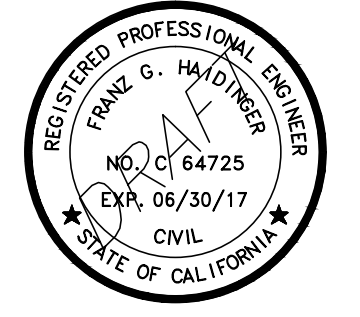
SHEET 24 OF 18

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NOTE TO REVIEWER: EXISTING STREET LIGHT INTERFERES WITH PROPER PLACEMENT OF ADA COMPLIANT CURB RAMP AT CORNER. OPTION 1 INVOLVES RELOCATING STREET LIGHT TO BACK OF WALK FOR PROPER CURB RAMP PLACEMENT. OPTION 2 INCLUDES SHIFTING CURB RAMP LOCATION TO NON-IDEAL LOCATION OR BUILDING RAMP AT TRUE CORNER IN CONFLICT WITH EXISTING STREET LIGHT.



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SHEET TITLE	
<b>CURB RAMP DETAILS 5</b>	
DRAWING	<b>D7</b>
SHEET	25 OF 18

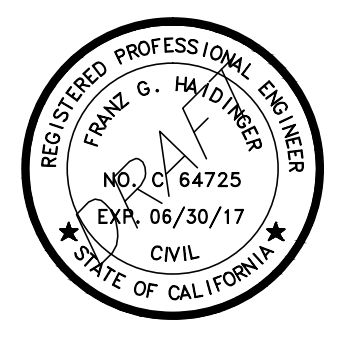
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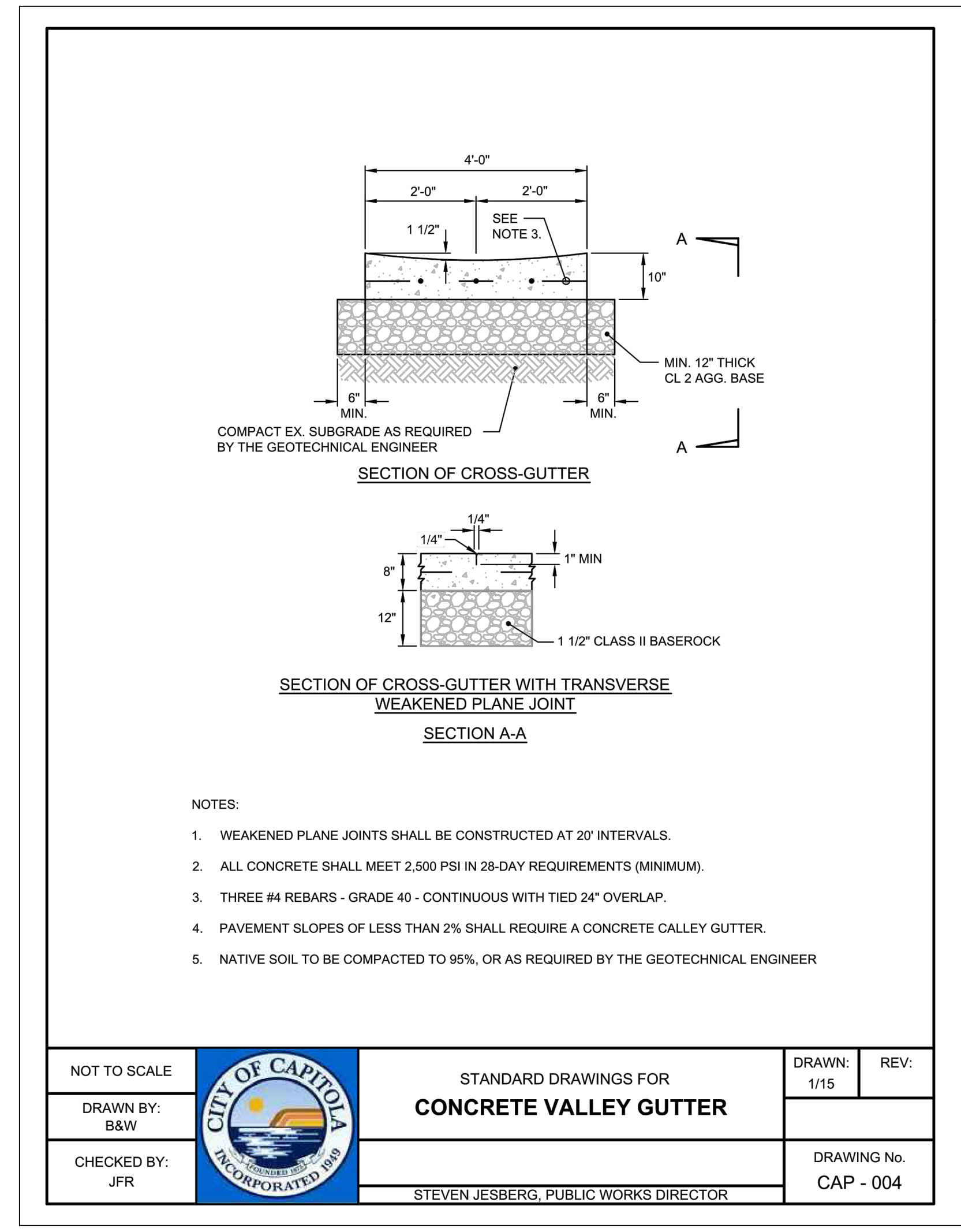
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SHEET TITLE

CITY STANDARD DETAILS

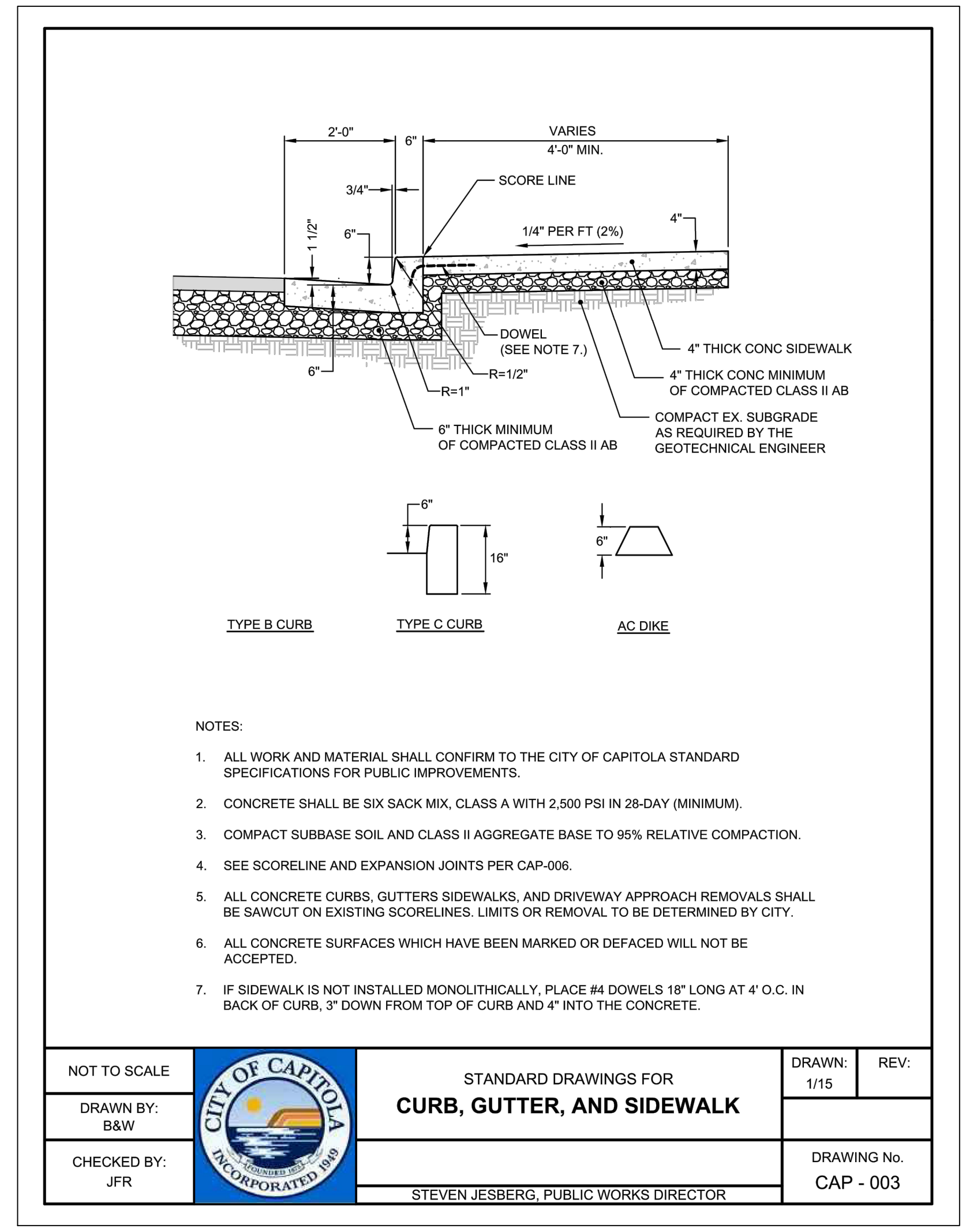
DRAWING  
**D8**

SHEET 26 OF 18



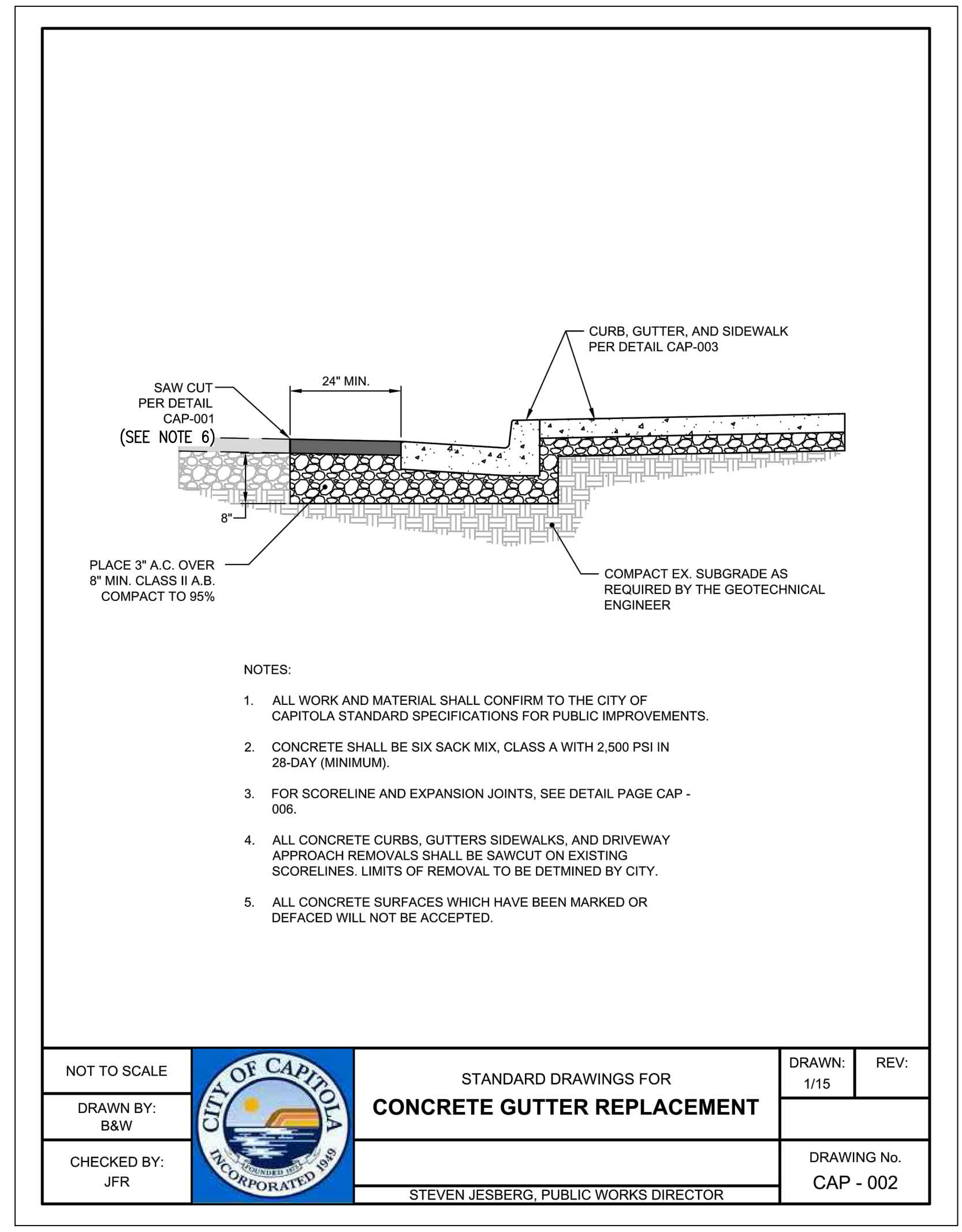
NOT TO SCALE		STANDARD DRAWINGS FOR	DRAWN: 1/15	REV:
DRAWN BY: B&W		CONCRETE VALLEY GUTTER		
CHECKED BY: JFR		STEVEN JESBERG, PUBLIC WORKS DIRECTOR	DRAWING No. CAP - 004	

3 D8 CONCRETE VALLEY GUTTER N.T.S.



NOT TO SCALE		STANDARD DRAWINGS FOR	DRAWN: 1/15	REV:
DRAWN BY: B&W		CURB, GUTTER, AND SIDEWALK		
CHECKED BY: JFR		STEVEN JESBERG, PUBLIC WORKS DIRECTOR	DRAWING No. CAP - 003	

2 D8 CURB, GUTTER AND SIDEWALK N.T.S.



NOT TO SCALE		STANDARD DRAWINGS FOR	DRAWN: 1/15	REV:
DRAWN BY: B&W		CONCRETE GUTTER REPLACEMENT		
CHECKED BY: JFR		STEVEN JESBERG, PUBLIC WORKS DIRECTOR	DRAWING No. CAP - 002	

1 D8 CONCRETE GUTER REPLACEMENT N.T.S.

NOTE:

- SOURCE: CITY OF CAPITOLA STANDARD DRAWINGS. DRAWING NO. CAP - 001. "SAW-CUT PAVEMENT TO PRODUCE A STRAIGHT, VERTICAL FACE AGAINST WHICH TO BUTT THE NEW PAVEMENT"

100% SUBMITTAL  
**PRELIMINARY**  
 FOR REVIEW  
 NOT FOR CONSTRUCTION  
 DATE: 05/06/2016



File: P:\active\_projects\capitola\_city - 303.05.55 - capitola\_2015-16\_street\_rehabilitation\0303\Sheet\2016\_project\0303-DETAILS.dwg | Layout: 08 | Printed: May 02, 2016 @ 6:12pm | User: JESBERG (LWS - net)

Attachment: 2016 Street Rehabilitation Project Plans (1416) - Rispin Mansion Park and Pavement Management Program Projects to Bid





## CAPITOLA CITY COUNCIL AGENDA REPORT

MEETING OF JUNE 9, 2016

FROM: Finance Department

SUBJECT: Consider the Adoption of a Resolution Setting the Fiscal Year 2016-2017  
Appropriation Limit

**RECOMMENDED ACTION:** Adopt a Resolution setting the Fiscal Year 2016-2017 Appropriation Limit as required by Article XIII B of the California Constitution.

**BACKGROUND:** On November 6, 1979, California voters approved Proposition 4, commonly known as the Gann Initiative, establishing Article XIII B of the State Constitution. This proposition places annual limits on the appropriation of tax proceeds that can be made, based on the 1978-79 base year and adjusted each year for population growth and cost-of-living factors. It precludes state and local government from retaining “excess” revenues above the appropriation limit and requires the State to reimburse local government for the cost of certain mandates. Two subsequent initiatives, Proposition 98 in 1988 and Proposition 111 in 1990, modify the appropriation limit requirements. Proposition 98 amends the methodology for allocation of excess revenues. Proposition 111 changes the population growth and cost-of-living factors to be used in calculating the limit, adds additional exempted items, and further adjusts allocation of excess revenues.

The appropriations limit on the amount of revenue that can be spent applies only to tax proceeds. Charges for services, fees, grants, loans, donations, and other non-tax based proceeds are excluded. Exemptions are also made for voter approved debt, debt that existed prior to January 1, 1979, and for the cost of compliance with court or Federal government mandates.

The State Constitution requires that prior to June 30 of each year, Council ratify calculation factors and set the City’s appropriations limit for the following fiscal year.

**DISCUSSION:** The appropriations limit for a given fiscal year is established in the months preceding the beginning of that fiscal year. California Revenue and Taxation Code, Section 2227, mandates that the Department of Finance transmit an estimate of the percentage change in population, “Annual Percent Change in Population Minus Exclusions”, to local governments. Each local jurisdiction uses this percentage change in population factor for January 1, 2015, in conjunction with the County-issued “Local Nonresidential Property Value Increment By Fund” or “Change in California Per Capita Income” to calculate the Appropriation Factor used in determining the Limit.

Appropriation Limit  
June 9, 2016

The 2016-2017 calculation is:

Annual % change in County	Change in Population minus Exclusions	Change in California per capita Income	=	Appropriation Factor	x	FY 2015-16 Appropriation Limit	=	FY 2016-17 Appropriation Limit
	1.0062	x 1.0537	=	1.0602	x	\$25,528,692	=	\$27,065,519

The 2016-2017 Proposed Budget tax revenues are:

Source of Tax Revenue	2016-17 Proposed Budget
Sales Tax and Triple Flip (1%)	\$ 5,485,957
District Taxes (Measures D and O)	2,210,518
Property Tax and In-Lieu	2,172,667
Transient Occupancy Tax	1,356,190
Franchise Taxes	526,767
Business License Tax	299,300
Interest Income from tax revenue	1,000
<b>Total Tax Revenue</b>	<b>\$ 12,052,399</b>

The 2016-17 % of appropriations limit used is:

Fiscal Year ended:	2014-15	2015-16	2016-17
Appropriations Limit	\$ 24,471,912	\$ 25,528,692	\$ 27,065,519
Tax revenue	\$ 11,099,418	\$ 11,554,580	\$ 12,052,399
Remaining to limit	\$ 13,372,494	\$ 13,974,112	\$ 15,013,120
% of limit used	45.36%	45.26%	44.53%
Limit vs. prior year	\$ 251,888	\$ 1,056,780	\$ 1,536,827
Incr./(Decr.) vs. pr. yr.	1.0%	4.3%	6.0%

**FISCAL IMPACT:** The appropriations limit increased \$1,536,827 to \$27.1 million or 6.0% from 2015-2016 to 2016-2017.

Report Prepared By: Lonnie Wagner  
Accountant II

**Reviewed and Forwarded by:**

Jamie Goldstein, City Manager

6/3/2016

Appropriation Limit  
June 9, 2016

Appropriation Limit  
June 9, 2016

**DRAFT RESOLUTION**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CAPITOLA  
SETTING THE 2016-17 FISCAL YEAR APPROPRIATION LIMIT PURSUANT  
TO ARTICLE XIII B OF THE CALIFORNIA CONSTITUTION**

**WHEREAS**, before June 30 of each year, the City Council must select the factors to calculate the appropriation limit for the ensuing fiscal year and set the appropriation limit accordingly.

**NOW, THEREFORE, BE IT HEREBY RESOLVED** by the City Council of the City of Capitola that the 2016-2017 Fiscal Year Appropriation Limit shall be \$ 27,066,360 calculated as follows:

Population change within the city:	1.0062
Change in California per capita Income	1.0537

2015-2016 Appropriation Limit:	\$ 25,528,692
Adjustment Factor (1.0062 x 1.0537)	x 1.0602
2016-2017 Appropriation Limit:	<u>\$ 27,065,519</u>

**I HEREBY CERTIFY** that the foregoing Resolution was passed and adopted by the City Council of the City of Capitola on the 9th day of June, 2016, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Ed Bottorff, Mayor

ATTEST:

\_\_\_\_\_, CMC  
Susan Sneddon, City Clerk





## CAPITOLA CITY COUNCIL AGENDA REPORT

MEETING OF JUNE 9, 2016

FROM: Finance Department  
SUBJECT: Consider accepting the City's Investment Policy

**RECOMMENDED ACTION:** Confirm the City's Administrative Policy Number III-1, Investment Policy, or provide direction to staff regarding any recommended changes.

**BACKGROUND:** California Government Code §53630 et seq contains State requirements for the deposit of City funds. GC § 53635 requires that all money belonging to, or in the custody of, a local agency be deposited in certain allowable instruments. The current Investment Policy was approved by the City Council on August 9, 2001, by adoption of Resolution No. 3149 affirming the City's Investment Policy, and was incorporated into the City's Administrative Policies. A copy of the Investment Policy, which was confirmed by the City Council on June 11, 2015, is attached.

**DISCUSSION:** The California Government Code requires cities to review its Investment Policy on an annual basis. The purpose of this item is to provide the City Council with an opportunity to review its policy and either reaffirm the Investment Policy or provide direction to staff for recommended changes. The City's current Investment Policy and Investment Portfolio comply with all applicable state law requirements.

**FISCAL IMPACT:** None

**ATTACHMENTS:**

1. Administrative Policy III-1: **Reviewed and Forwarded by:**  
Investment Policy

Report Prepared By: Mark Welch  
Finance Director

\_\_\_\_\_  
Jamie Goldstein, City Manager

6/3/2016



## ADMINISTRATIVE POLICY

Number: III-1

Issued: May 9, 1996

Revised: August 9, 2001

Jurisdiction: City Council

### INVESTMENT POLICY

The policy for the investment of public funds shall at all times conform, by law, to Section 53601, et seq., of the California Government Code. In order of importance, the investment policy shall:

1. Provide for the safety of the funds
2. Assure the liquidity of the funds
3. Acquire earnings of the funds

This investment policy, or any modification thereof, shall be formulated by the City Treasurer and approved by the City Council and copies made available upon request.

The Treasurer's investment portfolio contains pooled investments of funds by both the City and of benefit assessment districts within the City. The earnings from pooled investments are shared proportionately with each investor.

City investment funds shall only be invested in the following permitted investments:

1. State of California Local Agency Investment Fund
2. U.S. Treasury T-Bills
3. Negotiable Certificates of Deposit
4. Guaranteed Investment Contracts (GIC) of AAA quality, for a term not to exceed fifteen (15) months\*

The following limitations shall apply to permitted investments:

T-Bills: Total dollar investment not to exceed 60% of total portfolio at time of investment.

Certificates of Deposit:

- A. Total dollar investment not to exceed 20% of total portfolio at time of investment.
- B. Maturity date of securities shall not be more than 365 days from date of purchase.
- C. Issuer must be one of top 20 national or state chartered banks, one of top 20 state or federal savings associations, or one of top 10 state licensed foreign banks as compiled by American Banker from Merrill Lynch.
- D. CD's may be purchased only from the issuer, a federal or state chartered bank, a federal or state association, or a brokerage firm designated as a primary dealer by the Federal Reserve Bank.
- E. The deposit shall not exceed the total of the paid-up capital and the surplus of any depository bank, nor shall the deposit exceed the net worth of any depository association.

City funds placed in a qualified Other Post Employment Benefit (OPEB) Trust Fund for retiree healthcare can be invested in accordance with Government Codes 53620-53622.

Christine McBroom, City Treasurer



## CAPITOLA CITY COUNCIL AGENDA REPORT

MEETING OF JUNE 9, 2016

FROM: City Manager Department

SUBJECT: Presentation by Frank Perry, Capitola Museum Curator, regarding the History of the Capitola Wharf

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RECOMMENDED ACTION: Receive Presentation.

BACKGROUND: At the April 14, 2016, City Council Meeting, the City Council received a report on the Capitola Wharf Condition Assessment and Wharf Resiliency Study. As part of this process, the City Council requested a presentation on the history of the Capitola Wharf. The goal of the presentation is to help people gain a better understanding of the role the wharf has played in the history of Capitola.

ATTACHMENTS:

1. Capitola Wharf History Timeline

Report Prepared By: Larry Laurent  
Assistant to the City Manager

**Reviewed and Forwarded by:**

A handwritten signature in blue ink, appearing to be "JG", is written over a horizontal line.

Jamie Goldstein, City Manager

6/3/2016

## A Short History of the Capitola Wharf

Compiled by Frank Perry, Curator, Capitola Historical Museum  
June, 2016

**Note:** Prior to 1979, the State of California and later the County of Santa Cruz owned the tidelands under the wharf. This made them the wharf owner. The wharf was then leased, usually for some nominal amount, to an operator. The operator was also responsible for repairs (which could be considerable). This was a little confusing, and at least one person who purchased the lease (which was expensive) thought he was actually buying the wharf.

- 1857 450-foot wharf built for F. A. Hihn by carpenter Sedgwick Lynch. Known as Soquel Landing, the wharf was built for shipping goods produced in the region, such as lumber, leather, paper, and products from local farms.
- 1863 Wharf lengthened to 1,300 feet.
- 1869 More than 200,000 feet of lumber is shipped annually from the wharf.
- 1874 Camp Capitola established by S. A. Hall.
- 1876 Railroad line completed. Shipping by sea begins to diminish.
- 1880s Italian fishing colony established and uses the wharf into the early 1900s.
- 1890s The name "Capitola Wharf" comes into common usage, replacing Soquel Landing.
- 1894 George Mitchell begins fifty-one-year association with wharf, renting boats and acting as wharfinger. Eventually purchases lease.
- 1895 Emil Gerlach attempts to build giant wave-powered electric generator on the wharf, but the machine does not work.
- 1902 Wharf declared dangerous and is temporarily closed.
- 1909 Extensive repairs made by the Hihn company, including 40 new piles.
- 1913 Huge salmon catches during the summer. Captain George Mitchell catches 135 in one morning. F. A. Hihn, owner of Capitola and the wharf, dies in August. Capitola properties pass to daughter Katherine Cope Henderson.
- 1913 November. Big storm waves destroy middle section of wharf. Fisherman Alberto Gibelli stranded on end and had to be rescued.
- 1919 Capitola (and wharf lease) purchased by H. Allen Rispin, who forms The Capitola Company. Mitchell manages wharf for Rispin.
- 1924 The Capitola Company makes extensive repairs.

## Wharf History

- 1928 Building constructed for the Capitola Light Tackle Club near the foot of the wharf.
- 1931 State grants lease to Rispin creditor Central Finance and Adjustment Co. Dispute with George Mitchell over ownership of lease.
- 1933 Rumor of battle on wharf between Coast Guard and rum-runners.
- 1934 George Mitchell posts sign on wharf charging fee to go fishing. A 43 pound halibut caught from wharf.
- 1935 Ownership of tidelands beneath wharf transferred from State of California to Santa Cruz County.
- 1936 Extensive repairs made. Piles for Capitola Wharf delivered by steamer to Santa Cruz Wharf then hauled to Capitola.
- 1940 George Mitchell leases site at wharf entrance for boat house. In March, old clubhouse is destroyed in arson fire.
- 1945 George Mitchell sells lease to L. H. Guest, who plans repairs. Guest leases wharf from county for \$1 per year. Over the next few years, lease ownership passes from Guest to L. W. Parr, then to Ray Clute.
- 1953 Dispute erupts over ownership of wharf. County demands rent from operator R. M. Throop, who had "bought" the wharf from Ray Clute in 1952.
- 1955 By this time, wharf is being operated by George Dymesch, who makes plans for \$75,000 expansion and facelift. Ailing and aging, George Mitchell commits suicide with gun.
- 1962 Dymesch offers to sell lease to City of Capitola, but proposal is rejected by Cinty Council. Dymesch advertises to sell or trade lease. Purchased by Tom Shanahan, who plans renovation.
- 1965 Wharf operator Shanahan re-decks outer part of wharf.
- 1971 There is renewed discussion of the City purchasing the wharf lease or the wharf.
- 1973 Max Walden, who converted the old Santa Cruz County courthouse into the "Cooper House," acquires option to purchase lease from Shanahan. Walden later files suit against Shanahan when there is word he sold it to someone else.
- 1974 City of Capitola pursues acquiring tidelands beneath wharf as a first step towards wharf ownership. By taking ownership of tidelands, it will own the wharf. Shanahan would still own the lease, however.

## Wharf History

- 1976 Tom Shanahan sells lease to a group of local businessmen who form Capitola Wharf, Inc.
- 1978 City negotiates for purchase of lease.
- 1979 Capitola Wharf, Inc. sells lease to Richard and Jennifer Karleen. Wharf renovated and reopened in July. In October the Karleens reach an agreement to turn over lease to the City of Capitola in exchange for agreement to run the concessions. In December, the County Board of Supervisors votes to grant tidelands (wharf title) to the City of Capitola.
- 1980 Contractor chosen to renovate wharf.
- 1981 Renovation begins, costs more than estimated. "New" wharf dedicated in October.
- 1982 Additional wharf buildings added.
- 1983 January and February storms damage end of wharf. Repaired later in the year.
- 1999-2000 Wharf undergoes extensive renovation. In late 1999 wharf suffers damaged in big storm and is briefly closed.
- 2002 Wharf gate dedicated in early December. Later that month, storm waves destroy 10 piles.



# CAPITOLA CITY COUNCIL AGENDA REPORT

**MEETING OF JUNE 9, 2016**

FROM: Community Development  
SUBJECT: Zoning Code Update Progress Report

**RECOMMENDED ACTION:** Accept staff presentation and provide direction on future review of draft zoning code.

**BACKGROUND:** The City of Capitola initiated an effort in 2014 to comprehensively update its 1975 zoning code. To begin the process, staff solicited input from a variety of stakeholders to identify issues with current zoning code and opportunities for improvement. Staff used this feedback to develop an issues and options paper which served as the basis for eight public hearings with the Planning Commission and City Council to provide staff with policy direction prior to drafting an updated code. Staff completed a draft zoning code update based on policy direction received during the issues and options hearings.

The draft zoning code was released on February 4, 2016, for an extended public review and comment period. The draft code, zoning map, and previous staff reports with attachments are available online at: <http://www.cityofcapitola.org/communitydevelopment/page/zoning-code-update>. The Planning Commission began their review of the draft zoning code on March 3, 2016, and to date has held seven public hearings to discuss the code. The coastal sections are still pending review by the Planning Commission as staff awaits comments from the Coastal Commission.

Staff estimates three more working meetings with the Planning Commission prior to final recommendation of all draft sections. Once the Planning Commission approves a final draft, staff will make that draft document, which will show Planning Commission changes, available to the City Council.

**DISCUSSION:** To prepare for the City Council hearings, staff is requesting guidance on how the Council would like to review the draft code. The Planning Commission has taken a very thorough approach to their review, with special meetings focused on a sequential review of each chapter of the draft code.

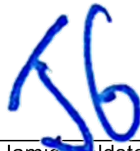
If the City Council wishes to proceed in a similar manner, staff estimates the process will require eight to ten public hearings, including dedicated special meetings. Alternatively, the Council could perform a higher level review of the draft code focusing on key changes by topic which would significantly streamline the process and reduce the number of public hearings. Finally, the Council could choose a hybrid approach, whereby staff presents significant changes and Planning Commission revisions in a sequential, chapter-by-chapter manner.

Zoning Code Update Progress Report  
June 9, 2016

Depending on Council direction, staff will return with a draft schedule for the Council's consideration.

Report Prepared By: Rich Grunow  
Community Development Director

**Reviewed and Forwarded by:**



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Jamie Goldstein, City Manager

6/3/2016





## CAPITOLA CITY COUNCIL AGENDA REPORT

MEETING OF JUNE 9, 2016

FROM: Community Development

SUBJECT: Appeal of Community Development Department's Determinations Regarding 519 Oak Drive

**RECOMMENDED ACTION:** Uphold the Community Development Director's decision.

**BACKGROUND:** The Building Department issued building permits for a residential remodel project at 519 Oak Drive on November 5, 2015. The property is located in the R-1 (single-family residential) zoning district and is currently developed with an approximately 575 square-foot single-family residence. The existing residence is not identified on the City's Historic Resources List. The project consists of an interior remodel, installation of new siding, the addition of a window in an existing door opening, removal of a chimney, a new HVAC system, and new landscaping. An appeal was filed on May 6, 2016 (Attachment 1) which contends that staff erred in several determinations regarding the project.

**DISCUSSION:** The appellants claim staff improperly issued building permits for the residential remodel project and failed to pursue code enforcement in response to their public nuisance claim regarding shrubs planted by the property owners. The appellants request the City Council overturn staff's decisions, require the property owner to obtain a Design Permit, and order removal of the poisonous shrubs.

The appellants' appeal letter lists ten reasons they believe staff erred in their determinations. These reasons are outlined below with a staff response:

1. *In violation of Municipal Code Section 17.15.030, the City failed to require a design review and planning permits for changes to the Property, such as chimney removal visible from the street, door removal, new fencing across the front, window expansions, new windows, new patios, grade changes, impervious surface addition, intensification of use with ensuing parking problems, complete clearing of the land with all new plants which are subject to State requirements of water consumption cutbacks and drought-tolerance, etc.*

Staff Response: Capitola Municipal Code (CMC) Section 17.15.030 specifies that a Design Permit is required for the following improvements:

- A. All new single-family dwelling units, but not for secondary dwelling units;
- B. All improvements to existing single-family structures which are not exempt pursuant to subsection C of this section;

519 Oak Drive Appeal  
June 9, 2016

C. Exemptions from the requirement for a design permit include:

1. First floor additions up to four hundred square-feet at the rear of the property or structure, which is not visible to the general public, does not exceed fifteen feet in height (eight feet to the top of the plate), and which uses similar, compatible, or upgraded quality building materials;
2. A single accessory structure on the property of eighty square feet in size or less, and with no plumbing or electrical fixtures.

The project involves improvements to an existing single-family residence; therefore, Section A does not apply. The project also does not include an addition, and is therefore exempt from the requirement to obtain a design permit pursuant to 17.15.030 (C)(1) and 17.63.035(A).

The project also does not involve an intensification of use. The existing use is a single-family residence. The remodel project would not result in any additional floor area or a change to a more intensive use type which would trigger the need for additional parking.

Landscaping in Capitola is regulated by CMC Chapter 17.97, Water Efficient Landscaping. In accordance with §17.97.010, the City's landscaping regulations apply to all new construction and remodels for the following:

- A. Commercial development;
- B. Industrial development;
- C. Multi-family development, excluding mobile home parks;
- D. Planned development.

The project consists of improvements to an existing single-family residence on a developed property within the R-1 zoning district. Therefore, the project is not subject to the City's Water Efficient Landscaping regulations.

2. *In violation of Municipal Code Section 15.04, the City allowed demolition and construction to proceed at the Property without proper permits.*

Staff Response: The property owner for 519 Oak Drive submitted an application for building permits on October 20, 2015. The property owner provided all necessary documentation and fees required for a building permit and their plans were determined to be consistent with all applicable state and local building code requirements. All demolition and building activities have proceeded in accordance with appropriate permits.

3. *In interpreting Municipal Code Section 12.12.200 (Removal of Hazardous Trees, Code section 12.12.030), the City applied an incorrect definition of "tree."*

Staff Response: CMC 12.12.030 defines a tree as follows:

*For the purpose of this chapter, "tree" shall mean a usually tall woody plant, distinguished from a shrub by having, at maturity, comparatively greater height and characteristically, a single trunk rather than several stems, and a minimum six-inch diameter measured at forty-eight inches above existing grade or at average breast height (abh). Exception: Within the boundaries of a "biologist certified environmentally sensitive habitat area" identified pursuant to Chapter 17.95, all sizes of trees, even seedlings, are subject to this chapter and all degrees of trimming shall be defined as*

519 Oak Drive Appeal  
June 9, 2016

*“cutting” and shall require a permit. A healthy sensitive habitat has young and small, medium size, large and/or old samples of each species.*

The appellants requested the City require removal of shrubs, *Prunus caroliniana* (Carolina laurel cherry), planted by the property owner. The shrubs do not meet the City’s definition of a tree because they do not have a minimum six-inch diameter trunk at average breast height. Although *Prunus caroliniana* can mature to a height of 30+ feet, and presumably develop a trunk diameter which could meet the City’s definition, the shrubs are immature specimens which are approximately six-feet tall and whose trunk diameter is far less than six-inches in diameter. Accordingly, the *Prunus caroliniana* shrubs are not subject to the City’s Community Tree and Forest Management regulations.

4. *The City improperly allowed the planting of Prunus Caroliniana trees on the Property, which are extremely toxic and hazardous, in violation of City requirements set forth in Municipal Code section 12.12.040 & 12.12.200 regarding the planting and removal of hazardous trees that threaten other trees and/or threaten the community.*

Staff Response: CMC §12.12.200, removal by the City of hazardous trees on private property, establishes the criteria for when the City may declare a tree to be a public nuisance and therefore require its removal. §12.12.200(A) states:

*Declaration of Public Nuisance. Based on recommendations of the community development director or the public works director, the city council by resolution may declare tree (heritage and non-heritage tree) to be a public nuisance to be abated as set forth in this section if it is found that any tree growing on private property, when infested by any insect or infected by reason of such infestation or infection, endangers the life or growth or healthful existence of other trees within the city not so infested or infected, or any trees determined to be a danger to persons or property.*

As outlined in staff’s response to #3 above, the *Prunus caroliniana* shrubs are not subject to the City’s Community Tree and Forest Management ordinance because they do not meet the definition of a tree. Consequently, CMC §12.12.200 does not apply.

The City has also not historically considered the existence of poisonous plants or trees on private property to be an enforceable public nuisance. Although staff does not dispute that *Prunus caroliniana* is a poisonous shrub, it is one of dozens of poisonous plant species commonly found throughout Capitola and Santa Cruz County, including: oleander, daffodil, foxglove, morning glory, angel’s trumpet (nightshade), azalea (rhododendron), lantana, hydrangeas, iris, cayla lily, ficus, water hemlock, and poison oak. In addition, common edible fruit trees, such as apples, peaches, nectarines, and cherries produce poisonous seeds and pits.

*Prunus caroliniana* is also listed as an approved drought tolerant species by both the City of Capitola (*Planning Director’s Approved Planting List, October 1992*) and the Soquel Creek Water District “Water-Smart Gardening” webpage via a link to [www.santacruz.watersavingplants.com](http://www.santacruz.watersavingplants.com) website.

5. *The City improperly approved the planting of Prunus Caroliniana trees on the Property in conflict with City and State policies requiring or encouraging the planting of trees so as to preserve solar orientations, views, and exposure as per Code section 12.12.070.*

519 Oak Drive Appeal  
June 9, 2016

Staff Response: As previously indicated, the project is not subject to the City's Community Tree and Forest Management Ordinance (CMC Chapter 12), so CMC §12.12.070 does not apply.

6. *The City improperly allowed the planting of Prunus Caroliniana, Podocarpus Gracillior, and other trees on the Property in conflict with the City's sight distance traffic visibility requirements as per Code section 17.54.030.*

Staff response: CMC §17.54.030 states:

*The building inspector shall not grant a permit for the erection of any fence or structure in the nature of a fence which constitutes a fire hazard either of itself or in connection with the existing structures in the vicinity, nor which will interfere with the access in case of fire by the fire department to buildings in the vicinity or which will constitute a hazard to street traffic or to pedestrians, including the hazard resulting from motor vehicles crossing streets by private driveways.*

Shrubs and trees are not fences or structures, and therefore are not subject to CMC §17.54.030. The City does, however, maintain sight distance standards to ensure structures and vegetation do not obscure safe visibility for pedestrians, cyclists, and motorists. The property owner at 519 Oak Drive planted a small tree near the street which could have obscured visibility in violation of sight distance requirements. The property owners have since removed the tree.

7. *Failure to maintain residential area qualities of landscaping, parking, and character from Code section 17.15.020.*

Staff Response: CMC §17.15.020 is the purpose statement of the R-1 Zoning District. It states:

*The purpose of the R-1 district is to maintain an area which provides the traditional qualities of privacy, landscaping, parking, and character associated with single-family residential neighborhoods. Each of the neighborhoods in Capitola is unique in its physical design. Special consideration shall be given to development to insure that it is compatible in size, mass, setbacks, and open space, with existing residential designs in the area.*

The residential remodel project does not include any new structures or additional floor area which would trigger the need to obtain a design permit or any other discretionary permit from the City. The project will not intensify the existing single-family residential use and therefore does not require provision of additional parking.

8. *The City is improperly allowing an intensification of use of a substandard lot (the Property is a 33' x 70' lot), with a shared driveway without proper review, by allowing the owners of the Property to convert a garage to living space.*

Staff Response: The submitted building plans do not show a garage conversion to living space. The property has an existing, detached accessory structure which is approximately 240 square-feet. The City has not permitted this or any other accessory structure to be converted to living space. Staff inspected the accessory structure and confirmed that it has not been converted to living space and is not equipped with a kitchen or natural gas lines.

9. *Failure to require mandated replacement trees for a removal (Code section 12.12.190).*

519 Oak Drive Appeal  
June 9, 2016

Staff Response: Staff issued a permit on September 2, 2015, to remove a tree which was located in the back yard of 519 Oak Drive. The property owners were conditioned to plant two 15-gallon replacement trees and submitted a \$500 deposit as security to ensure installation of the replacement trees. The property owners fulfilled the requirement by planting a Japanese maple and an olive tree and their \$500 deposit has been refunded.

10. *Failure to require replacement of public sidewalk damaged during private construction as per Code section 12.24.090.*

Staff Response: Staff inspected the sidewalk following completion of the remodel project and found no evidence of damage caused by the property owners. The sidewalk along this section of Oak Drive is old, cracked, and shows significant signs of wear and tear, but there is no visible indication of recent damage.

FISCAL IMPACT: None.

ATTACHMENTS:

1. Appeal Letter
2. Community Development Department Determination Letter
3. Additional Appeal Information from Appellants

Report Prepared By: Rich Grunow  
Community Development Director

**Reviewed and Forwarded by:**



Jamie Goldstein, City Manager

6/3/2016

## NOTICE OF APPEAL

Appellants: Bruce Daniels & Barbara Graves  
 Phone: (831) 462-4803  
 Street Address: 521 Oak Drive, Capitola, CA 95010  
 Mailing Address: P.O. Box 1640, Capitola, CA 95010

MAY 06 2016  
 CITY OF CAPITOLA  
 CITY CLERK

**BY HAND-DELIVERY**

May 6, 2016

City Council of the City of Capitola  
 c/o Office of the City Clerk  
 420 Capitola Avenue  
 Capitola, CA 95010

Re: NOTICE OF APPEAL RE 519 OAK DRIVE

Pursuant to City of Capitola Municipal Code section 2.52, we are hereby appealing to the City Council several decisions and Municipal Code interpretations made by Community Development Director Rich Grunow in a letter he sent to us dated April 21, 2016, and in clarifying emails he sent on April 26 and May 3, 2016, concerning the City's approvals of development and construction activities, and the City's decisions not to pursue enforcement actions at 519 Oak Drive (the "Property"), as follows:

1. In violation of Municipal Code section 17.15.030, the City failed to require a design review and planning permits for changes to the Property, such as chimney removal visible from the street, door removal, new fencing across the front, window expansions, new windows, new patios, grade changes, impervious surface addition, intensification of use with ensuing parking problems, complete clearing of the land with all new plants which are subject to State requirements of water consumption cutbacks and drought-tolerance, etc.
2. In violation of Municipal Code section 15.04, the City allowed demolition and construction to proceed at the Property without proper permits.
3. In interpreting Municipal Code section 12.12.200 (Removal of Hazardous Trees, Code section 12.12.030), the City applied an incorrect definition of "tree."
4. The City improperly allowed the planting of Prunus Caroliniana trees on the Property, which are extremely toxic and hazardous, in violation of City requirements set forth in Municipal Code section 12.12.040 & 12.12.200 regarding the planting and removal of hazardous trees that threaten other trees and/or threaten the community.

Attachment: Appeal Letter (1458 : 519 Oak Drive Appeal)

5. The City improperly approved the planting of Prunus Caroliniana trees on the Property in conflict with City and State policies requiring or encouraging the planting of trees so as to preserve solar orientations, views, and exposure as per Code section 12.12.070.

6. The City improperly allowed the planting of Prunus Caroliniana, Podocarpus Gracillior, and other trees on the Property in conflict with the City's sight distance traffic visibility requirements as per Code section 17.54.030.

7. Failure to maintain residential area qualities of landscaping, parking, and character from Code section 17.15.020.

8. The City is improperly allowing an intensification of use of a substandard lot (the Property is a 33' x 70' lot), with a shared driveway without proper review, by allowing the owners of the Property to convert a garage to living space.

9. Failure to require mandated replacement trees for a removal (Code section 12.12.190).

10. Failure to require replacement of public sidewalk damaged during private construction as per Code section 12.24.090.

Finally, we request the City Council to declare the Prunus Caroliniana trees planted at the Property to be a public nuisance subject to abatement pursuant to Municipal Code sections 12.12.200 & 12.12.040.

Please let us know about required submissions and hearing dates.

Thank you,

Barbara Graves and Bruce Daniels

*Barbara Graves*  
*Bruce Daniels*

Attachment: Appeal Letter (1458 : 519 Oak Drive Appeal)



420 Capitola Avenue  
 Capitola, California 95010  
 Telephone: (831) 475-7300  
 FAX: (831) 479-8879  
 Website: [www.ci.capitola.ca.us](http://www.ci.capitola.ca.us)

April 21, 2016

Bruce Daniels and Barbara Graves  
 521 Oak Drive  
 Capitola, CA 95010

**Subject: Building and Landscaping at 519 Oak Drive**

Dear Mr. Daniels and Ms. Graves:

Thank you for sharing your concerns about ongoing building and landscaping work occurring at 519 Oak Drive. Staff has received your letter dated April 18, 2016 in which you request information on the process to appeal staff decisions to allow work on the subject property without discretionary permits. Staff has also received and reviewed additional information you provided through emails and meetings. As further described below, the work at 519 Oak Drive does not require any discretionary permits which require consideration by the Planning Commission or City Council.

Design Permit Applicability

In accordance with Municipal Code section 17.63.035(A), "*First-floor additions at the rear of a home which are not visible to the general public; do not exceed four hundred square feet; do not exceed fifteen feet in height (eight feet maximum plate height); and which utilize matching or compatible building materials*" are exempt from obtaining a Design Permit.

The work at 519 Oak consists of an interior remodel, installation of new siding, furnace, and hot water heater, the addition of a window in an existing door opening, removal of a chimney, and landscaping. The project does not include an addition over 400 square-feet or over 15-feet in height and therefore does not require a Design Permit.

You have also questioned whether removal of the chimney would trigger the need for a Design Permit. Removal of a chimney does not involve an addition to the structure and the home at 519 Oak Drive is not considered a historically significant structure; therefore, removal of the chimney also does not require a Design Permit.

Municipal Code section 17.63.090(C), considerations related to landscaping, applies to which require a Design Permit. Because the project does not require a Design Permit, this code section does not apply. Similarly, 17.60.090 (K), considerations related to encouraging utilization and protection of solar energy, also do not apply because the project does not require a Design Permit.

Landscaping

Landscaping on single-family residential lots is not regulated by the City of Capitola unless it occurs in conjunction with a Design Permit, Conditional Use Permit or other discretionary permit. The standards and regulations of the City's Water-Efficient Landscaping Ordinance (Municipal Code Chapter 17.97) applies only to commercial, industrial, multi-family, and planned developments.



Mr. Bruce Daniels and Ms. Barbara Graves  
 April 21, 2016

Accordingly, staff did not require permits for landscaping work on the single-family residential lot at 519 Oak Drive.

You have also asked whether Municipal Code section 12.12.020(A) would prohibit the planting of *Prunus Caroliniana* (Laurel Cherry), a poisonous plant. Municipal Code chapter 12.12, the City's Community Tree and Forest Management Ordinance applies to trees which are defined as: "*a usually tall woody plant, distinguished from a shrub by having, at maturity, comparatively greater height and characteristically, a single trunk rather than several stems, and a minimum six-inch diameter measured at forty-eight inches above existing grade or at average breast height (abh)*".

*Prunus Caroliniana* is a vascular plant which can grow as an ornamental shrub or a small flowering tree. In its current state, the specimen at 519 Oak does not meet the definition of a tree because it is not six inches or greater at forty-eight inches at breast height and therefore is not regulated by Municipal Code chapter 12.12. Moreover, staff interprets section 12.12.020(A) which states "...*maintain trees in a healthy and non-hazardous condition...*" to require property owners to care for trees so that dying and diseased trees or damaged limbs do not pose safety issues to people or neighboring properties. Staff does not interpret this section to prohibit the planting of poisonous plants.

#### Summary

Although staff understands your concerns with the introduction of a poisonous plant on your neighbor's property, the Municipal Code does not contain any provisions which enable staff to require its removal or a discretionary permit. Our best advice is to continue your efforts to resolve your differences directly with your neighbor, or through the assistance of a professional mediator. It is our sincere hope that you can reach a mutually agreeable solution.

#### Appeal Process

In accordance with Municipal Code section 2.52, you may appeal staff's determination to the City Council by submitting a written appeal with a non-refundable payment of \$142 no later than May 6, 2016 at 5:00 pm. If you have any questions or require additional information, please contact me at 831.475.7300 or by email at [rgrunow@ci.capitola.ca.us](mailto:rgrunow@ci.capitola.ca.us).

Respectfully,



Richard Grunow  
 Community Development Director

# Appeal of City Decisions and Actions

**Appellant:** Bruce Daniels & Barbara Graves  
**Mail Addr:** P.O. Box 1640, Capitola, CA 95010  
**Date:** June 1, 2016

This appeal is motivated by the March 30 planting in our community of three trees at 519 Oak Drive that are called *Carolina Cherry Laurel*, also known by the scientific name *Prunus Caroliniana*. Texas A&M University provides the following quick description of this tree:

*“Cherry Laurel is a large evergreen shrub or small tree with dark glossy green leaves. It grows in deep, moist but well-drained bottomlands in southeast Texas. It is a fast-growing small tree, to 35 to 40 feet, that casts dense shade.”*

Although tight groupings of this tree were commonly used as a giant hedge or wind screen on farms or even in back yards through the 1980s, more recent research at renowned agricultural universities such as UC Davis have advised against planting because of high levels of cyanide in all parts of the plant, rating it a Class 1 Toxin, a deadly poison if ingested by animals and humans. Children are especially at risk of death within an hour of ingestion.

*“The toxicity of this plant generally seems to be related to ingestion of seeds or leaves (there is an enzymatic reaction in mammalian guts that convert a somewhat toxic compound into a more toxic one).”* - Dr. Brad Hanson, UC Davis Dept. of Plant Sciences

*“The leaves and fruit have a high concentration of hydrocyanic acid and are potentially poisonous.”*  
 <[aggie-horticulture.tamu.edu/ornamentals/natives/PRUNUSCAROLINIANA.HTM](http://aggie-horticulture.tamu.edu/ornamentals/natives/PRUNUSCAROLINIANA.HTM)>

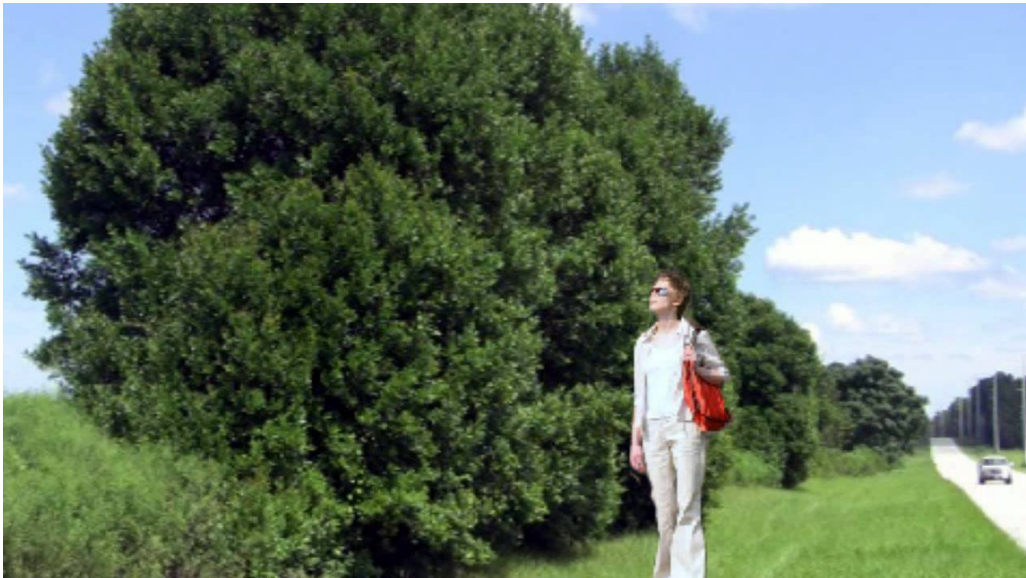
We contacted a California State Certified Arborist and also a local horticulturist to examine and assess these trees and to investigate if there are other plants that might serve as viable alternatives, but would NOT bring cyanide poison into our community or out-of-scale size to our joint fence line (the fence being under 4'h). These reports from these two experts were previously made available to our neighbors and are included as [Attachments #2 & #3].

These giant cyanide trees are known for litter and for invasive roots. Each tree has a common growth habit of 35'h x 15'w. They are planted in a front yard open to the public on one side in an area of only about 20' x 4' on a lot (33' x 70') that is substandard even for our densely populated neighborhood.

The trees are positioned just to the south side of our common fence and within less than 2 feet of our decades-old organic vegetable and fruit garden. Having already grown about 4" just since March 30, they will soon obscure the light and air required for our existing trees. The poisonous leaves and twigs are already blowing into our yard. These trees are just a few feet from our house impacting our property to a great degree, seriously infringing on our use

and enjoyment of our yard and our driveway, and potentially causing substantial damage to our yard, driveway, automobile and house.

On March 30 we immediately objected to these three “monster plants”. As the poisonous nature of the trees became clearer, we offered to pay for their replacement. Truly, we have tried everything from offering home-baked scones to professional mediation to motivate replacement of these monster plants with something more in keeping with the safety and scale of our neighborhood. We now have to appeal to our City Council to protect our community because all of those efforts have failed.



This photo shows the 3-year growth of *Prunus Caroliniana* to over 12'. As the density of the tree grouping thickens at 519 Oak Dr., we will be unable to even safely exit our driveway.

### **The Unique Nature of the 500 Block of Oak Drive**

Because parking is free and unregulated in the 600 block of Oak Drive, our 500 block has a high amount of tourist foot and skateboard traffic passing through on the way to the Village and beach. Because our west side of our block has a sidewalk while the east side does not, there is intense pedestrian sidewalk traffic and so we must maintain greater than usual caution in exiting our driveways across the sidewalk.

For this safety reason, we have objected to the planting of any giant dense plants such as the *Prunus Caroliniana* or the *Podocarpus Gracillior*. The *Podocarpus* was planted this spring but has been perhaps temporarily removed from bordering our driveway at the street in the narrow “boardwalk” between the street and the sidewalk along with two olive trees. *Podocarpus Gracillior* quickly reaches 35'w x more than four stories high. It does not lend itself to pruning.

### **This Appeal**

We recognize that Capitola is not appropriately staffed to police all planting that violates the Groundwater Emergency or other regulations designed to protect the safety and scale of the community. However, it's reasonable to request that these enforcements be complaint driven and interpretations be based on the specific situation, with the more extreme threats such as this case getting the more serious and protective handling.

In this case, an exterior and interior remodel so complete and visible to the general public that it has required about six months of nearly daily construction, even on weekends and evenings, should have triggered oversight. The construction has included a full denuding of all plants and trees and scraping of the soil from the front and back yards, replacing an environmentally sustainable home, yard and landscaping into a more water consumptive and less sustainable one.



Into the seemingly small multiple over-the-counter staff decisions that allowed this to happen, we bring our appeal to the Capitola City Council.

===== **APPEAL DETAILS** =====

Concerning the new development at 519 Oak Drive, we appeal the City decisions and actions (or failure to act) that have resulted in the following:

**A. Applying an incorrect definition of "tree" (Code section 12.12.030)**

The City has refused to control the presence of this poisonous tree in our community because staff states in their determination document dated April 21, 2016 [Attachment #4] that:

*You have also asked whether Municipal Code section 12.12.020(A) would prohibit the planting of Prunus Caroliniana (Laurel Cherry), a poisonous plant. Municipal Code chapter 12.12, the City's Community Tree and Forest Management Ordinance applies to trees which are defined as: "a usually tall woody plant, distinguished from a shrub by*

Attachment: Additional Appeal Information from Appellants (1458 : 519 Oak Drive Appeal)

*having, at maturity, comparatively greater height and characteristically, a single trunk rather than several stems, and a minimum six-inch diameter measured at forty-eight inches above existing grade or at average breast height (abh)".*

*Prunus Caroliniana is a vascular plant which can grow as an ornamental shrub or a small flowering tree. In its current state, the specimen at 519 Oak does not meet the definition of a tree because it is not six inches or greater at forty-eight inches at breast height and therefore is not regulated by Municipal Code chapter 12.12.*

Capitola Municipal Code Section 12.12.030 (y) provides,

*“Tree.” For the purpose of this chapter, “tree” shall mean a usually tall woody plant, distinguished from a shrub by having, **at maturity**, comparatively greater height and characteristically, a single trunk rather than several stems, and a minimum six-inch diameter measured at forty-eight inches above existing grade or at average breast height. (bolding added)*

Therefore, the “current state” of the trunk diameter of the specimen at 519 Oak is totally inconsequential. The criteria for a tree stated in the staff’s first paragraph is a direct quotation from section 12.12.040 and says it is based on plant conditions “**at maturity**”. No where in the Code is there any mention of a requirement for a tree diameter to be “**in its current state**”. The Code clearly defines a tree based on its diameter “**at maturity**”.

A document from Florida about this tree states that “*This hardy evergreen tree grows 20-40 ft (6-12 m) in height with a trunk up to 10 in. (25 cm) in diameter*” <[http://floridata.com/Plants/Rosaceae/Prunus caroliniana/89](http://floridata.com/Plants/Rosaceae/Prunus_caroliniana/89)>. Therefore, a ten inch diameter of this tree certainly exceeds the code requirement of trunk diameter of six inches at maturity. Since the Prunus Caroliniana plant definitely qualifies under the Capitola Code as a tree, it can and should be regulated as such.

### ***B. Failure to apply requirements on planting and removal of hazardous or dangerous trees (Code section 12.12.020, 12.12.200, 12.12.250)***

The stated goal and policy of the Capitola Code Chapter 12.12 on Community Tree And Forest Management is to “*maintain trees in a healthy and non-hazardous condition*”. Staff interprets this non-hazardous goal to only mean that the City would:

*“require property owners to care for trees so that dying and diseased trees or damaged limbs do not pose safety issues to people or neighboring properties”.*

But in the Capitola Code, nowhere is the term *non-hazardous* actually defined. The opposite term *hazardous* is not defined either. Therefore, there is no legal basis or support for the staff’s narrow and peculiar interpretation. When a term is not defined, the standard practice is just to employ common usage. The Webster definition for hazardous is “*involving or exposing one to risk (as of loss or harm)*”.

Certainly our community would consider risky, dangerous, harmful, and hazardous any tree described as:

*“contain high amounts of cyanogenic glycosides that break down into hydrogen cyanide when damaged, making it a potential toxic hazard to grazing livestock and children”*  
<[https://en.wikipedia.org/wiki/Prunus\\_caroliniana](https://en.wikipedia.org/wiki/Prunus_caroliniana)>

*“highly toxic and possibly fatal if ingested”*  
[North Carolina State University Department of Horticultural Science]

*“Symptoms of poisoning may occur within 15 minutes after ingestion, and some animals can die within an hour of consuming large amounts of it”*  
[Agricultural Extension Service of the University of Tennessee]

Let’s be clear. This is not one of those plants that someone might call poisonous because it could give a belly ache or a rash. This Prunus Caroliniana tree is highly, highly poisonous with cyanide to the point of even causing death. It does not belong in our community.

If staff would simply use the same definition of non-hazardous that all the rest of us use, then the Capitola Code would directly apply to these trees and this obvious community danger could be rendered harmless and the potential to cause substantial damage to our yard, driveway, automobile and house would be abated.

This single Code section alone gives the Council all the power and the duty it needs to have these obviously hazardous trees removed.

### ***C. Failure to apply requirements on planting and removal of trees that threaten other trees (Code section 12.12.040)***

Code section 12.12.040 states that the Public Works Director has the duty to *“Order the alteration or removal of hazardous trees when they are found to pose a threat to other trees”*. Our food garden has been around for many years and occupies a small space of just 3 feet by 17 feet in our front yard. It includes a well loved espalier apple tree. The apple tree is located right along the property boundary and now along the other side are these three new 6 foot Prunus Caroliniana trees recently planted within 21 inches of our existing apple tree.

The Prunus Caroliniana trees are described to be not just ordinary trees, but instead ones that *“will create a dense screen or hedge”*. So imagine these three closely spaced trees grown to their full height of 40 foot tall and a width of 15 to 30 feet. This would create a dense, solid wall of vegetation as tall as a four floor building immediately south of and along our apple tree, and will completely envelop our garden with its foliage. The huge hedge will completely blocked all sunlight from reaching our property which will certainly be more than enough to kill our apple tree.

Prunus Caroliniana trees are described as extremely invasive, for example:

*“My father planted one of these trees many years ago. Now, they are all over the yard and neighborhood. They are impossible to kill. I have tried every kind of weed killer and stump killer I can find. Roots go everywhere and new trees grow from these roots. Everyplace a berry drops a new tree grows. I could go in my back yard right now and pull up about a hundred seedlings in about 20 minutes. Mowing over them doesn't stop them. I can't*

*imagine why anyone would want this tree in their yard. It is nothing more than a giant weed!*"[mamccleskey from Arlington, TX <<http://davesgarden.com/guides/pf/go/57865/>>]

So its ability invade with its roots under the property line and with its berries over the property line represent another attack route for this nuisance tree to threaten and kill our nearby apple tree.

Prunus Caroliniana is also described as growing incredibly fast - 3 to 5 feet a year as illustrated in the photo on page 2. So in only three years these trees could be already established as a 20 feet, two story tall solid wall of poisonous, sun blocking, and invasive plants.

This single Code section alone gives the Council all the power and the duty it needs to have these obviously threatening trees removed.

***D. Failure to apply requirements on planting and removal of trees so as to protect the community, persons, or property (Code section 12.12.040, 12.12.200)***

Of course, it is not just the neighboring trees which are threatened. The food garden on our property is also under threat. Certainly the same threats to the existence of our apple tree by the Prunus Caroliniana hedge stealing away all the sunlight, attacking with invasive roots, and sprouting up of poisonous berries also threaten the existence of all our garden plants.

The cyanide poisons produced by the Prunus Caroliniana trees even threaten those people such as ourselves who eat any of its vegetables. Just these sort of threats of Prunus Caroliniana on a garden and the safety of its plants has even been discussed by experts at the Lady Bird Johnson Wildflower Center at the University of Texas in an article entitled 'Are Carolina Cherry Laurel seeds poisonous from Asheville NC' <<http://www.wildflower.org/expert/show.php?id=8602>>.

Code section 12.12.200 states

*A. Declaration of Public Nuisance. Based on recommendations of the community development director or the public works director, the city council by resolution may declare tree (heritage and non-heritage tree) to be a public nuisance to be abated as set forth in this section if it is found that any tree growing on private property, when infested by any insect or infected by reason of such infestation or infection, endangers the life or growth or healthful existence of other trees within the city not so infested or infected, **or any trees determined to be a danger to persons or property.***

Having read down this far, it is certain that these poisonous trees are obvious dangerous to people and their property such as pets and gardens. Therefore the last phrase marked in bold in that Code section "or any trees determined to be a danger to persons or property" is clearly applicable and should be employed to abate and remove this community danger.

This single Code section alone gives the Council all the power and the duty it needs to have these obviously nuisance trees removed.

***E. Failure to apply policies on planting trees so as to preserve solar orientations, views, and exposure (Code section 12.12.070)***

Code section 12.12.070 states that the “*planting, and replacement of trees shall take into consideration solar orientation for the benefit of the property in question as well as adjacent properties*”. Clearly a forty foot solid hedge wall would completely destroy and deprive us of our rights to solar orientations, views, and exposure from anywhere in our front yard. At forty foot high, this hedge would even tower over the roof of our two story house. Therefore, even the views, sun light, and exposure from the second story windows would be cancelled. Even the views and sun experienced from any neighborhood single story homes and by the pedestrians would be even more impacted. Certainly this threat impacts our property to a great degree, seriously infringing on our use and enjoyment of our yard and our driveway.

This single Code section alone gives the Council all the power and the duty it needs to have these obviously light stealing trees removed.

***F. Failure to apply public nuisance abatement to poisonous plants (Code section 12.12.040)***

Under Code 12.12.040 of the Community Tree and Forest Management chapter, the Public Works Director is duty bound to “*abate public nuisances*”. Capitola Code 4.01 defines a public nuisance as property that “*jeopardizes or endangers the health, safety, or welfare of persons on the premises or in the surrounding area*”. That definition clearly applies to these extremely poisonous cyanide trees. It is a threat to the community even if it stayed completely within its property lines. Three of these trees have been planted in the front, openly accessible yard of 519 Oak where children and pets can just innocently trot over and take a nibble or carry it away for future play.

But even if these trees were securely fenced in, then whenever we get wind storms or even just a windy day, as often happens here, the poisonous leaves and stems would blow all over our neighborhood. When this poisonous litter is blown all over the community, it loses its identity. This means that the community must become fearful of any and all leaves or twigs or seeds no matter where in the neighborhood they might be found.

The amount of litter and the area covered by such poison distribution around the community will only increase as these three fast growing (3-4 feet per year) trees tower up to their full mature height of 40 feet, i.e. 4 stories high. In just a few weeks since planting these three trees have already accumulated at their base quite a pile of such leaf litter.

This single Code section alone gives the Council all the power and the duty it needs to have these obviously nuisance trees removed.

***G. Applying improper and therefore dangerous Sight Distance traffic visibility requirements (Code section 17.54.030)***

Code section 17.54.030 states



*The building inspector shall not grant a permit for the erection of any fence or structure in the nature of a fence [...] which will constitute a hazard to street traffic or to pedestrians*

The Public Works Director already applies this same concept to trees which have the potential to block safe views from vehicles. The diagram labeled “Intersection Site Distance” in [Attachment #5] illustrates the rule used for this view analysis. There you can see a vehicle symbol drawn on driveway with a hatched triangle that is supposed to be the safe view needed. This 15 foot triangle is resting on straight line which curves around the structure and is labelled with “PROPERTY LINE. TYPICAL”.

Unfortunately, the City has chosen to place its view safety triangle, not at the property line as shown, but rather way out at the curb/street position. This street view position might be sufficient to be able to see and to protect a car backing out of the driveway from a collision with street traffic. However, the site occupied by the poisonous trees has another critically important feature. Unlike the diagram this property has a sidewalk located just at the property line. This sidewalk location is particularly challenging. The other side of the street has no sidewalk, so everyone walks on just this sidewalk. This block of Oak Drive is marked No Parking for all the tourists while the next block offers free parking available to them. So in good weather and particularly in summer, there are literally hordes of people who park there for free and walk up and down this sidewalk towards the beach. So there is great opportunity for danger with all this pedestrian traffic and the intersecting driveways.

By placing the safe view triangle way out at the street, the City must be aware that it accepts that a car backing out would be well into the sidewalk before ever having any view whatsoever of anyone on the sidewalk. Add to that the City’s approval of a totally dense and solid hedge tree right along the property line and out to its front property line and the sidewalk, and this hazard acceptance becomes almost a guarantee. A kid on a skateboard, a senior with a walker, a mother with a baby carriage would all be dead before the driver even has an opportunity to see them because of these view blocking trees. Even if the City is comfortable with accepting the total risk for such a tragedy, this is totally unacceptable protection of the community.

Placing the safe view protection at the property line where it responsibly belongs would totally reduce the extent, size, and the number of these poisonous plants.

This single Code section alone gives the Council all the power and the duty it needs to have these obviously hazardous trees removed.

---

**At this point in this document, six Code sections have been presented, any one of which would be sufficient to justify and enable the removal of the threat from these Prunus Caroliniana trees (or any other similarly threatening dangerous trees). These trees are just a few feet from our house impacting our property to a great degree, seriously infringing on our use and enjoyment of our yard and our driveway, and potentially causing substantial damage to our yard, driveway, automobile and house. The purpose of this appeal is simply to protect us and the community from just this threat.**

**If the Council Members feel they need some additional justification and legal Code mechanisms in order to act to protect the community, then there are additional problems with this property detailed below which could be applied if desired.**

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***H. Failure to maintain residential area qualities of landscaping, parking, and character (Code section 17.15.020)***

Code section 17.15.020 starts with

*“The purpose of the R-1 district is to maintain an area which provides the traditional qualities of privacy, landscaping, parking, and character associated with single-family residential neighborhoods.”*

Clearly allowing a cyanide poisonous dense hedge that grows to 40 feet high as a solid wall starting at from the residence structure all along its property line and then all the way out to the sidewalk is not any community’s image of *“traditional qualities of privacy, landscaping, parking, and character associated with single-family residential neighborhoods”*. It is instead an an image of something dark, sinister, and not neighborly. By allowing this planting to occur, the City would immediately be setting a precedent to allow actions to occur that would be violating and failing the purpose of the R-1 residential district.

***I. Failure to require mandated design permit for changes such as chimney removal, door removal, window expansions, new windows, new patios, grade changes, etc. (Code section 17.15.030)***

Code 17.15.030 states that

*“A design permit shall be required for the following improvements:*

***B. All improvements to existing single-family structures which are not exempt pursuant to subsection C of this section;***

*C. Exemptions from the requirement for a design permit include:*

***1. First floor additions of up to four hundred square feet at the rear of the property or structure, which is not visible to the general public, does not exceed fifteen feet in height (eight feet to the top of the plate), and which uses similar, compatible or upgraded quality building materials;”***

Clearly the improvements made to 519 Oak Drive were definitely not just “*at the rear of the property or structure*” A chimney at the side of the house was removed and a window was installed in its place. A door from the opposite side was removed with a window replacement. Front windows were removed and new, much larger models installed. The front yard was graded, the grade changed, a new patio installed, all plants removed and new replacements made. All these changes are definitely “*visible to the general public*” and therefore the single C.1. exemption from the requirement for a design review is not applicable. Thus a design review is clearly required but this was ignored.

Part of the design review process is the mandated preparation of a planting plan and its review and approval. Even this one part of a design review would be sufficient to have resolved this problem in the planning stage. The poisonous threat of the proposed trees and their hazard to the community would have been identified and other safer plants would have been substituted.

***J. Allowing an intensification of use of a substandard property (33’ x 70’ lot) with a shared driveway without proper review, by converting a garage to living space.***

This property includes the conversion without any permits or design review of the garage building on the property into living space. This conversion silently and secretly changes property that was recently listed and sold as a 1 bed, 1 bath, 572 sq.ft. house to suddenly become a 2 bedroom and much larger home with its associated increased demand for parking.

This property has just a single driveway which is less than six feet in paved width! The minimum requirements for the driveway for this property with its garage in the rear are from Code section 17.15.140 (F) that:

*“However, a driveway width of eleven feet may be permitted by the planning commission for additions and remodels, where the paved driveway is nine feet with two feet of landscaping in the front setback.”*

Clearly the driveway for this property is well below that minimum legal driveway width. In fact, it can only be functional at all since it is constructed to work as single shared driveway with their neighbors. Since this property has been undergoing extensive, City permitted remodel construction for almost the

last year, this work clearly should have been mandated to first meet all the requirements in that Code section above for “**remodels**”. The City failed to do that.

The Code section 17.15.130 on Parking also states that:

*“A. The minimum parking requirement for a single-family residence of one thousand five hundred square feet or less of floor area shall be two parking spaces, neither of which must be covered.”*

*“F. Parking spaces required by this section may not be located in any public or private right-of-way.”*

With only a single sub-standard, non-functional driveway available for parking, this property provides essentially zero available parking. In any case, this property definitely does not support even the minimum requirement of two on site parking spaces which is again another violation.

The previous single person owner of the 519 Oak property always parked her car semi-permanently on the street out front of the residence. By doing this, she thus allowed the next door neighbors to park one of their two cars in that shared driveway and their other vehicle on the street. So a total of two cars needed to have street parking out front.

The new owners are a four person family and own at least two vehicles and often bring and attempt to park both vehicles here. Their vehicles are quite large and can only fit in the shared driveway if their next door neighbors agree to not park there. So now there are often three cars needing street parking, which is more than the two spaces out front of their two homes. As their two sons soon reach driving age, there will be need for even more street parking spaces and even more competition with other neighbors up and down the street. So the parking deficiencies and violations listed above will only get more serious with time.

#### ***K. Allowing building work to proceed without proper permits (Code section 15.04)***

The building department allowed the house’s chimney to be removed without any new permit issued for this action. They decided, long after the chimney’s actual removal, to just think about this action as something covered under another permit. But this other permit was never modified to even mention that additional coverage.

The public has a right to appeal permits, but only for a few days after their approval. These building changes were approved only in the minds of staff and not by issuing brand new permits, or reissuing current permits or even updating the descriptions of such new coverage in any existing permits. Thereby, the public has been deprived of their rights to be informed of neighborhood building plans and exercising their rights to appeal. This is wrong.

#### ***L. Failure to require mandated replacement trees (Code section 12.12.190)***

If the Council wishes to affirm the staff extreme position in claiming that a plant can only be a tree if it is **currently** at least six inches in diameter, then this would mean that few, if any, residents have ever

installed an actual tree. They would instead have only installed a plant since it was **at the time** certainly less than six inches in diameter.

In particular, this would mean that the 519 Oak permit to allow removal of an old tree and then replace it with at least two new trees was never satisfied. None of the plants currently installed on that property are anywhere near six inches in diameter.

*“12.12.190 A. Tree Replacement Ratio. An approval for tree removal under this chapter shall be conditioned upon the applicant planting, at some other location on the subject property, replacement trees to compensate for the removed tree(s) on a ratio of at least two trees or more for each one tree removed, as determined by the director.”*

***M. Failure to require replacement of public sidewalk damaged during private construction as per Code section 12.24.090.***

The public sidewalk was damaged by construction vehicles and earth moving equipment moved onto the property during construction and has not been replaced as required.

## Attachment #1

**SFGATE**

# Is the Carolina Cherry Laurel Harmful to Dogs?

by Susan Paretts, Demand Media 

Carolina cherry laurel (*Prunus caroliniana*) is a broadleaf evergreen that you can grow either as a flowering tree or ornamental shrub. It thrives in U.S. Department of Agriculture plant hardiness zones 7 through 10. With its showy flowers, Carolina cherry laurel is an attractive addition to your garden, but it is highly poisonous to both people and pets, including dogs, if ingested.

### Carolina Cherry Laurel

You can grow the Carolina cherry laurel, also referred to as cherry laurel, as a hedge, screen, tree or shrub in your garden. It produces small, white fragrant flowers in stalked bunches up to 3 inches long. Flowers bloom from late winter to early spring. After flowering, the plant produces reddish-purple, berry-like fruit that ripens to black. The fruit attracts birds, which can eat the berries with no toxic effects. Typically, the cherry laurel grows to around 20 feet in height and 15 feet in width, although some reach as high as 40 feet tall when grown as trees, according to the Missouri Botanical Garden. Carolina cherry laurel grows best in moist, well-drained soil in full sun to partial shade.

### Toxicity

According to the North Carolina State University Department of Horticultural Science, the Carolina cherry laurel is highly toxic and possibly fatal if ingested. The wilted leaves, twigs and stems all contain hydrocyanic acid, a type of toxic cyanide, in the form of cyanogenic glycosides and amygdalin. Because of its high levels of cyanide, the University of California, Davis classifies the Carolina cherry laurel as majorly toxic to people and pets, its most serious rating for a poisonous plant. The plant tastes bitter, but if your dog ingests large amounts, it can cause diarrhea, vomiting, trouble breathing, decreased heart rate, seizures, coma and even death, warns the American Society for the Prevention of Cruelty to Animals.

### Treatment

If you believe that your dog has ingested any of a Carolina cherry laurel plant, especially the leaves, get it to the vet immediately. Symptoms of poisoning may occur within 15 minutes after ingestion, and some animals can die within an hour of consuming large amounts of it, warns the Agricultural Extension Service of the University of Tennessee. Your vet must give treatment for cherry laurel poisoning promptly, usually in the form of sodium nitrite and sodium thiosulfate, given to your pup as an intravenous injection, according to the Merck Manual for Pet Health. These chemicals help to counteract the cyanide in your dog's body. Your dog may also receive supplemental oxygen to help with difficulty breathing due to cyanide poisoning.

## Considerations

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Avoid planting the Carolina cherry laurel if you have a dog because of its high toxicity; it's also toxic to livestock. Some other types of laurels and members of the *Prunus* genus are also toxic to your dog, so you should stay away from those as well, according to the University of California, Davis. These include the English laurel (*Prunus laurocerasus*), which grows in USDA zones 6 through 9, and the mountain laurel (*Kalmia latifolia*), which grows in USDA zones 4 through 9. Both of these plants look similar to the Carolina cherry laurel, although only the English laurel is in the same family (Rosaceae); mountain laurel is in the Ericaceae family.

**Maureen Hamb-WCISA Certified Arborist WE2280**  
**Professional Consulting Services**

## **Attachment #2**

April 25, 2016

**Barbara Graves and Bruce Daniels**

521 Oak Drive  
 Capitola, CA 95010

As you requested I have completed an inspection of recently planted trees growing along the adjacent property boundary with 519 Oak Drive. The inspection was completed entirely from your property at 521 Oak Drive.

The species can be confirmed as *Prunus caroliniana*, a plant that is native to Southeastern United States, North Carolina south to Florida and west to mid Texas. It is a fast growing species that can reach up to 40 feet in height and 30 feet in width. Sunset Western Garden book discourages planting this species within small spaces or near pavement due to the abundant leaf and fruit litter.

The leaves, twigs, stems and seeds contain high levels of cyanide and have been classified with the highest toxicity rating by the University of California. Ingestion of the leaves, fruit, stems or seeds can be fatal.

The growth characteristics and eventual size of this species, the production of abundant leaf and fruit litter and the high level of toxicity indicate that it is inappropriate for this residential site.

If these trees remain, as neighbors you will be confronted with an abundance of toxic litter falling into your landscape. In addition, as the trees gain height and width the environment that currently exists (sun and air flow) will be dramatically reduced.

The food-producing garden that you have established on your side of the fence will likely suffer from the modified environment. The leaf and fruit litter from the *Prunus* as previously stated is poisonous and profuse. It will be falling into your garden continuously and into food that you want to include in your meals. In addition, the shade and lack of airflow that currently supports the garden will be greatly reduced and plant growth will be affected.

**849 Almar Ave. Suite C #319**  
**Santa Cruz, CA 95060**  
**email: maureenah@sbcglobal.net**

**Telephone: 831-763-6919**  
**Fax: 831-763-7724**  
**Mobile: 831-234-7735**



Attachment: Additional Appeal Information from Appellants (1458 : 519 Oak Drive Appeal)



### **Replacement Species**

Based on the species that the neighboring property owner selected it can be assumed that screening between the two sites is desired. There are many alternate species that are appropriate for the area that can meet the desires of both property owners.

The following is a list of evergreen species that are drought tolerant, low maintenance and have qualities that can provide screening. The number of plants should be reduced due to the limited planting area. Roots require space to develop and support the plants.

*Myrica californica* (Pacific Wax Myrtle): Native California evergreen shrub or small tree. Drought tolerant, low maintenance. Can be pruned to create a loose canopy that allows for air and light penetration.

*Fremontodendron californicum* (Flannelbush): Native California evergreen large shrub with a loose and open branch habit. Produced abundant yellow flowers. Will allow for sunlight and air penetration and screening qualities.

*Rhamnus californica* (Coffeeberry): Native California evergreen large shrub, loose growth habit that will provide screening and allow for light and airflow.

These species meet the desire for screening and will perform well in a small residential landscape. Overplanting should be avoided to allow for an optimum growing site.

Please call my office with any questions regarding the recommendations made in this memo.

Respectfully submitted,

Maureen Hamb-Certified Arborist WE2280

## Attachment #3

On April 9, 2016 I went out to Bruce Daniels and Barbara Graves home to positively identify the shrubs/trees that their next door neighbor had planted. I confirmed that they were *Prunus caroliniana* (Carolina Cherry), a fast growing, poisonous, weedy tree. I was asked to provide some alternate options that would give both homeowners a better solution to both their needs.

The Carolina Cherries are the wrong plant for this yard for a variety of reasons.

- \*The University of California lists it as having major toxicity if any part is ingested. Some arborists will not put prunings in a chipper, as some people become sick from the smell.
- \*Line of sight will be greatly diminished, and possibly unsafe, when exiting the Daniels/Graves driveway.
- \*They will quickly start needing massive maintenance to keep them under control.
- \*The sheer size (20-40') is grossly inappropriate for a small lot., and it is a very fast growing plant, often in excess of 3'/year.
- \*The shade produced will alter the environment for the neighboring lots.
- \*The seeds germinate quite readily and are a nuisance.
- \*The roots will also send up sprouts away from the main plant. It is aggressively invasive.
- \*Both the fruit and flowers cause litter, with the fruit also staining pavement, clothing, etc.
- \*Prefers regular watering, in a time of water conservation.

As possible alternatives, I chose narrow- growing, drought tolerant cultivars that will not need a lot of maintenance to keep them within bounds. I also like the smaller leaf on these varieties as it gives the illusion of being farther away, which feels less confining. I believe that these plants will be an acceptable compromise for both parties.

*Sherry Austin*  
 Horticultural Consultant  
 Landscape Designer  
 Master Nurseryman

**Ilex crenata 'Sky Pencil'**

Evergreen upright shrub with low-medium water needs. Grows up to 8' x 2-3". Planted staggered as shown, is more interesting and gives screening and privacy without the mass that planting side by side creates.



**Euonymus 'Green Spire'**

Well-behaved plant for dense, narrow hedges or screens. Makes a great clipped hedge requiring minimal care for a formal appearance. Naturally narrow habit of growth adapts to small spaces. Grows 6-8' x 1-3'. Does best with moderate water, but drought tolerant when established. Grows quickly.

University of California lists this as minor toxicity if ingested.



EUONYMUS JAPONICA 'GREEN SPIRE'

Attachment: Additional Appeal Information from Appellants (1458 : 519 Oak Drive Appeal)

**Buxus sempervirens 'Graham Blandy'**

A strongly upright, columnar shaped boxwood that maintains it's beautiful shape without pruning. 8' x 2'

University of California lists this as minor toxicity, with possibility of dermatitis.



**Buxus sempervirens - Graham Blandy 6'-7'**



Attachment: Additional Appeal Information from Appellants (1458 : 519 Oak Drive Appeal)

**Myrsine Africana**

This is a tough slow growing evergreen shrub that forms a dense upright shrub from 4 to 7 feet tall and 4-5 feet wide, with upright stems bearing tightly overlapping small dark green rounded leaves. It is drought tolerant and hardy to about 20 degrees F. A very nice plant for small hedges.





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April 21, 2016

Bruce Daniels and Barbara Graves  
 521 Oak Drive  
 Capitola, CA 95010

**Subject: Building and Landscaping at 519 Oak Drive**

Dear Mr. Daniels and Ms. Graves:

Thank you for sharing your concerns about ongoing building and landscaping work occurring at 519 Oak Drive. Staff has received your letter dated April 18, 2016 in which you request information on the process to appeal staff decisions to allow work on the subject property without discretionary permits. Staff has also received and reviewed additional information you provided through emails and meetings. As further described below, the work at 519 Oak Drive does not require any discretionary permits which require consideration by the Planning Commission or City Council.

Design Permit Applicability

In accordance with Municipal Code section 17.63.035(A), "*First-floor additions at the rear of a home which are not visible to the general public; do not exceed four hundred square feet; do not exceed fifteen feet in height (eight feet maximum plate height); and which utilize matching or compatible building materials*" are exempt from obtaining a Design Permit.

The work at 519 Oak consists of an interior remodel, installation of new siding, furnace, and hot water heater, the addition of a window in an existing door opening, removal of a chimney, and landscaping. The project does not include an addition over 400 square-feet or over 15-feet in height and therefore does not require a Design Permit.

You have also questioned whether removal of the chimney would trigger the need for a Design Permit. Removal of a chimney does not involve an addition to the structure and the home at 519 Oak Drive is not considered a historically significant structure; therefore, removal of the chimney also does not require a Design Permit.

Municipal Code section 17.63.090(C), considerations related to landscaping, applies to which require a Design Permit. Because the project does not require a Design Permit, this code section does not apply. Similarly, 17.60.090 (K), considerations related to encouraging utilization and protection of solar energy, also do not apply because the project does not require a Design Permit.

Landscaping

Landscaping on single-family residential lots is not regulated by the City of Capitola unless it occurs in conjunction with a Design Permit, Conditional Use Permit or other discretionary permit. The standards and regulations of the City's Water-Efficient Landscaping Ordinance (Municipal Code Chapter 17.97) applies only to commercial, industrial, multi-family, and planned developments.



Mr. Bruce Daniels and Ms. Barbara Graves  
 April 21, 2016

Accordingly, staff did not require permits for landscaping work on the single-family residential lot at 519 Oak Drive.

You have also asked whether Municipal Code section 12.12.020(A) would prohibit the planting of *Prunus Caroliniana* (Laurel Cherry), a poisonous plant. Municipal Code chapter 12.12, the City's Community Tree and Forest Management Ordinance applies to trees which are defined as: "*a usually tall woody plant, distinguished from a shrub by having, at maturity, comparatively greater height and characteristically, a single trunk rather than several stems, and a minimum six-inch diameter measured at forty-eight inches above existing grade or at average breast height (abh)*".

*Prunus Caroliniana* is a vascular plant which can grow as an ornamental shrub or a small flowering tree. In its current state, the specimen at 519 Oak does not meet the definition of a tree because it is not six inches or greater at forty-eight inches at breast height and therefore is not regulated by Municipal Code chapter 12.12. Moreover, staff interprets section 12.12.020(A) which states "...*maintain trees in a healthy and non-hazardous condition...*" to require property owners to care for trees so that dying and diseased trees or damaged limbs do not pose safety issues to people or neighboring properties. Staff does not interpret this section to prohibit the planting of poisonous plants.

#### Summary

Although staff understands your concerns with the introduction of a poisonous plant on your neighbor's property, the Municipal Code does not contain any provisions which enable staff to require its removal or a discretionary permit. Our best advice is to continue your efforts to resolve your differences directly with your neighbor, or through the assistance of a professional mediator. It is our sincere hope that you can reach a mutually agreeable solution.

#### Appeal Process

In accordance with Municipal Code section 2.52, you may appeal staff's determination to the City Council by submitting a written appeal with a non-refundable payment of \$142 no later than May 6, 2016 at 5:00 pm. If you have any questions or require additional information, please contact me at 831.475.7300 or by email at [rgrunow@ci.capitola.ca.us](mailto:rgrunow@ci.capitola.ca.us).

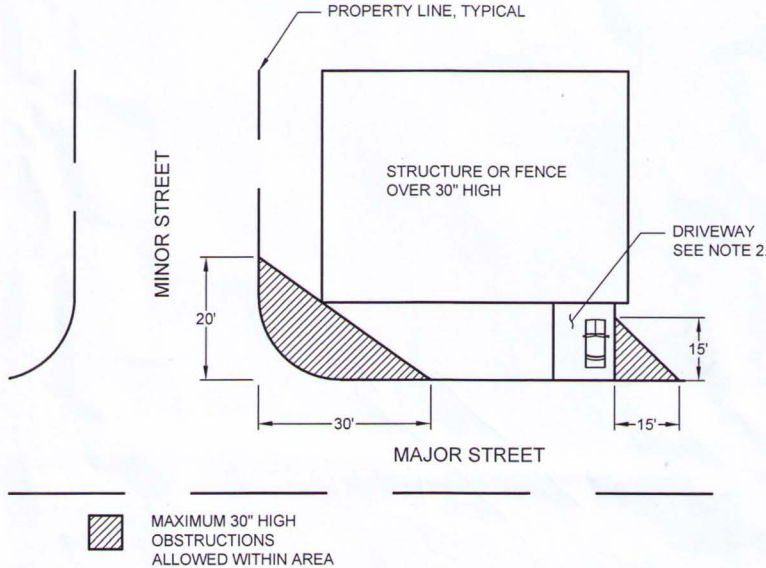
Respectfully,




Richard Grunow  
 Community Development Director

Attachment: Additional Appeal Information from Appellants (1458 : 519 Oak Drive Appeal)

# Attachment #5



- NOTES:
1. MAJOR STREET ADT > 2000; MINOR STREET ADT < 2000.
  2. DRIVEWAY SHALL BE LOCATED AS FAR AS PRACTICAL FROM INTERSECTION.
  3. SITE DISTANCE TRIANGLE TYPICAL EACH SIDE OF DRIVEWAY.
  4. ALTERNATIVE ANALYSIS ALLOWED PER TOPIC 405 CALTRANS HIGHWAY DESIGN MANUAL 4TH EDITION.

NOT TO SCALE		STANDARD DRAWINGS FOR <b>INTERSECTION SITE DISTANCE</b>		DRAWN: 1/15	REV:
DRAWN BY: B&W				DRAWING No. CAP - 010	
CHECKED BY: JFR		STEVEN JESBERG, PUBLIC WORKS DIRECTOR			

Attachment: Additional Appeal Information from Appellants (1458 : 519 Oak Drive Appeal)

**Our niece shows off the organic vegetable she produced at our house in the narrow French intensive strip between our driveway and the fence boundary with our neighbors. You see 519 Oak Dr. in the background, and you can see the larger drought-tolerant 3 trees and large rose shrubs that used to exist at 519 before the current owners denuded the front and back yards of all plants. The previous trees, unlike the new ones, were spaced so we had light, air and sight lines.**

**This photo was taken from 521 Oak Drive looking south across our espaliered apple tree toward 519 Oak Dr. Our niece is holding a graywater hose and an organic vegetable. This is the way that we have encouraged all our young family members to enjoy caring for conservation.**

