



AGENDA

CAPITOLA PLANNING COMMISSION

Thursday, July 15, 2021 – 7:00 PM

Chairperson Mick Routh
Commissioners Courtney Christiansen
 Ed Newman
 Susan Westman
 Peter Wilk

NOTICE OF REMOTE ACCESS ONLY:

In accordance with the current Order from Santa Cruz County Health Services and Executive Order regarding social distancing, the Planning Commission meeting will not be physically open to the public and in person attendance cannot be accommodated.

To watch:

1. Online <http://capitolaca.igmp2.com/Citizens/Default.aspx>
2. Spectrum Cable Television channel 8
3. Zoom Meeting (link and phone numbers below)

To participate remotely and make public comment:

1. Send email:
 - a. As always, send additional materials to the Planning Commission via planningcommission@ci.capitola.ca.us by 5 p.m. the Wednesday before the meeting and they will be distributed to agenda recipients.
 - b. During the meeting, send comments via email to publiccomment@ci.capitola.ca.us
 - Identify the item you wish to comment on in your email's subject line. Emailed comments will be accepted during the Public Comments meeting item and for General Government / Public Hearing items.
 - Emailed comments on each General Government/ Public Hearing item will be accepted after the start of the meeting until the Chairman announces that public comment for that item is closed.
 - Emailed comments should be a maximum of 450 words, which corresponds to approximately 3 minutes of speaking time.
 - Each emailed comment will be read aloud for up to three minutes and/or displayed on a screen.
 - Emails received by publiccomment@ci.capitola.ca.us outside of the comment period outlined above will not be included in the record.
2. Zoom Meeting (Via Computer or Phone)
 - a. Please click the link below to join the meeting:
 - https://us02web.zoom.us/j/89016172021?pwd=STUyaWg4OXNIUGdia1VTS_HJuOGhjQT09 (link is external)
 - If prompted for a password, enter 060975
 - Use participant option to "raise hand" during the public comment period for the item you wish to speak on. Once unmuted, you will have up to 3 minutes to speak
 - b. Dial in with phone:

- Before the start of the item you wish to comment on, call any of the numbers below. If one is busy, try the next one
- **1 669 900 6833**
- **1 408 638 0968**
- **1 346 248 7799**
- **1 253 215 8782**
- **1 301 715 8592**
- **1 312 626 6799**
- **1 646 876 9923**
- Enter the meeting ID number: **890 1617 2021**
- When prompted for a Participant ID, press #
- Press *6 on your phone to “raise your hand” when the Chairman calls for public comment. It will be your turn to speak when the Chairman unmutes you. You will hear an announcement that you have been unmuted. The timer will then be set to 3 minutes.

REGULAR MEETING OF THE PLANNING COMMISSION - 7 PM

All correspondences received prior to 5:00 p.m. on the Wednesday preceding a Planning Commission Meeting will be distributed to Commissioners to review prior to the meeting. Information submitted after 5 p.m. on that Wednesday may not have time to reach Commissioners, nor be read by them prior to consideration of an item.

All matters listed on the Regular Meeting of the Capitola Planning Commission Agenda shall be considered as Public Hearings.

1. ROLL CALL AND PLEDGE OF ALLEGIANCE

2. ORAL COMMUNICATIONS

A. Additions and Deletions to Agenda

B. Public Comments

Short communications from the public concerning matters not on the Agenda. All speakers are requested to print their name on the sign-in sheet located at the podium so that their name may be accurately recorded in the Minutes.

C. Commission Comments

D. Staff Comments

3. APPROVAL OF MINUTES

A. Planning Commission - Regular Meeting - May 6, 2021 7:00 PM

B. Planning Commission - Regular Meeting - Jun 3, 2021 7:00 PM

4. CONSENT CALENDAR

All matters listed under "Consent Calendar" are considered by the Planning Commission to be routine and will be enacted by one motion in the form listed below. There will be no separate discussion on these items prior to the time the Planning Commission votes on the action unless members of the public or the Planning Commission request specific items to be discussed for separate review. Items pulled for separate discussion will be considered in the order listed on the Agenda.

A. Tree Removal in Cherry Avenue Right-of-Way #21-0167

Tree Removal Application for the removal of one date palm tree located within the MU-V (Mixed-Use Village) zoning district. The date palm is located adjacent to 102 Cherry Avenue at the East end of Cherry Avenue between Cherry Avenue and Monterey Avenue.

Note: Request to Continue to September 2, 2021.

This project is in the Coastal Zone but does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: City of Capitola

Representative: Pacific Gas & Electric, Filed: 06.22.21

B. 4855 Topaz Street #19-0288 APN: 034-065-21

Design Permit for a new attached garage on an existing nonconforming single-family residence and a new attached Accessory Dwelling Unit (approved ministerially) located within the R-1 (Single-Family Residential) zoning district.

This project is in the Coastal Zone and requires a Coastal Development Permit which is not appealable to the California Coastal Commission.

Environmental Determination: Categorical Exemption

Property Owner: Randall and Allison Epperson

Representative: Scott Hicks, Filed: 06.14.2019

5. PUBLIC HEARINGS

Public Hearings are intended to provide an opportunity for public discussion of each item listed as a Public Hearing. The following procedure is as follows: 1) Staff Presentation; 2) Public Discussion; 3) Planning Commission Comments; 4) Close public portion of the Hearing; 5) Planning Commission Discussion; and 6) Decision.

A. 4875 Opal Street #21-0076 APN: 034-064-12

Design Permit for the construction of a new single-family residence on a vacant lot located within the R-1 (Single-Family Residential) zoning district.

This project is in the Coastal Zone and requires a Coastal Development Permit which is not appealable to the California Coastal Commission.

Environmental Determination: Categorical Exemption

Property Owner: DRVO Builders

Representative: Dennis Norton, Filed: 03.30.21

B. SB2 Pre-Approved ADU Program Overview

Introduction to SB2 Pre-Approved Accessory Dwelling Unit (ADU) Program.

Representative: Matt Orbach, Associate Planner, City of Capitola

Applicant: City of Capitola

6. DIRECTOR'S REPORT**7. COMMISSION COMMUNICATIONS****8. ADJOURNMENT**

APPEALS: The following decisions of the Planning Commission can be appealed to the City Council within the (10) calendar days following the date of the Commission action: Conditional Use Permit, Variance, and Coastal Permit. The decision of the Planning Commission pertaining to an Architectural and Site Review Design Permit can be appealed to the City Council within the (10) working days following the date of the Commission action. If the tenth day falls on a weekend or holiday, the appeal period is extended to the next business day.

All appeals must be in writing, setting forth the nature of the action and the basis upon which the action is considered to be in error, and addressed to the City Council in care of the City Clerk. An appeal must be accompanied by a five hundred dollar (\$500) filing fee, unless the item involves a Coastal Permit that is appealable to the Coastal Commission, in which case there is no fee. If you challenge a decision of the Planning Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this agenda, or in written correspondence delivered to the City at, or prior to, the public hearing.

Notice regarding Planning Commission meetings: The Planning Commission meets regularly on the 1st Thursday of each month at 7 p.m. in the City Hall Council Chambers located at 420 Capitola Avenue, Capitola.

Agenda and Agenda Packet Materials: The Planning Commission Agenda and complete Agenda Packet are available on the Internet at the City's website: www.cityofcapitola.org. Need more information? Contact the Community Development Department at (831) 475-7300.

Agenda Materials Distributed after Distribution of the Agenda Packet: Materials that are a public record under Government Code § 54957.5(A) and that relate to an agenda item of a regular meeting of the Planning Commission that are distributed to a majority of all the members of the Planning Commission more than 72 hours prior to that meeting shall be available for public inspection at City Hall located at 420 Capitola Avenue, Capitola, during normal business hours.

Americans with Disabilities Act: Disability-related aids or services are available to enable persons with a disability to participate in this meeting consistent with the Federal Americans with Disabilities Act of 1990. Assisted listening devices are available for individuals with hearing impairments at the meeting in the City Council Chambers. Should you require special accommodations to participate in the meeting due to a disability, please contact the Community Development Department at least 24 hours in advance of the meeting at (831) 475-7300. In an effort to accommodate individuals with environmental sensitivities, attendees are requested to refrain from wearing perfumes and other scented products.

Televised Meetings: Planning Commission meetings are cablecast "Live" on Charter Communications Cable TV Channel 8 and are recorded to be replayed on the following Monday and Friday at 1:00 p.m. on Charter Channel 71 and Comcast Channel 25. Meetings can also be viewed from the City's website: www.cityofcapitola.org.



FINAL MINUTES
CAPITOLA PLANNING COMMISSION MEETING
Thursday, May 6, 2021
7 P.M. – CAPITOLA CITY COUNCIL CHAMBERS

1. ROLL CALL AND PLEDGE OF ALLEGIANCE

Chair Routh called the meeting to order at 7 P.M. Commissioners Christiansen, Newman, Westman, Wilk, and Chair Routh were present remotely.

2. ORAL COMMUNICATIONS

A. Additions and Deletions to Agenda

Community Development Director Herlihy stated additional materials were added on item 4b.

B. Public Comments

C. Commission Comments

Commissioner Newman stated the Taqueria on the Esplanade has not complied with the conditions of their conditional use permit. Director Herlihy stated staff will send a courtesy warning letter noting the conditional use permit could be brought for review by the Planning Commission if they do not comply.

D. Staff Comments

3. APPROVAL OF MINUTES

A. Planning Commission - Regular Meeting - Apr 1, 2021 7:00 P.M.

MOTION: Approve the minutes.

RESULT:	APPROVED [4 TO 0]
MOVER:	Peter Wilk
SECONDER:	Courtney Christiansen
AYES:	Ed Newman, Peter Wilk, Mick Routh, Courtney Christiansen
ABSTAIN:	Susan Westman

4. PUBLIC HEARINGS

A. 2110 41st Avenue #21-0149 APN: 034-221-16

Application for a Monument Sign, Design Permit, and Conditional Use Permit amending application #20-0460 for the Master Car Wash, a car washing facility, located at 2110 41st Avenue in the C-R (Regional Commercial) Zoning District.

This project is outside of the Coastal Zone and does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: David Karsan

Representative: Bill Kempf, Architect, Filed: 04.15.2021

Associate Planner Matt Orbach presented the staff report.

Todd Creamer, the project's engineer, explained the drainage plan in response to questions from the Commission.

Minutes Acceptance: Minutes of May 6, 2021 7:00 PM (Approval of Minutes)

Susan Walton, a nearby resident, stated her concerns regarding her quality of life once the business reopens. Specifically, she was concerned about privacy, increased load on the retaining wall, trash, lighting, and remedies in the event of the business' non-compliance with the conditions of approval.

Bill Kempf, the project's architect, addressed Ms. Walton's concerns. Commissioner Routh stated the Commission's role in addressing future non-compliance.

Assistant Planner Sean Sesanto read an email from La Walton in which she stated her concern of the proposed trees blocking sunlight to her property.

The Commission discussed hours of operation and the possibility of the business owner working with neighbors to determine the appropriate tree species for tree screen in rear landscape area.

MOTION: Approve the application for a sign, design permit, and conditional use permit with the following conditions and findings:

CONDITIONS

1. The project approval consists of an updated Conditional Use Permit, Design Permit, and Sign Permit at 2110 41st Avenue (Master Car Wash). The previously approved permit #20-0460 will become void upon approval of #20-0149. The maximum Floor Area Ratio for the 25,090-square-foot property is 1.5 (37,635 square feet). The total FAR of the project is 0.12 with a total of 3,088 square feet, compliant with the maximum FAR within the zone. The proposed project is approved as indicated on the final plans reviewed and approved by the Planning Commission on May 6, 2021, except as modified through conditions imposed by the Planning Commission during the hearing.
2. Prior to construction, a building permit shall be secured for any new construction or modifications to structures authorized by this permit. Final building plans shall be consistent with the plans approved by the Planning Commission. All construction and site improvements shall be completed according to the approved plans.
3. At time of submittal for building permit review, the Conditions of Approval must be printed in full on the cover sheet of the construction plans.
4. At time of submittal for building permit review, Public Works Standard Detail SMP STRM shall be printed in full and incorporated as a sheet into the construction plans. All construction shall be done in accordance with the Public Works Standard Detail BMP STRM.
5. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or exterior appearance of the structure shall require Planning Commission approval.
6. Prior to issuance of building permit, all Planning fees associated with permit #21-0149 shall be paid in full.
7. Prior to issuance of a building permit, the applicant must provide documentation of plan approval by the following entities: Santa Cruz County Sanitation Department, Santa Cruz Water Department, and Central Fire Protection District.

8. Prior to issuance of building permits, a drainage plan, grading, sediment and erosion control plan, shall be submitted to the City and approved by Public Works. The plans shall be in compliance with the requirements specified in Capitola Municipal Code Chapter 13.16 Storm Water Pollution Prevention and Protection.
9. Prior to issuance of building permits, the applicant shall submit a stormwater management plan to the satisfaction of the Director of Public Works which implements all applicable Post Construction Requirements (PCRs) and Public Works Standard Details, including all standards relating to low impact development (LID).
10. Prior to any land disturbance, a pre-site inspection must be conducted by the grading official to verify compliance with the approved erosion and sediment control plan.
11. Prior to any work in the City road right of way, an encroachment permit shall be acquired by the contractor performing the work. No material or equipment storage may be placed in the road right-of-way.
12. During construction, any construction activity shall be subject to a construction noise curfew, except when otherwise specified in the building permit issued by the City. Construction noise shall be prohibited between the hours of nine p.m. and seven-thirty a.m. on weekdays. Construction noise shall be prohibited on weekends with the exception of Saturday work between nine a.m. and four p.m. or emergency work approved by the building official. §9.12.010B
13. Prior to a project final, all cracked or broken driveway approaches, curb, gutter, or sidewalk shall be replaced per the Public Works Standard Details and to the satisfaction of the Public Works Department. All replaced driveway approaches, curb, gutter or sidewalk shall meet current Accessibility Standards.
14. Prior to issuance of a Certificate of Occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Community Development Director. Upon evidence of non-compliance with conditions of approval or applicable municipal code provisions, the applicant shall remedy the non-compliance to the satisfaction of the Community Development Director or shall file an application for a permit amendment for Planning Commission consideration. Failure to remedy a non-compliance in a timely manner may result in permit revocation.
15. This permit shall expire 24 months from the date of issuance. The applicant shall have an approved building permit and construction underway before this date to prevent permit expiration. Applications for extension may be submitted by the applicant prior to expiration pursuant to Municipal Code section 17.156.080.
16. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
17. Upon receipt of certificate of occupancy, garbage and recycling containers shall be placed out of public view on non-collection days.
18. Property owner shall install a 6-foot-tall solid wood fence along the rear property line.

19. The applicant, property owner(s), and their successors (as applicable, Indemnitor) shall defend, indemnify, and hold harmless the City and its agents, officers, and employees from any third-party claim, action, or proceeding against the City or its, agents, officers or employees arising from or related to Conditional Use Permit #21-0149 for 2110 41st Avenue, including but not limited to an action to attack, set aside, void or annul Conditional Use Permit #21-0149 for 2110 41st Avenue. Such indemnification shall include, but not be limited to, an award of costs and attorney's fees incurred by the City in its defense. The City shall promptly notify Indemnitor of any such challenge.
20. Property owner shall work with City Staff and the neighboring property owners at 2109 and 2113 Derby Avenue to identify appropriate tree species for tree screen in rear landscape area.

CONDITIONAL USE PERMIT FINDINGS

A. The proposed use is allowed in the applicable zoning district.

The use is not listed in Table 17.24-1 under CMC §17.24.020. However, the use has been approved multiple times under conditional use permit #87-116, #03-087, #06-050, and #20-0460.

B. The proposed use is consistent with the general plan, local coastal program, zoning code, and any applicable specific plan or area plan adopted by the city council.

With a CUP and the proposed conditions of approval, the proposed use is consistent with the general plan, local coastal program, and zoning code.

C. The location, size, design, and operating characteristics of the proposed use will be compatible with the existing and planned land uses in the vicinity of the property.

Upon compliance with the following conditions of approval, the use is compatible with the existing land uses in the vicinity of the property. Condition of Approval #19 requires a 6-foot-tall solid wood fence along the rear property line between the subject property and the residential development at 2109 and 2113 Derby Avenue to mitigate potential negative noise impacts from the car wash use.

D. The proposed use will not be detrimental to the public health, safety, and welfare.

City Staff, the Architecture and Site Review Committee, and the Planning Commission have all reviewed the project. The applicant provided engineering analysis which demonstrates the revised circulation system does not result in increased surcharge loads to the existing wall. Furthermore, the analysis concludes the additional mitigation of removing an existing shed and stormwater improvements will reduce the current load and hydrostatic pressure. The proposed use will not be detrimental to the public health, safety, and welfare.

E. The proposed use is properly located within the city and adequately served by existing or planned services and infrastructure.

The proposed use is located along the 41st Avenue commercial corridor, which is within the City of Capitola and adequately served by existing services and infrastructure.

DESIGN PERMIT FINDINGS

A. The proposed project is consistent with the general plan, local coastal program, and any applicable specific plan, area plan, or other design policies and regulations adopted by the city council.

Community Development Staff, the Architectural and Site Review Committee, and the

Planning Commission have reviewed the project. The proposed modifications to the site layout and building design comply with the development standards of the C-R (Regional Commercial) District. The project secures the purpose of the General Plan, and Local Coastal Program, and design policies and regulations adopted by the City Council.

B. The proposed project complies with all applicable provisions of the zoning code and municipal code.

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have reviewed the application for modifications to the site layout and building design. The project complies with all applicable provisions of the zoning code and municipal code.

C. The proposed project has been reviewed in compliance with the California Environmental Quality Act (CEQA).

Section 15301 of the CEQA Guidelines exempts the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The proposed project involves site modifications for an existing car wash involving a negligible expansion of the existing use within the C-R (Regional Commercial) zoning district. No adverse environmental impacts were discovered during review of the proposed project.

D. The proposed development will not be detrimental to the public health, safety, or welfare or materially injurious to the properties or improvements in the vicinity.

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have reviewed the project. The proposed modifications to the site layout and building design will not be detrimental to the public health, safety, or welfare or materially injurious to the properties or improvements in the vicinity.

E. The proposed project complies with all applicable design review criteria in Section 17.120.070 (Design review criteria).

The Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have reviewed the application. The proposed modifications to the site layout and building design comply with all applicable design review criteria in Section 17.120.070.

SIGN PERMIT FINDINGS

A. The proposed signs are consistent with the general plan, local coastal program, zoning code, and any applicable specific plan or area plan adopted by the city council.

Community Development Staff and the Planning Commission have reviewed the project. The proposed monument sign complies with the development standards of the C-R (Regional Commercial) zoning district.

B. The proposed signs comply with all applicable standards in Chapter 17.80 (Signs).

Community Development Staff and the Planning Commission have reviewed the application for the new monument sign. The proposed monument sign complies with the standards in Chapter 17.80 (Signs).

C. The proposed sign will not adversely impact the public health, safety, or general welfare.

Community Development Department Staff and the Planning Commission have reviewed the sign application and determined that the proposed monument sign will not have adverse impact on public health, safety, or general welfare.

D. The number, size, placement, design, and material of the proposed signs are compatible with the architectural design of buildings on the site.

Community Development Department Staff and the Planning Commission have reviewed the sign application and determined that the proposal is compatible with the architectural design of the buildings on the site.

E. The proposed signs are restrained in character and no larger than necessary for adequate identification.

Community Development Department Staff and the Planning Commission have reviewed the sign application and determined that the proposed monument sign is restrained in character and no larger than necessary for adequate identification.

F. This project is categorically exempt under Section 15311(a) of the California Environmental Quality Act and is subject to Section 753.5 of Title 14 of the California Code of Regulations.

Section 15311(a) of the CEQA Guidelines exempts the construction of on-premise commercial signs. This project involves a new monument sign within the C-R (Regional Commercial) zoning district. No adverse environmental impacts were discovered during review of the proposed project.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) FINDINGS

A. This project is categorically exempt under Section 15301 of the California Environmental Quality Act and is not subject to Section 753.5 of Title 14 of the California Code of Regulations.

Section 15301 of the CEQA Guidelines exempts the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The proposed project involves site modifications for an existing car wash involving a negligible expansion of the existing use. No adverse environmental impacts were discovered during project review by Planning Staff or the Planning Commission.

RESULT:	APPROVED AS AMENDED [UNANIMOUS]
MOVER:	Ed Newman
SECONDER:	Susan Westman
AYES:	Courtney Christiansen, Ed Newman, Mick Routh, Susan Westman, Peter Wilk

B. 527 Capitola Avenue #21-0126 APN: 035-093-02

Appeal of an administrative approval of a tree removal application located within the CN (Neighborhood Commercial) zoning district.

This project is in the Coastal Zone but does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: Shelly Lawrie

Appellant: Robert Edgren, Filed: 03.24.2021

Assistant Planner Sean Sesanto presented the staff report.

Minutes Acceptance: Minutes of May 6, 2021 7:00 PM (Approval of Minutes)

Shelly Lawrie, the property owner and respondent, stated her opposition to the appeal because of the danger the tree poses to her, people on neighboring properties and the public sidewalk, and the structure on the neighboring property.

Emily Buchbinder, the neighboring property owner at 525 Capitola Avenue, stated that her office and employees were at risk from tree failure, her elderly clients were at risk from the sidewalk damage caused by the tree roots, and the arborist she hired had recommended the tree be removed.

Robert Edgren, the appellant, stated his arguments in support of appeal: (1) he personally felt the tree was healthy; (2) he solicited verbal feedback from an arborist who felt there were feasible alternatives to removal; (3) the Commission should table the item until an independent arborist is hired to assess the tree; and (4) the tree provides public benefit and is an asset to the community.

Lilane Molda, a co-owner of the subject property at 525 Capitola Avenue, stated that she feels the tree should be removed for safety reasons and to protect public and private property.

Commissioner Newman stated he felt this tree was near the end of its expected natural life and that its removal seemed appropriate with the planting of a new tree.

Commissioner Westman concurred with Commissioner Newman's assessment, except that she felt the replacement tree should be a larger variety than the proposed crepe myrtle. Commissioner Westman also felt the cost of administrative tree appeals should be lower and that the public notice signs should be larger.

Commissioner Wilk felt the City should create a heritage tree list, but that the proposed removal and replacement tree was reasonable based on the tree removal ordinance.

Chair Routh expressed concern regarding tree removals in recent years and suggested the City hire an arborist prior to a decision.

MOTION: Deny the appeal and uphold the administrative approval based on the following conditions and findings:

FINDINGS

A. The removal of the tree is in the public interest with respect to the condition of the tree.

The tree has poor structure, with three co-codominant leaders rather than one main stem which could lead to the failure of one or more leads. The tree shows evidence of a boring-insect infestation, which weakens the structural integrity of the tree.

B. The tree poses a safety concern without mitigation.

The tree poses safety concerns with respect to the failure of one or more co-dominant leaders.

C. The removal of the tree is in the public interest with respect to unreasonable existing and potential property damage.

The removal of the tree is in the public interest due to significant root damage to the properties of 527 Capitola Avenue and 525 Capitola Avenue. The tree has the potential to cause further unreasonable property damage or interference with existing power lines

should one or more of the co-dominant leaders fail.

D. There are no feasible alternatives to tree removal that secure the purposes of the Community Tree and Forest Management Ordinance.

The Planning Commission reviewed the application and staff review and found that there are no feasible alternatives to tree removal that could be implemented that would stop existing property damage or reduce risk to life and property without seriously harming or killing the tree.

RESULT:	APPROVED [3 TO 2]
MOVER:	Ed Newman
SECONDER:	Peter Wilk
AYES:	Courtney Christiansen, Ed Newman, Peter Wilk,
NAYS:	Mick Routh, Susan Westman

5. DIRECTOR'S REPORT

Community Development Director Herlihy updated the Commission on the Coastal Commission's revisions to the zoning code/Local Coastal Plan update, the SB2 grant, and the Inclusionary Housing Ordinance update.

6. COMMISSION COMMUNICATIONS

Commissioner Westman requested information on the requirements for the installation of generator systems in residential neighborhoods.

7. ADJOURNMENT

The meeting was adjourned at 8:43 P.M. to the next regular meeting of the Planning Commission on June 3, 2021.

Approved by the Planning Commission

Edna Basa, Clerk to the Commission



**FINAL MINUTES
CAPITOLA PLANNING COMMISSION MEETING
Thursday, June 3, 2021
7 P.M. – CAPITOLA CITY COUNCIL CHAMBERS**

**1. ROLL CALL
AND PLEDGE OF ALLEGIANCE**

Chair Routh called the meeting to order at 7 P.M. Commissioners Christiansen, Newman, Westman, Wilk, and Chair Routh were present remotely.

2. ORAL COMMUNICATIONS

A. Additions and Deletions to Agenda

B. Public Comments

C. Commission Comments

D. Staff Comments

Community Development Director Herlihy updated the Commission on the Coastal Commission's scheduled certification of the zoning code. She also provided answers to the Commission following Commissioner Westman's request for information at the May 6, 2021, meeting regarding the installation of generator systems in residential neighborhoods. In response to Director Herlihy's comments, Commissioner Westman stated her questions were satisfactorily answered, and a discussion on additional regulations on the subject can be tabled until the next zoning code update.

3. CONSENT CALENDAR

A. 723 El Salto Drive #21-0155 APN: 036-143-35

Coastal Development Permit for the construction of a fence on a residential property located within the R-1/VS (Single-Family Residential/Visitor Serving) zoning district.

This project is in the Coastal Zone and does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: Doug Dodds

Representative: Jennifer Cosgrove, Filed: 04.16.21

MOTION: Approve the Coastal Development Permit with the following conditions and findings:

CONDITIONS

1. The project approval consists of a Coastal Development Permit for a new metal fence along the bluff at 723 El Salto Drive. The proposed project is approved as indicated on the final plans reviewed and approved by the Planning Commission on June 3, 2021, except as modified through conditions imposed by the Planning Commission during the hearing.
2. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or exterior appearance of the structure shall require Planning Commission approval.

Minutes Acceptance: Minutes of Jun 3, 2021 7:00 PM (Approval of Minutes)

3. There shall be no use of heavy machinery on the bluff. All work must be done manually or with hand-held tools. Any vegetation that is removed or irreparably harmed in the process of fence installation shall be replaced with new vegetation or mulch to prevent exposed soil and erosion.
4. Prior to construction, the defunct section(s) of fence located on the seaward side of the proposed fence shall be removed to the extent which is safely possible.
5. In the event blufftop erosion compromises the fence, all affected fencing shall be removed at the sole expense of the property owner.
6. Prior to construction, the applicant is required to submit an erosion control plan and maintenance plan which demonstrates that the project will not contribute to accelerated erosion or adversely impact bluff stability.
7. All work shall be completed per the plans approved by the Planning Commission and the erosion control plan shall be strictly followed. Erosion control and sediment management devices shall be installed and inspected by City Public Works prior to initiating work.
8. During construction, any construction activity shall be subject to a construction noise curfew, except when otherwise specified in the building permit issued by the City. Construction noise shall be prohibited between the hours of nine p.m. and seven-thirty a.m. on weekdays. Construction noise shall be prohibited on weekends with the exception of Saturday work between nine a.m. and four p.m. or emergency work approved by the building official. §9.12.010B
9. Upon evidence of non-compliance with conditions of approval or applicable municipal code provisions, the applicant shall remedy the non-compliance to the satisfaction of the Community Development Director or shall file an application for a permit amendment for Planning Commission consideration. Failure to remedy a non-compliance in a timely manner may result in permit revocation.
10. This permit shall expire 24 months from the date of issuance. The applicant shall have construction underway before this date to prevent permit expiration. Applications for extension may be submitted by the applicant prior to expiration pursuant to Municipal Code section 17.81.160.
11. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.

FINDINGS

A. The application, subject to the conditions imposed, will secure the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.

Community Development Department Staff and the Planning Commission have all reviewed the project. The project secures the purposes of the R-1 (Single Family Residence) Zoning District. The Coastal Development Permit secures the purposes of the Zoning Ordinance, including Chapter 17.54 for fence standards, the General Plan and Local Coastal Plan.

B. The application will maintain the character and integrity of the neighborhood.

Community Development Department Staff and the Planning Commission have reviewed the application for a new fence at 723 El Salto Drive. The project will maintain the character and integrity of the neighborhood.

C. This project is categorically exempt under Section 15303(e) of the California Environmental Quality Act and is not subject to Section 753.5 of Title 14 of the California Code of Regulations.

This project involves construction of a new fence in the R-1 (single-family residence) Zoning District. Section 15303 of the CEQA Guidelines exempts new construction of small accessory structures including garages, carports, patios, swimming pools, and fences.

COASTAL FINDINGS**D. Findings Required.**

1. **A coastal permit shall be granted only upon adoption of specific written factual findings supporting the conclusion that the proposed development conforms to the certified Local Coastal Program, including, but not limited to:**
 - a. A statement of the individual and cumulative burdens imposed on public access and recreation opportunities based on applicable factors identified pursuant to subsection (D)(2) of this section. The type of affected public access and recreation opportunities shall be clearly described;
 - b. An analysis based on applicable factors identified in subsection (D)(2) of this section of the necessity for requiring public access conditions to find the project consistent with the public access provisions of the Coastal Act;
 - c. A description of the legitimate governmental interest furthered by any access conditioned required;
 - d. An explanation of how imposition of an access dedication requirement alleviates the access burdens identified.
 - The proposed development conforms to the City’s certified Local Coastal Plan (LCP). The specific, factual findings, as per CMC Section 17.46.090(D) are as follows:
2. **Require Project-Specific Findings. In determining any requirement for public access, including the type of access and character of use, the city shall evaluate and document in written findings the factors identified in subsections (D)(2)(a) through (e), to the extent applicable. The findings shall explain the basis for the conclusions and decisions of the city and shall be supported by substantial evidence in the record. If an access dedication is required as a condition of approval, the findings shall explain how the adverse effects which have been identified will be alleviated or mitigated by the dedication. As used in this section, “cumulative effect” means the effect of the individual project in combination with the effects of past projects, other current projects, and probable future projects, including development allowed under applicable planning and zoning.**
 - a. Project Effects on Demand for Access and Recreation. Identification of existing and open public access and coastal recreation areas and facilities in the regional and local vicinity of the development. Analysis of the project’s effects upon existing public access and recreation opportunities. Analysis of the project’s cumulative effects upon the use and capacity of the identified access and recreation opportunities, including public tidelands and beach resources, and upon the capacity of major coastal roads from subdivision, intensification or cumulative buildout. Projection for the anticipated demand and need for increased coastal access and recreation opportunities for the

- public. Analysis of the contribution of the project's cumulative effects to any such projected increase. Description of the physical characteristics of the site and its proximity to the sea, tideland viewing points, upland recreation areas, and trail linkages to tidelands or recreation areas. Analysis of the importance and potential of the site, because of its location or other characteristics, for creating, preserving or enhancing public access to tidelands or public recreation opportunities;
- The proposed project is located at 723 El Salto Drive. The fence is not located in an area with coastal access. The fence will not have an effect on public trails or beach access.
- b. Shoreline Processes. Description of the existing shoreline conditions, including beach profile, accessibility and usability of the beach, history of erosion or accretion, character and sources of sand, wave and sand movement, presence of shoreline protective structures, location of the line of mean high tide during the season when the beach is at its narrowest (generally during the late winter) and the proximity of that line to existing structures, and any other factors which substantially characterize or affect the shoreline processes at the site. Identification of anticipated changes to shoreline processes at the site. Identification of anticipated changes to shoreline processes and beach profile unrelated to the proposed development. Description and analysis of any reasonably likely changes, attributable to the primary and cumulative effects of the project, to: wave and sand movement affecting beaches in the vicinity of the project; the profile of the beach; the character, extent, accessibility and usability of the beach; and any other factors which characterize or affect beaches in the vicinity. Analysis of the effect of any identified changes of the project, alone or in combination with other anticipated changes, will have upon the ability of the public to use public tidelands and shoreline recreation areas;
- The proposed project is located along 723 El Salto Drive. No portion of the project is located along the shoreline or beach.
- c. Historic Public Use. Evidence of use of the site by members of the general public for a continuous five-year period (such use may be seasonal). Evidence of the type and character of use made by the public (vertical, lateral, blufftop, etc., and for passive and/or active recreational use, etc.). Identification of any agency (or person) who has maintained and/or improved the area subject to historic public use and the nature of the maintenance performed and improvements made. Identification of the record owner of the area historically used by the public and any attempts by the owner to prohibit public use of the area, including the success or failure of those attempts. Description of the potential for adverse impact on public use of the area from the proposed development (including but not limited to, creation of physical or psychological impediments to public use);
- There is not a history of public use on the subject lot.
- d. Physical Obstructions. Description of any physical aspects of the development which block or impede the ability of the public to get to or along the tidelands, public recreation areas, or other public coastal resources or to see the shoreline;
- The proposed project is located on private property on 723 El Salto Drive. The project will not block or impede the ability of the public to get to or along the tidelands, public recreation areas, or views to the shoreline.

- e. Other Adverse Impacts on Access and Recreation. Description of the development's physical proximity and relationship to the shoreline and any public recreation area. Analysis of the extent of which buildings, walls, signs, streets or other aspects of the development, individually or cumulatively, are likely to diminish the public's use of tidelands or lands committed to public recreation. Description of any alteration of the aesthetic, visual or recreational value of public use areas, and of any diminution of the quality or amount of recreational use of public lands which may be attributable to the individual or cumulative effects of the development.
- The proposed project is located on private property that will not impact access and recreation. The project does not diminish the public's use of tidelands or lands committed to public recreation nor alter the aesthetic, visual, or recreational value of public use areas.
- 3. Required Findings for Public Access Exceptions. Any determination that one of the exceptions of subsection (F)(2) applies to a development shall be supported by written findings of fact, analysis and conclusions which address all of the following:**
- a. The type of access potentially applicable to the site involved (vertical, lateral, bluff top, etc.) and its location in relation to the fragile coastal resource to be protected, the agricultural use, the public safety concern, or the military facility which is the basis for the exception, as applicable;
 - b. Unavailability of any mitigating measures to manage the type, character, intensity, hours, season or location of such use so that agricultural resources, fragile coastal resources, public safety, or military security, as applicable, are protected;
 - c. Ability of the public, through another reasonable means, to reach the same area of public tidelands as would be made accessible by an accessway on the subject land.
- The project is not requesting a Public Access Exception, therefore these findings do not apply.
- 4. Findings for Management Plan Conditions. Written findings in support of a condition requiring a management plan for regulating the time and manner or character of public access use must address the following factors, as applicable:**
- a. Identification and protection of specific habitat values including the reasons supporting the conclusions that such values must be protected by limiting the hours, seasons, or character of public use;
 - The project is located in a residential area without sensitive habitat areas.
 - b. Topographic constraints of the development site;
 - The project is located on a flat lot.
 - c. Recreational needs of the public;
 - The project does not impact the recreational needs of the public.
 - d. Rights of privacy of the landowner which could not be mitigated by setting the project back from the access way or otherwise conditioning the development;
 - e. The requirements of the possible accepting agency, if an offer of dedication is the mechanism for securing public access;

f. Feasibility of adequate setbacks, fencing, landscaping, and other methods as part of a management plan to regulate public use.

5. Project complies with public access requirements, including submittal of appropriate legal documents to ensure the right of public access whenever, and as, required by the certified land use plan and Section 17.46.010 (coastal access requirements);

- No legal documents to ensure public access rights are required for the proposed project.

6. Project complies with visitor-serving and recreational use policies;

SEC. 30222

The use of private lands suitable for visitor-serving commercial recreational facilities designed to enhance public opportunities for coastal recreation shall have priority over private residential, general industrial, or general commercial development, but not over agriculture or coastal-dependent industry.

- The project involves the construction of a new fence on a residential lot of record.

SEC. 30223

Upland areas necessary to support coastal recreational uses shall be reserved for such uses, where feasible.

- The project involves the construction of a new fence on a residential lot of record.

c) Visitor-serving facilities that cannot be feasibly located in existing developed areas shall be located in existing isolated developments or at selected points of attraction for visitors.

- The project involves the construction of a new fence on a residential lot of record.

7. Project complies with applicable standards and requirements for provision of public and private parking, pedestrian access, alternate means of transportation and/or traffic improvements;

- The project involves the construction of a new fence. The project complies with applicable standards and requirements for provision for parking, pedestrian access, alternate means of transportation, and/or traffic improvements.

8. Review of project design, site plan, signing, lighting, landscaping, etc., by the city's architectural and site review committee, and compliance with adopted design guidelines and standards, and review committee recommendations;

- The project complies with the design guidelines and standards established by the Municipal Code.

9. Project complies with LCP policies regarding protection of public landmarks, protection or provision of public views; and shall not block or detract from public views to and along Capitola's shoreline;

- The project will not negatively impact public landmarks and/or public views. The project will not block or detract from public views to and along Capitola's shoreline.
- 10. Demonstrated availability and adequacy of water and sewer services;**
- Not applicable.
- 11. Provisions of minimum water flow rates and fire response times;**
- Not applicable.
- 12. Project complies with water and energy conservation standards;**
- Not applicable.
- 13. Provision of park dedication, school impact, and other fees as may be required;**
- Not applicable.
- 14. Project complies with coastal housing policies, and applicable ordinances including condominium conversion and mobile home ordinances;**
- The project does not involve a condo conversion or mobile homes.
- 15. Project complies with natural resource, habitat, and archaeological protection policies;**
- Conditions of approval have been included to ensure compliance with established policies.
- 16. Project complies with Monarch butterfly habitat protection policies;**
- The project is outside of any identified sensitive habitats, specifically areas where Monarch Butterflies have been encountered, identified and documented.
- 17. Project provides drainage and erosion and control measures to protect marine, stream, and wetland water quality from urban runoff and erosion;**
- Conditions of approval have been included to ensure compliance with applicable erosion control measures.
- 18. Geologic/engineering reports have been prepared by qualified professional for projects in seismic areas, geologically unstable areas, or coastal bluffs, and project complies with hazard protection policies including provision of appropriate setbacks and mitigation measures;**
- The proposed fence itself is lightweight, will not contribute to erosion, and has been situated further back from the cliff to be in line with the neighboring fence. The project will reestablish a barrier between the edge of the cliff and use of land, thereby mitigating risks to life from falling or standing in areas with heightened risk of slope failure. The project will also reduce risks of erosion and slope failure

by limiting human use, disturbance, and load. Conditions of approval have been included to ensure the project compliance with applicable erosion control measures and mitigate falling hazards.

19. All other geological, flood and fire hazards are accounted for and mitigated in the project design;

- Conditions of approval have been included to ensure the project complies with geological, flood, and fire hazards and are accounted for and will be mitigated in the project design.

20. Project complies with shoreline structure policies;

- The proposed project is not located along a shoreline.

21. The uses proposed are consistent with the permitted or conditional uses of the zoning district in which the project is located;

- This use is an allowed use consistent with the R-1 zoning district.

22. Conformance to requirements of all other city ordinances, zoning requirements, and project review procedures; and

- The project conforms to the requirements of all city ordinances, zoning requirements, and project development review and development procedures.

23. Project complies with the Capitola parking permit program as follows:

- a. The village area preferential parking program areas and conditions as established in Resolution No. 2596 and no permit parking of any kind shall be allowed on Capitola Avenue.
- b. The neighborhood preferential parking program areas are as established in Resolution Numbers 2433 and 2510.
- c. The village area preferential parking program shall be limited to three hundred fifty permits.
- d. Neighborhood permit areas are only in force when the shuttle bus is operating except that:
 - i. The Fanmar area (Resolution No. 2436) program may operate year-round, twenty-four hours a day on weekends,
 - ii. The Burlingame, Cliff Avenue/Grand Avenue area (Resolution No. 2435) have year-round, twenty-four hour per day “no public parking.”
- e. Except as specifically allowed under the village parking program, no preferential residential parking may be allowed in the Cliff Drive parking areas.
- f. Six Depot Hill twenty-four minute “Vista” parking spaces (Resolution No. 2510) shall be provided as corrected in Exhibit A attached to the ordinance codified in this section and found on file in the office of the city clerk.
- g. A limit of fifty permits for the Pacific Cove parking lot may be issued to village permit holders and transient occupancy permit holders.
- h. No additional development in the village that intensifies use and requires additional parking shall be permitted. Changes in use that do not result in additional parking demand can be allowed and exceptions for onsite parking as allowed in the land use plan can be made.

- The project site is not located within the area of the Capitola parking permit program.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Susan Westman
SECONDER:	Ed Newman
AYES:	Courtney Christiansen, Ed Newman, Mick Routh, Susan Westman, Peter Wilk

4. PUBLIC HEARINGS

A. 1650 41st Avenue #21-0079 APN: 034-111-19

Conditional Use Permit Amendment to change the allowed retail alcohol sale of beer and wine to include the sale of distilled spirits for off-site consumption at a Chevron gas station located within the CC (Community Commercial) zoning district.

This project is in the Coastal Zone but does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: Chevron USA

Representative: Steve Rawlings Filed: 04.26.21

Assistant Planner Sesanto presented the staff report. Steve Rawlings, the applicant and Chevron Corporation's consultant, concurred with the staff recommendation and their conditions and findings. Mr. Rawlings stated that Chevron Corporation implemented policies and procedures in addition to investing in employee training to ensure proper operation of the business.

MOTION: Approve the Conditional Use Permit Amendment with the following conditions and findings:

CONDITIONS

1. The project approval consists of a second Amendment to a Conditional Use Permit for an existing self-service gas station and 2,945 square foot mini mart with the sale of alcohol at 1650 41st Avenue. The proposed amendment is approved as indicated on the final plans reviewed and approved by the Planning Commission on June 3, 2021, except as modified through conditions imposed by the Planning Commission during the hearing. The conditions of approval from the original 1988 Conditional Use Permit and the first amendment of the CUP approved 2004, continue to apply.
2. Any significant modifications to the size or exterior appearance of the structure (i.e. windows, materials, colors, etc.) must be approved by the Planning Commission. Similarly, any significant change to the use itself, or the site, must be approved by the Planning Commission.
3. The application shall be reviewed by the Planning Commission upon evidence of non-compliance with conditions of approval or applicable municipal code provisions.
4. The mini mart and gas services shall be permitted to be open 24 hours a day, seven days a week.

5. The sale of alcohol shall be permitted for off-site consumption. The sale of alcoholic mini bottles is prohibited.
6. Final building plans shall indicate that the trash enclosure will be made of a sturdy solid masonry material, compatible with the building materials and colors and with trash receptacles screened from view. Receptacles shall be provided for recycled materials as well as trash or rubbish. The design of the trash enclosure shall be submitted to the Community Development Department prior to, or in conjunction with, building permit submittal.
7. No roof equipment is to be visible to the general public. Any necessary roof screening is to match the color of the building as closely as possible. Plans for any necessary screening shall be submitted to the Community Development Department prior to, or in conjunction with, building permit submittal.
8. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or exterior appearance of the structure shall require Planning Commission approval.
9. This permit shall expire 24 months from the date of issuance. The applicant shall have an approved building permit and construction underway before this date to prevent permit expiration. Applications for extension may be submitted by the applicant prior to expiration pursuant to Municipal Code section 17.81.160.
10. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.

FINDINGS

- A. The application, subject to the conditions imposed, will secure the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.**
Community Development Department Staff and the Planning Commission have reviewed the application and determined that the applicant may be granted a Conditional Use Permit for the sale of distilled spirit alcohol within the CC (Community Commercial) Zoning District. The use meets the intent and purpose of the district. Conditions of approval have been modified to ensure that the use is consistent with the Zoning Ordinance and General Plan.
- B. The application will maintain the character and integrity of the neighborhood.**
Community Development Department Staff and the Planning Commission have reviewed the proposed use and determined that the use complies with the applicable provisions of the Zoning Ordinance and maintain the character and integrity of this area of the City. Conditions of approval have been included to carry out these objectives.
- C. This project is categorically exempt under Section 15301 of the California Environmental Quality Act and is not subject to Section 753.5 of Title 14 of the California Code of Regulations.**
This project involves an existing commercial space with the additional use of off sale distilled spirits. No adverse environmental impacts were discovered during project review by either the Community Development Department Staff or the Planning Commission.

D. The use is consistent with the General Plan and will not be detrimental to the health, safety, peace, morals, comfort and general welfare of the neighborhood and the City.

The applicant is not proposing an increase in the size of the existing gas station and retail area. The existing retail sale of beer and wine will remain with the addition of the sale of distilled spirits. With the restriction on the sale of alcoholic mini bottles, the sale of distilled spirits for retail sale will not be detrimental to the surrounding neighborhood or the City.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Ed Newman
SECONDER:	Courtney Christiansen
AYES:	Courtney Christiansen, Ed Newman, Mick Routh, Susan Westman, Peter Wilk

5. DIRECTOR'S REPORT

Director Herlihy updated the Commission on the potential development of a new boutique hotel at 720 Hill Street, the City's progress on ADU prototypes and policies, the Inclusionary Housing Ordinance, and the City's enforcement of the sign ordinance.

6. COMMISSION COMMUNICATIONS

In response to an appellant's comments following a hearing at a previous meeting, Commissioner Newman stated that he had reviewed his previous statements and agreed with the appellant that the Commission has the ability to impose conditions when reviewing an appeal, but he did not believe that this would have changed the outcome of the vote to deny the appeal.

Chair Routh requested information regarding the Wharf project's proposed public bathrooms. Director Herlihy stated that she will provide further details after she confers with the Public Works department.

7. ADJOURNMENT

The meeting was adjourned at 7:27 P.M. to the next regular meeting of the Planning Commission on July 15, 2021.

Approved by the Planning Commission

Edna Basa, Clerk to the Commission



STAFF REPORT

TO: PLANNING COMMISSION
 FROM: COMMUNITY DEVELOPMENT
 DATE: JULY 15, 2021
 SUBJECT: **Tree Removal in Cherry Avenue Right-of-Way #21-0167**

Tree Removal Application for the removal of one date palm tree located within the MU-V (Mixed-Use Village) zoning district. The date palm is located adjacent to 102 Cherry Avenue at the East end of Cherry Avenue between Cherry Avenue and Monterey Avenue.

Note: Request to Continue to September 2, 2021.

This project is in the Coastal Zone but does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: City of Capitola

Representative: Pacific Gas & Electric, Filed: 06.22.21

BACKGROUND

On July 7, 2021, the applicant, PG&E, requested the tree removal permit be continued to a future hearing to give their team time to research additional options that may be available to potentially satisfy public concerns.

RECOMMENDATION

Staff recommends the Planning Commission continue application #21-0167 to the September 2, 2021, meeting.

Prepared By: Sean Sesanto



STAFF REPORT

TO: PLANNING COMMISSION
 FROM: COMMUNITY DEVELOPMENT
 DATE: JULY 15, 2021
 SUBJECT: **4855 Topaz Street #19-0288 APN: 034-065-21**

Design Permit for a new attached garage on an existing nonconforming single-family residence and a new attached Accessory Dwelling Unit (approved ministerially) located within the R-1 (Single-Family Residential) zoning district. This project is in the Coastal Zone and requires a Coastal Development Permit which is not appealable to the California Coastal Commission. Environmental Determination: Categorical Exemption
 Property Owner: Randall and Allison Epperson
 Representative: Scott Hicks, Filed: 06.14.2019

APPLICANT PROPOSAL

The applicant is proposing to demolish an existing 291-square-foot attached garage and construct a new 282-square-foot attached garage and a new 630-square-foot attached accessory dwelling unit (ADU) located at 4855 Topaz Street within the R-1 (Single-Family Residential) zoning district. This application was deemed complete on May 12, 2021, and is vested under the prior zoning code. The current zoning code came into effect on June 21, 2021.

BACKGROUND

On May 26, 2021, the Architectural and Site Review Committee reviewed the application and provided the applicant with the following direction:

Public Works Representative, Danielle Uharriet: informed the applicant that several standard conditions of approval related to stormwater, drainage and erosion control, and encroachments will be added to the conditions of approval for the project.

Building Official, Robin Woodman: inquired about whether the gas fireplace was the heat source for the ADU or if there a separate heating source. The applicant confirmed that there will be another heating source.

Local Architect, Frank Phanton: had no comments.

Associate Planner, Matt Orbach: had no comments.

Following the Architecture & Site Review Committee meeting, no changes were made to the plans.

Development Standards

The following table outlines the zoning code requirements for development in the R-1 Zoning District. The project complies with all applicable development standards.

R-1 (Single Family Residential) Zoning District

Development Standards			
Building Height			
R-1 Regulation	Existing		Proposed
25 ft.	23 ft.		23 ft.
Floor Area Ratio (FAR)			
	Existing		Proposed
Lot Size	4,000 sq. ft.		4,000 sq. ft.
Maximum Floor Area Ratio	54% (Max 2,160 sq. ft.)		54% (Max 2,160 sq. ft.)
First Story Floor Area	1,019 sq. ft.		1,640 sq. ft.
Second Story Floor Area	516 sq. ft.		516 sq. ft.
TOTAL FAR	38% (1,535 sq. ft.)		53.9% (2,156 sq. ft.)
Yards			
	R-1 Regulation	Existing	Proposed
Front Yard 1st Story	15 ft.	17 ft. 10 in.	17 ft. 10 in.
Front Yard 2nd Story & Garage	20 ft.	20 ft. 5 in.	20 ft. 5 in.
Side Yard 1st Story	10% of lot width	Lot width: 50 ft. 5 ft. min. Existing Nonconforming	4 ft. 10 in. (East) 5 ft. (West) Existing Nonconforming
Side Yard 1st Story - ADU	4 ft. min.	N/A	4 ft. (West) 24 ft. (East)
Side Yard 2nd Story	15% of lot width	Lot width: 50 ft. 7 ft. 6 in. min Existing Nonconforming	4 ft. 10 in. (East) 17 ft. (West) Existing Nonconforming
Rear Yard 1st Story	20% of lot depth	Lot depth: 80 ft. 16 ft. min.	35 ft. 10 in. (Primary Residence)
Rear Yard 1st Story - ADU	4 ft. min.	N/A	5 ft. 3 in.
Rear Yard 2nd Story	20% of lot depth	Lot depth: 80 ft. 16 ft. min.	35 ft 10 in.
Encroachments (list all)	Existing nonconforming first- and second-story east side setbacks.		
Parking			
	Required	Existing	Proposed
Residential (from <u>1,501</u> up to <u>2,000</u> sq. ft.) and ADU	3 spaces total 1 covered	2 spaces total 1 covered	3 spaces total 1 covered

	<u>2</u> uncovered	<u>1</u> uncovered	<u>2</u> uncovered* *ADU parking space in front yard setback area
Garage and Accessory Bldg.	Complies with Standards?		List non-compliance
Garage	Yes		
Underground Utilities: required with 25% increase in area			Not Required

DISCUSSION

The existing residence at 4855 Topaz Street is a nonconforming, two-story, single-family residence. The lot is located in the Jewel Box neighborhood and is surrounded by one- and two-story single-family homes.

The applicant is proposing to demolish the existing 291-square-foot attached garage and construct a new 282-square-foot attached garage and a new 630-square-foot attached accessory dwelling unit (ADU). The new garage is located closer to the front of the lot to accommodate the new attached ADU addition off the back of the home. The proposed design includes a new pitched roof over the garage to match the existing residence and composition shingles. The new attached garage and attached ADU have horizontal siding to match the existing single-family residence.

Nonconforming

The existing structure is located within the first- and second-story east side setback. The existing structure does not comply with the setback regulations of the zoning code and therefore is a legal non-conforming structure. Pursuant to Capitola Municipal Code (CMC) §17.72.070, if proposed structural alterations to an existing non-complying structure exceed 80% of the present fair market value of the structure, the proposed structural alterations may not be made. The applicant has submitted a construction cost breakdown demonstrating that the proposed structural alterations are 55% of the present fair market value of the structure, so the alterations are permissible (Attachment 2).

Accessory Dwelling Unit

The application includes a new attached ADU. The attached ADU is located in the north-west corner of the lot and will cover approximately half of the back yard. The ADU includes one bedroom, one bathroom, and an open living room, dining room, and kitchen area. The entrance is off the side yard, with no internal connection to the main home or backyard. The unit complies with the requirements for “Units subject to full review standards” in Capitola Municipal Code (CMC) §17.99.060(A), therefore the unit has been approved ministerially.

Landscaping

The front yard is currently almost fully paved other than a small landscaping strip along the front property line, a small landscaping strip adjacent to the front of the residence, and the area around the base of the two trees in the front yard. The applicant is required to add one parking space for the ADU. Due to the existing site constraints the parking space for the ADU will be in the front setback. CMC §17.74.080(C)(1)(c)(ii) requires that parking for an ADU in the front setback shall be a “ribbon” or “Hollywood” design with two parallel strips of pavement. The paving strips shall be no wider than two and one-half feet each and shall utilize permeable paving such as porous concrete/asphalt, open-jointed pavers, and turf grids. Unpaved areas between the strips shall be landscaped with turf or low-growing ground cover. To comply with this standard, the applicant is proposing to add a strip of “turf or low growing ground cover” in

between the two proposed paver strip areas. A landscape plan is required prior to issuance of a building permit under Condition of Approval #6.

CEQA

Section 15301(e) of the CEQA Guidelines exempts additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less. The proposed additions add 621 square feet (41%) of floor area, so this exemption applies. No adverse environmental impacts were discovered during project review by Planning Department Staff.

RECOMMENDATION

Staff recommends the Planning Commission consider application #19-0288 and approve the application with the following Conditions and Findings for Approval.

CONDITIONS OF APPROVAL

1. The project approval consists of demolition of an existing 291-square-foot attached garage, construction of a 282-square-foot attached garage, and a new 630-square-foot attached accessory dwelling unit (approved ministerially under CMC §17.99.050(B)). The maximum Floor Area Ratio for the 4,000-square-foot property is 54% (2,160 square feet). The total FAR of the project is 53.9% with a total of 2,156 square feet, compliant with the maximum FAR within the zone. The proposed project is approved as indicated on the final plans reviewed and approved by the Planning Commission on July 15, 2021, except as modified through conditions imposed by the Planning Commission during the hearing.
2. Prior to construction, a building permit shall be secured for any new construction or modifications to structures authorized by this permit. Final building plans shall be consistent with the plans approved by the Planning Commission. All construction and site improvements shall be completed according to the approved plans
3. At time of submittal for building permit review, the Conditions of Approval must be printed in full on the cover sheet of the construction plans.
4. At time of submittal for building permit review, Public Works Standard Detail SMP STRM shall be printed in full and incorporated as a sheet into the construction plans. All construction shall be done in accordance with the Public Works Standard Detail BMP STRM.
5. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or exterior appearance of the structure shall require Planning Commission approval.
6. Prior to issuance of building permit, a landscape plan shall be submitted and approved by the Community Development Department. The landscape plan can be produced by the property owner, landscape professional, or landscape architect. Landscape plans shall reflect the Planning Commission approval and shall identify type, size, and location of species and details of any proposed (but not required) irrigation systems.
7. Prior to issuance of building permit, all Planning fees associated with permit #19-0288 shall be paid in full.

8. Prior to issuance of a building permit, the applicant must provide documentation of plan approval by the following entities: Santa Cruz County Sanitation Department, Soquel Creek Water District, and Central Fire Protection District.
9. Prior to issuance of building permits, a drainage plan, grading, sediment and erosion control plan, shall be submitted to the City and approved by Public Works. The plans shall be in compliance with the requirements specified in Capitola Municipal Code Chapter 13.16 Storm Water Pollution Prevention and Protection.
10. Prior to issuance of building permits, the applicant shall submit a stormwater management plan to the satisfaction of the Director of Public Works which implements all applicable Post Construction Requirements (PCRs) and Public Works Standard Details, including all standards relating to low impact development (LID).
11. Prior to any land disturbance, a pre-site inspection must be conducted by the grading official to verify compliance with the approved erosion and sediment control plan.
12. Prior to any work in the City road right of way, an encroachment permit shall be acquired by the contractor performing the work. No material or equipment storage may be placed in the road right-of-way.
13. During construction, any construction activity shall be subject to a construction noise curfew, except when otherwise specified in the building permit issued by the City. Construction noise shall be prohibited between the hours of nine p.m. and seven-thirty a.m. on weekdays. Construction noise shall be prohibited on weekends with the exception of Saturday work between nine a.m. and four p.m. or emergency work approved by the building official. §9.12.010B
14. Prior to a project final, all cracked or broken driveway approaches, curb, gutter, or sidewalk shall be replaced per the Public Works Standard Details and to the satisfaction of the Public Works Department. All replaced driveway approaches, curb, gutter or sidewalk shall meet current Accessibility Standards.
15. Prior to issuance of a Certificate of Occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Community Development Director. Upon evidence of non-compliance with conditions of approval or applicable municipal code provisions, the applicant shall remedy the non-compliance to the satisfaction of the Community Development Director or shall file an application for a permit amendment for Planning Commission consideration. Failure to remedy a non-compliance in a timely manner may result in permit revocation.
16. This permit shall expire 24 months from the date of issuance. The applicant shall have an approved building permit and construction underway before this date to prevent permit expiration. Applications for extension may be submitted by the applicant prior to expiration pursuant to Municipal Code §17.81.160.
17. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.

18. Upon receipt of certificate of occupancy, garbage and recycling containers shall be placed out of public view on non-collection days.

DESIGN PERMIT FINDINGS

A. The project, subject to the conditions imposed, secures the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the project. The proposed demolition of an existing 291-square-foot attached garage and construction of a 282-square-foot attached garage complies with the development standards of the Single-Family Residential District.

B. The project will maintain the character and integrity of the neighborhood.

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the application for a remodel of an existing single-family residence. The design of the new attached garage, with horizontal siding and a composition shingle roof with the roof pitch matching the roof pitch on the primary residence, will fit in nicely with the existing neighborhood. The project will maintain the character and integrity of the neighborhood.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) FINDINGS

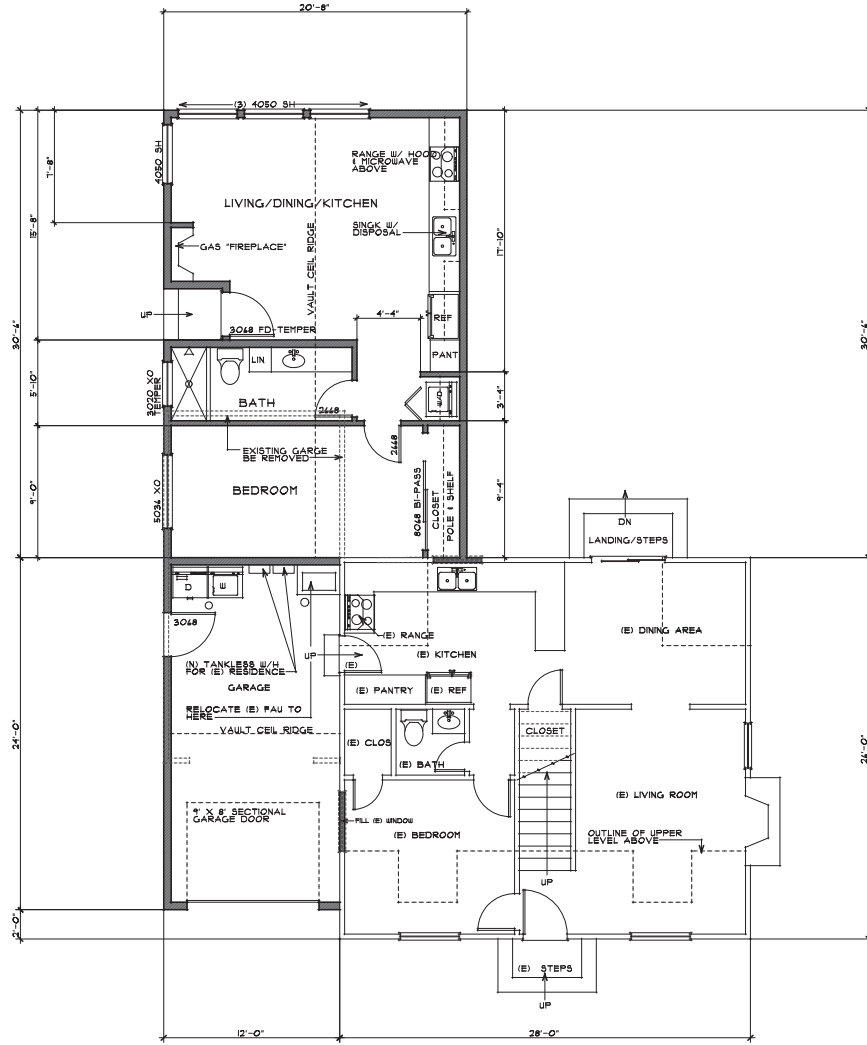
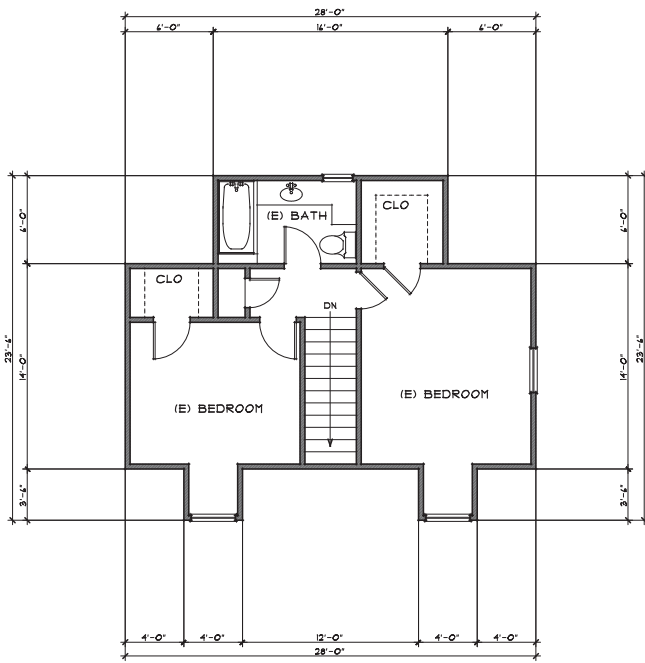
A. This project is categorically exempt under Section 15301(e) of the California Environmental Quality Act and is subject to Section 753.5 of Title 14 of the California Code of Regulations.

Section 15301(e) of the CEQA Guidelines exempts additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less. The proposed additions add 621 square feet (41%) of floor area, so this exemption applies. No adverse environmental impacts were discovered during project review by Planning Department Staff.

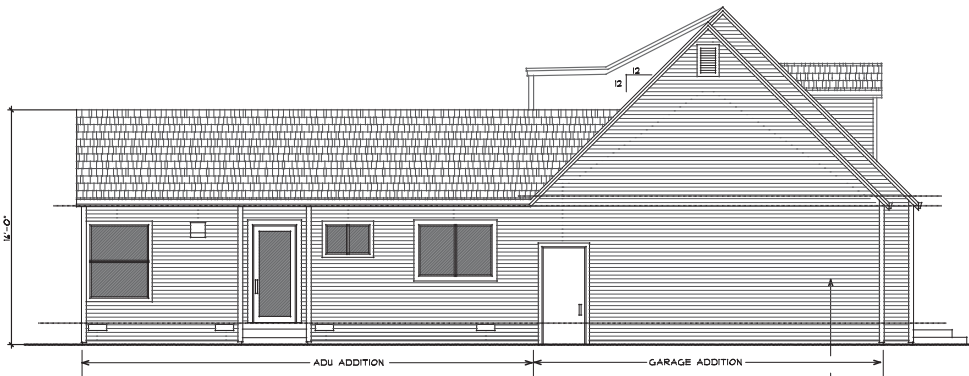
ATTACHMENTS:

1. 4855 Topaz Street - Full Plan Set - 05.06.2021
2. 4855 Topaz Street - Construction Cost Breakdown - 80% - 05.12.2021

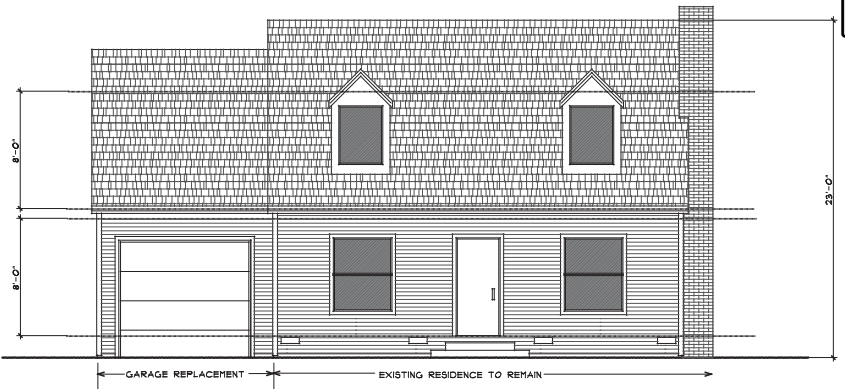
Prepared By: Matt Orbach
Associate Planner



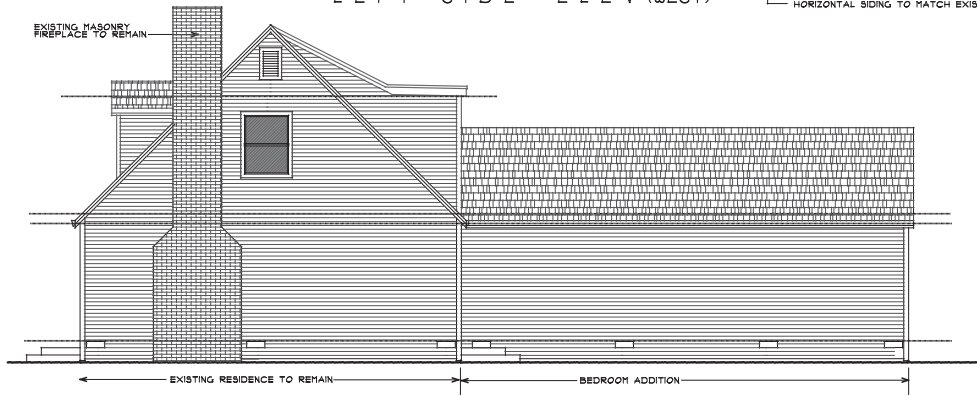
(E) 728 SQ. FT. CFA
 (N) 430 SQ. FT. CFA
 (E) 291 SQ. FT. GARAGE (TO BE REMOVED)
 (N) 282 SQ. FT. GARAGE



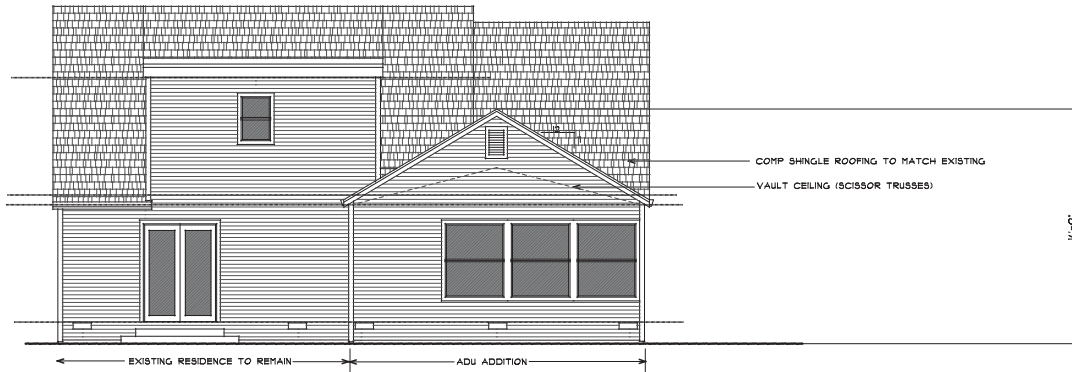
LEFT SIDE ELEV (WEST)



FRONT ELEV (SOUTH)



RIGHT SIDE ELEV (EAST)



REAR ELEV (NORTH)

4.B.1

California at Home
 Custom Residential Design & Dr
 201419
 lath@cahd.com
 PO BOX 625 OAKDALE CA 95341

PROJECT SCOPE:
 CONDITIONED AREA:
 430 SQ. FT. (NEW CFA)
 GARAGE AREA:

PROPERTY:
 ADDRESS: 4855 TOPAZ ST.
 CAPITOLA, CA. 95010
 APN: 034-045-021

OWNER:
 M/C RANDALL EPERSON
 10000 WOODBURN DR.
 MODESTO, CA.

REVISION
 DATE: MAY 2

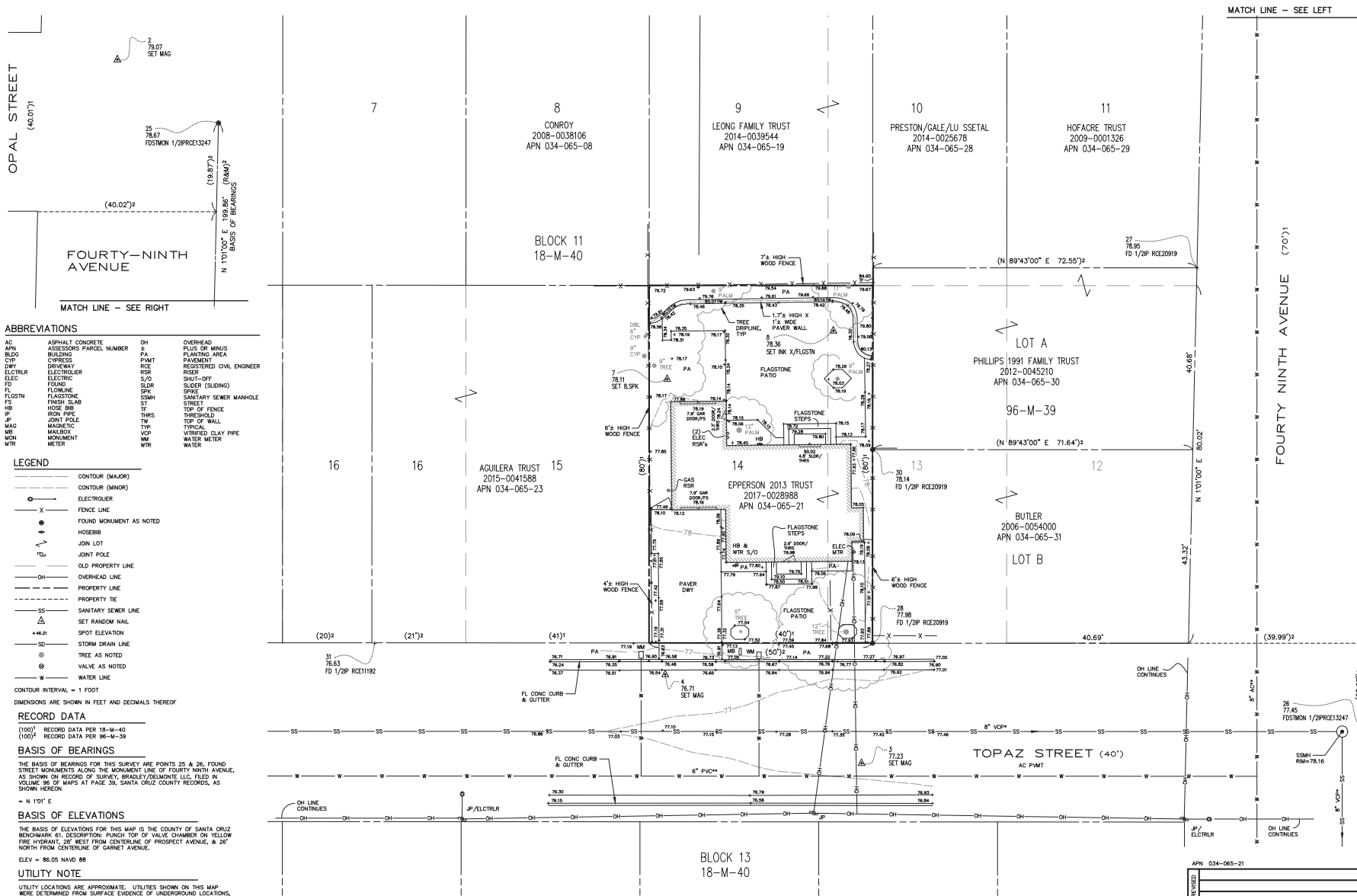
EXTERIOR ELEVATION:

SCALE: 1/4"=1'-0"

A3

Attachment: 4855 Topaz Street - Full Plan Set - 05.06.2021 (4855 Topaz Street)

Attachment: 4855 Topaz Street - Full Plan Set - 05.06.2021 (4855 Topaz Street)



ABBREVIATIONS

AC	ASPHALT CONCRETE	OH	OVERHEAD
APN	ASSESSORS PARCEL NUMBER	PA	PLUS OR MINUS
BLDG	BUILDING	PA	PLANTING AREA
CPY	CEMPRESS	PMNT	PERMITS
DWY	DRIVEWAY	RCE	REGISTERED CIVIL ENGINEER
ELECTR	ELECTRIC	RGR	RISER
ELEC	ELECTRIC	S/O	SHUT-OFF
FD	FOUND	SLSR	SLEWER (SLIDING)
FL	FLONING	SPK	SPIKE
FLOSTN	FLASSTONE	SSM	SANITARY SEWER MANHOLE
FS	FISH SHAB	ST	STREET
HB	HOSE BIB	ST	TOP OF FENCE
IF	IRON PIPE	THRS	THRESHOLD
JP	JOINT POLE	TM	TOP OF WALL
MAG	MAGNETIC	TYP	TYPICAL
MB	MALIBOX	W	WATER
MN	MONUMENT	WTR	WATER METER
MTR	METER		

LEGEND

—	CONTOUR (MAJOR)
—	CONTOUR (MINOR)
—	ELECTRICIAN
—	FENCE LINE
—	FOUND MONUMENT AS NOTED
—	HOSEBIB
—	JOIN LOT
—	JOINT POLE
—	OLD PROPERTY LINE
—	OVERHEAD LINE
—	PROPERTY LINE
—	PROPERTY TIE
—	SANITARY SEWER LINE
—	SET RANDOM NAIL
—	SPOT ELEVATION
—	STORM DRAIN LINE
—	TREE AS NOTED
—	VALVE AS NOTED
—	WATER LINE

CONTOUR INTERVAL = 1 FOOT
 DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

RECORD DATA

(100') RECORD DATA PER 18-M-40
 (100') RECORD DATA PER 96-M-39

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY ARE POINTS 25 & 26, FOUND STREET MONUMENTS ALONG THE MONUMENT LINE OF FORTY NINTH AVENUE, AS SHOWN ON RECORDS OF SURVEY, BRADLEY/OSMONT, LLC, FILED IN VOLUME 96 OF MAPS AT PAGE 39, SANTA CRUZ COUNTY RECORDS, AS SHOWN HEREBY.

= N 1°01' E

BASIS OF ELEVATIONS

THE BASIS OF ELEVATIONS FOR THIS MAP IS THE COUNTY OF SANTA CRUZ BENCHMARK 61, DESCRIPTION: PUNCH TOP OF VALVE CHAMBER ON YELLOW FIRE HYDRANT, 28' WEST FROM CENTERLINE OF PROSPECT AVENUE, & 26' NORTH FROM CENTERLINE OF GARRET AVENUE.

ELEV = 86.05 NAVD 88

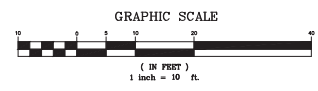
UTILITY NOTE

UTILITY LOCATIONS ARE APPROXIMATE. UTILITIES SHOWN ON THIS MAP WERE DETERMINED FROM SURFACE EVIDENCE OF UNDERGROUND LOCATIONS, DURING A SURVEY BY BOWMAN AND WILLIAMS JANUARY 2019. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF THESE UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT.

CALL U.S.A. (UNDERGROUND SERVICE ALERT) (800) 842-2444 BEFORE ANY DIGITATION.

UTILITIES SHOWN WITH AN ASTERISK (*) INDICATES INFORMATION FROM THE COUNTY OF SANTA CRUZ GIS WEBSITE.

UTILITIES SHOWN WITH A DOUBLE ASTERISK (**) FROM A WATER FACILITIES MAP PROVIDED BY SOQUEL CREEK WATER DISTRICT.



APN 034-065-21

BOWMAN & WILLIAMS
 CONSULTING CIVIL ENGINEERS
 AND LAND SURVEYORS
 3949 RESEARCH PARK COURT, SUITE 100
 SOQUEL, CA 95073
 (831) 428-3560

DATE: FEBRUARY 4, 2019
 DESIGN: DWG NAME: 274221PO

SCALE: 1" = 10'
 CHECKED: SPH
 DRAWN: DLN

DATE: FEBRUARY 4, 2019
 SHEET: 422
 OF: 1

4855 Topaz Street - New Garage + New Attached ADU
CONSTRUCTION COST BREAKDOWN PER Section 17.72.070

Existing Building Costs:

SAMPLE

Existing Residence:	1244 square feet	=	\$ 248,800.00
	\$ 200.00 square foot		
Existing Garage:	291 square feet	=	\$ 26,190.00
	\$ 90.00 square foot		
Existing Deck:	0 square feet	=	\$ -
	\$ 25.00 square foot		
<u>Total Existing Value:</u>			\$ 274,990.00
80% of Total Existing Value			\$ 219,992.00

New Construction Costs:

New Conditioned Space:	630 square feet	=	\$ 126,000.00
	\$ 200.00 square foot		
New Garage:	282 square feet	=	\$ 25,380.00
	\$ 90.00 square foot		
New deck/porch:	0 square feet	=	\$ -
	\$ 25.00 square foot		
<u>Total New Construction Value:</u>			<u>\$ 151,380.00</u>

Remodel Costs: (50% of "new construction" costs)

Remodel Conditioned Space:	0 square feet	=	\$ -
	\$ 100.00 square foot		
Remodel Garage:	0 square feet	=	\$ -
	\$ 45.00 square foot		
Remodel Deck:	0 square feet	=	\$ -
	\$ 12.50 square foot		
<u>Total Remodel Value:</u>			<u>\$ -</u>
<u>Total Construction/Remodel Cost</u>			\$ 151,380.00
% of Existing Value			55%

Attachment: 4855 Topaz Street - Construction Cost Breakdown - 80% - 05.12.2021 (4855 Topaz Street)



STAFF REPORT

TO: PLANNING COMMISSION
 FROM: COMMUNITY DEVELOPMENT
 DATE: JULY 15, 2021
 SUBJECT: **4875 Opal Street** **#21-0076** **APN: 034-064-12**

Design Permit for the construction of a new single-family residence on a vacant lot located within the R-1 (Single-Family Residential) zoning district.

This project is in the Coastal Zone and requires a Coastal Development Permit which is not appealable to the California Coastal Commission.

Environmental Determination: Categorical Exemption

Property Owner: DRVO Builders

Representative: Dennis Norton, Filed: 03.30.21

APPLICANT PROPOSAL

The applicant is proposing to construct a new 1,834-square-foot single-family residence on a vacant lot located at 4875 Opal Street in the R-1 (Single-Family Residential) zoning district. The application complies with all development standards of the R-1 zone. The project was submitted prior to new zoning code taking effect on June 10, 2021, and therefore was reviewed under the previous code.

BACKGROUND

On June 23, 2021, the Architectural and Site Review Committee reviewed the application and provided the applicant with the following direction:

Public Works Representative, Danielle Uharriet: provided comments for the building permit stage regarding the new curb cut.

Building Department Representative, Robin Woodman: stated that the external wall on the east elevation is less than five feet from the property line and would require a higher fire rating. She suggested the applicant redesign to move the wall further from the property line.

Assistant Planner, Sean Sesanto: stated that the applicant would need to provide a color and materials board and discussed corrections to setbacks and driveway width on the site plan and landscape plan. Mr. Sesanto noted that the second-story windows and second-story deck appear to have been designed to minimize privacy impacts on adjacent lots.

Following the Architectural and Site review meeting, the applicant submitted a color and materials board and revised the site plan. The landscape plan was not updated to reflect the

modification to the site plan. Staff included condition of approval #6 which notes the discrepancy between the landscape plan and site plan and requirement to follow the site plan. requiring an updated landscape plan which reflects the site plan approved by the Planning Commission prior to issuance of a building permit (Condition #6).

Development Standards

The following table outlines the zoning code requirements for development in the R-1 Zoning District. The new single-family residence complies with all development standards of the R-1 zone.

Development Standards			
Building Height			
R-1 Regulation	Existing		Proposed
25 ft.	N/A		24 ft. 1 in.
Floor Area Ratio (FAR)			
	Existing		Proposed
Lot Size	3,280 sq. ft.		3,280 sq. ft.
Max. Floor Area Ratio	56% (Max 1,837 sq. ft.)		55.9% (Max 1,834 sq. ft.)
First Story Floor Area	N/A		1,250 sq. ft.
Second Story Floor Area	N/A		568 sq. ft.
<i>Decks, Covered Ext. Space</i>	N/A		166 sq. ft.
<i>Deck Exception</i>	N/A		-150 sq. ft.
TOTAL FAR	N/A		1,834 sq. ft.
Yards			
	R-1 Regulation		Proposed
Front Yard 1st Story	15 ft.		20 ft.
Front Yard 2nd Story & Garage	20 ft.		20 ft.
Side Yard 1st Story	10% lot width	Lot width 41 ft. 4 ft. 1 in.	North: 4 ft. 10 in. South: 6 ft. 2 in.
Side Yard 2nd Story	15% of width	Lot width 41 ft. 6 ft. 2 in.	North: 4 ft. 10 in. South: 6 ft. 2 in.
Rear Yard 1st Story	20% of lot depth	Lot depth 80 ft. 16 ft.	18 ft.
Rear Yard 2nd Story	20% of lot depth	Lot depth 80 ft. 16 ft.	33 ft. 2 in.
Parking			
	Required		Proposed
Residential (from <u>1,501</u> up to <u>2,000</u> sq. ft.)	2 spaces total 1 covered 1 uncovered		3 spaces total 1 covered 2 uncovered
Underground Utilities: required with 25% increase in area			Yes

DISCUSSION

The existing property at 4875 Opal Street is a vacant flat lot within the Jewel Box neighborhood, surrounded by one- and two-story single-family residences, near the corner of 49th Avenue and Opal Street. Adjacent to the subject property is 503 49th Avenue, a corner lot consisting of one small, unoccupied cottage. 503 49th Avenue is a separate legal lot which is also under review under a separate application.

The applicant is proposing to construct a new two-story residence oriented toward Opal Street. The proposed residence has articulation in the massing with a recessed front door, stacked bay windows on the first and second story, and a second story deck above the garage creating a step in the second floor. The craftsman architecture is characterized by the mix of horizontal siding and accents of vertical board-and-batten siding within the bay windows and along the east elevation, a combination of gabled and Dutch gable roof ends, traditional rafters and braces, and standing seam metal roof and awnings. The rear elevation includes large sliding glass doors that lead out to a patio partially covered by a 30 feet wide arbor.

Parking

The proposed 1,834-square-foot residence is required to have two on-site parking spaces, one of which must be covered. The proposal includes three full-size parking spaces; one in the garage and two in the driveway.

Landscape

The current landscape plan includes two sango kaku trees. The applicant is requesting a modification to the tree planting, but was unable to modify the plan prior to Planning Commission review. The applicant would like to plant one Japanese maple and one sango kaku tree. The two trees will secure the goal of fifteen percent canopy coverage for new residential construction projects, pursuant to CMC §12.12.190(C). As noted earlier, the landscape plan does not match the site plan in terms of setbacks and driveway width. Staff included condition of approval #6 which notes the modification to the trees and discrepancy in the setbacks and driveway width.

CEQA

§15303(a) of the CEQA Guidelines exempts one single family residence, or a second dwelling unit in a residential zone. No adverse environmental impacts were discovered during review of the proposed project.

RECOMMENDATION

Staff recommends the Planning Commission review the application and approve project #21-0076 based on the following Conditions of approval and Findings.

CONDITIONS OF APPROVAL

1. The project approval consists of construction of a new 1,834-square-foot single-family residence. The maximum Floor Area Ratio for the 3,280 square foot property is 56% (1,837 square feet). The total FAR of the project is 55.9% with a total of 1,834 square feet, compliant with the maximum FAR within the zone. The proposed project is approved as indicated on the final plans reviewed and approved by the Planning Commission on July 15, 2021, except as modified through conditions imposed by the Planning Commission during the hearing.
2. Prior to construction, a building permit shall be secured for any new construction or modifications to structures authorized by this permit. Final building plans shall be consistent with the plans approved by the Planning Commission. All construction and site improvements shall be completed according to the approved plans.

3. At time of submittal for building permit review, the Conditions of Approval must be printed in full on the cover sheet of the construction plans.
4. At time of submittal for building permit review, Public Works Standard Detail SMP STRM shall be printed in full and incorporated as a sheet into the construction plans. All construction shall be done in accordance with the Public Works Standard Detail BMP STRM.
5. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or exterior appearance of the structure shall require Planning Commission approval.
6. The landscape plan included in the application does not match the site plan related to required setbacks and driveway width. Prior to issuance of building permit, the landscape plan shall be submitted and approved by the Community Development Department. The landscape plan can be produced by the property owner, landscape professional, or landscape architect. Landscape plans shall reflect the site plan approved by the Planning Commission and shall identify type, size, and location of species and details of any proposed (but not required) irrigation systems.
7. Prior to issuance of building permit, all Planning fees associated with permit #21-0076 shall be paid in full.
8. Prior to issuance of building permit, the developer shall pay Affordable housing in-lieu fees as required to assure compliance with the City of Capitola Affordable (Inclusionary) Housing Ordinance.
9. Prior to issuance of a building permit, the applicant must provide documentation of plan approval by the following entities: Santa Cruz County Sanitation Department, Soquel Creek Water District, and Central Fire Protection District.
10. Prior to issuance of building permits, a drainage plan, grading, sediment and erosion control plan, shall be submitted to the City and approved by Public Works. The plans shall be in compliance with the requirements specified in Capitola Municipal Code Chapter 13.16 Storm Water Pollution Prevention and Protection.
11. Prior to issuance of building permits, the applicant shall submit a stormwater management plan to the satisfaction of the Director of Public Works which implements all applicable Post Construction Requirements (PCRs) and Public Works Standard Details, including all standards relating to low impact development (LID). Submit plan details and specifications of the pervious and semi-pervious pavers; and artificial turf installation.
12. Prior to any land disturbance, a pre-site inspection must be conducted by the grading official to verify compliance with the approved erosion and sediment control plan.
13. Prior to any work in the City road right of way, an encroachment permit shall be acquired by the contractor performing the work. No material or equipment storage may be placed in the road right-of-way.

14. During construction, any construction activity shall be subject to a construction noise curfew, except when otherwise specified in the building permit issued by the City. Construction noise shall be prohibited between the hours of nine p.m. and seven-thirty a.m. on weekdays. Construction noise shall be prohibited on weekends with the exception of Saturday work between nine a.m. and four p.m. or emergency work approved by the building official. §9.12.010B
15. Prior to issuance of building permits, the applicant shall submit plans detailing all improvements or modifications that impact or interface with the public right of way. At a minimum these details will include the limits of any existing or proposed curb drains, ADA compliant driveway approach, or any other modification to the curb/gutter/sidewalk. The extent of all improvements or modifications shall be limited to those areas fronting the property boundary and shall not impact the frontage of adjacent parcels.
16. Prior to a project final, all cracked or broken driveway approaches, curb, gutter, or sidewalk shall be replaced per the Public Works Standard Details and to the satisfaction of the Public Works Department. All replaced driveway approaches, curb, gutter or sidewalk shall meet current Accessibility Standards.
17. Prior to issuance of a Certificate of Occupancy, the applicant shall demonstrate compliance with the tree planting requirements for new development with 2 trees to be planted on the property. Required replacement trees shall be of the same size, species and planted on the site as shown on the approved plans unless otherwise approved by the Community Development Director.
18. Prior to issuance of a Certificate of Occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Community Development Director. Upon evidence of non-compliance with conditions of approval or applicable municipal code provisions, the applicant shall remedy the non-compliance to the satisfaction of the Community Development Director or shall file an application for a permit amendment for Planning Commission consideration. Failure to remedy a non-compliance in a timely manner may result in permit revocation.
19. This permit shall expire 24 months from the date of issuance. The applicant shall have an approved building permit and construction underway before this date to prevent permit expiration. Applications for extension may be submitted by the applicant prior to expiration pursuant to Municipal Code section 17.81.160.
20. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
21. Upon receipt of certificate of occupancy, garbage and recycling containers shall be placed out of public view on non-collection days.
22. Prior to issuance of building permits, the building plans must show that the existing overhead utility lines will be underground to the nearest utility pole.

DESIGN PERMIT FINDINGS

- A. The project, subject to the conditions imposed, secures the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.**

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the project. The proposed single-family residence complies with the development standards of the Single-Family Residential District. Specifically, all of the requirements of Capitola Municipal Code §17.99.050 have been met. The project secures the purpose of the Zoning Ordinance, General Plan, and Local Coastal Plan

B. The project will maintain the character and integrity of the neighborhood.

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the application for the new single-family residence. The design of the home with horizontal siding, accent vertical board-and-batten siding, gabled and Dutch gable roof ends, and a standing seam metal roof will fit in nicely with the existing neighborhood. The project will maintain the character and integrity of the neighborhood.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) FINDINGS

A. This project is categorically exempt under Section 15303(a) of the California Environmental Quality Act and is subject to Section 753.5 of Title 14 of the California Code of Regulations.

Section 15303(a) of the CEQA Guidelines exempts one single-family residence in a residential zone. This project involves the construction of a new single-family residence within the R-1 (Single-Family Residential) zoning district. No adverse environmental impacts were discovered during review of the proposed project.

COASTAL FINDINGS

D. Findings Required.

1. **A coastal permit shall be granted only upon adoption of specific written factual findings supporting the conclusion that the proposed development conforms to the certified Local Coastal Program, including, but not limited to:**
 - a. A statement of the individual and cumulative burdens imposed on public access and recreation opportunities based on applicable factors identified pursuant to subsection (D)(2) of this section. The type of affected public access and recreation opportunities shall be clearly described;
 - b. An analysis based on applicable factors identified in subsection (D)(2) of this section of the necessity for requiring public access conditions to find the project consistent with the public access provisions of the Coastal Act;
 - c. A description of the legitimate governmental interest furthered by any access conditioned required;
 - d. An explanation of how imposition of an access dedication requirement alleviates the access burdens identified.
 - The proposed development conforms to the City's certified Local Coastal Plan (LCP). The specific, factual findings, as per CMC Section 17.46.090(D) are as follows:
2. **Require Project-Specific Findings. In determining any requirement for public access, including the type of access and character of use, the city shall evaluate and document in written findings the factors identified in subsections (D)(2)(a) through (e), to the extent applicable. The findings shall explain the basis for the conclusions and decisions of the city and shall be supported by substantial evidence in the record. If an access dedication is required as a condition of**

approval, the findings shall explain how the adverse effects which have been identified will be alleviated or mitigated by the dedication. As used in this section, “cumulative effect” means the effect of the individual project in combination with the effects of past projects, other current projects, and probable future projects, including development allowed under applicable planning and zoning.

- a. Project Effects on Demand for Access and Recreation. Identification of existing and open public access and coastal recreation areas and facilities in the regional and local vicinity of the development. Analysis of the project’s effects upon existing public access and recreation opportunities. Analysis of the project’s cumulative effects upon the use and capacity of the identified access and recreation opportunities, including public tidelands and beach resources, and upon the capacity of major coastal roads from subdivision, intensification or cumulative buildout. Projection for the anticipated demand and need for increased coastal access and recreation opportunities for the public. Analysis of the contribution of the project’s cumulative effects to any such projected increase. Description of the physical characteristics of the site and its proximity to the sea, tideland viewing points, upland recreation areas, and trail linkages to tidelands or recreation areas. Analysis of the importance and potential of the site, because of its location or other characteristics, for creating, preserving or enhancing public access to tidelands or public recreation opportunities;
 - The proposed project is located at 4875 Opal Street. The home is not located in an area with coastal access. The home will not have an effect on public trails or beach access.

- b. Shoreline Processes. Description of the existing shoreline conditions, including beach profile, accessibility and usability of the beach, history of erosion or accretion, character and sources of sand, wave and sand movement, presence of shoreline protective structures, location of the line of mean high tide during the season when the beach is at its narrowest (generally during the late winter) and the proximity of that line to existing structures, and any other factors which substantially characterize or affect the shoreline processes at the site. Identification of anticipated changes to shoreline processes at the site. Identification of anticipated changes to shoreline processes and beach profile unrelated to the proposed development. Description and analysis of any reasonably likely changes, attributable to the primary and cumulative effects of the project, to: wave and sand movement affecting beaches in the vicinity of the project; the profile of the beach; the character, extent, accessibility and usability of the beach; and any other factors which characterize or affect beaches in the vicinity. Analysis of the effect of any identified changes of the project, alone or in combination with other anticipated changes, will have upon the ability of the public to use public tidelands and shoreline recreation areas;
 - The proposed project is located along an inset street at 4875 Opal Street. No portion of the project is located along the shoreline or beach.

- c. Historic Public Use. Evidence of use of the site by members of the general public for a continuous five-year period (such use may be seasonal). Evidence of the type and character of use made by the public (vertical, lateral, blufftop, etc., and for passive and/or active recreational use, etc.). Identification of any agency (or person) who has maintained and/or improved the area subject to historic public use and the nature of the maintenance performed and improvements made. Identification of the record owner of the area historically used by the public and any attempts by the owner to

- prohibit public use of the area, including the success or failure of those attempts. Description of the potential for adverse impact on public use of the area from the proposed development (including but not limited to, creation of physical or psychological impediments to public use);
- There is not a history of public use on the subject lot.
- d. Physical Obstructions. Description of any physical aspects of the development which block or impede the ability of the public to get to or along the tidelands, public recreation areas, or other public coastal resources or to see the shoreline;
- The proposed project is located on private property on 4875 Opal Street. The project will not block or impede the ability of the public to get to or along the tidelands, public recreation areas, or views to the shoreline.
- e. Other Adverse Impacts on Access and Recreation. Description of the development's physical proximity and relationship to the shoreline and any public recreation area. Analysis of the extent of which buildings, walls, signs, streets or other aspects of the development, individually or cumulatively, are likely to diminish the public's use of tidelands or lands committed to public recreation. Description of any alteration of the aesthetic, visual or recreational value of public use areas, and of any diminution of the quality or amount of recreational use of public lands which may be attributable to the individual or cumulative effects of the development.
- The proposed project is located on private property that will not impact access and recreation. The project does not diminish the public's use of tidelands or lands committed to public recreation nor alter the aesthetic, visual, or recreational value of public use areas.
- 3. Required Findings for Public Access Exceptions. Any determination that one of the exceptions of subsection (F)(2) applies to a development shall be supported by written findings of fact, analysis and conclusions which address all of the following:**
- a. The type of access potentially applicable to the site involved (vertical, lateral, bluff top, etc.) and its location in relation to the fragile coastal resource to be protected, the agricultural use, the public safety concern, or the military facility which is the basis for the exception, as applicable;
 - b. Unavailability of any mitigating measures to manage the type, character, intensity, hours, season or location of such use so that agricultural resources, fragile coastal resources, public safety, or military security, as applicable, are protected;
 - c. Ability of the public, through another reasonable means, to reach the same area of public tidelands as would be made accessible by an accessway on the subject land.
- The project is not requesting a Public Access Exception, therefore these findings do not apply.
- 4. Findings for Management Plan Conditions. Written findings in support of a condition requiring a management plan for regulating the time and manner or character of public access use must address the following factors, as applicable:**

- a. Identification and protection of specific habitat values including the reasons supporting the conclusions that such values must be protected by limiting the hours, seasons, or character of public use;
 - The project is located in a residential area without sensitive habitat areas.
 - b. Topographic constraints of the development site;
 - The project is located on a flat lot.
 - c. Recreational needs of the public;
 - The project does not impact the recreational needs of the public.
 - d. Rights of privacy of the landowner which could not be mitigated by setting the project back from the access way or otherwise conditioning the development;
 - e. The requirements of the possible accepting agency, if an offer of dedication is the mechanism for securing public access;
 - f. Feasibility of adequate setbacks, fencing, landscaping, and other methods as part of a management plan to regulate public use.
5. **Project complies with public access requirements, including submittal of appropriate legal documents to ensure the right of public access whenever, and as, required by the certified land use plan and Section 17.46.010 (coastal access requirements);**
- No legal documents to ensure public access rights are required for the proposed project.
6. **Project complies with visitor-serving and recreational use policies;**

SEC. 30222

The use of private lands suitable for visitor-serving commercial recreational facilities designed to enhance public opportunities for coastal recreation shall have priority over private residential, general industrial, or general commercial development, but not over agriculture or coastal-dependent industry.

- The project involves a new single-family residence on a residential lot of record.

SEC. 30223

Upland areas necessary to support coastal recreational uses shall be reserved for such uses, where feasible.

- The project involves a new single-family residence on a residential lot of record.

c) Visitor-serving facilities that cannot be feasibly located in existing developed areas shall be located in existing isolated developments or at selected points of attraction for visitors.

- The project involves a new single-family residence on a residential lot of record.

- 7. Project complies with applicable standards and requirements for provision of public and private parking, pedestrian access, alternate means of transportation and/or traffic improvements;**
 - The project involves the construction of a new single-family residence. The project complies with applicable standards and requirements for provision for parking, pedestrian access, alternate means of transportation, and/or traffic improvements.
- 8. Review of project design, site plan, signing, lighting, landscaping, etc., by the city's architectural and site review committee, and compliance with adopted design guidelines and standards, and review committee recommendations;**
 - The project complies with the design guidelines and standards established by the Municipal Code.
- 9. Project complies with LCP policies regarding protection of public landmarks, protection or provision of public views; and shall not block or detract from public views to and along Capitola's shoreline;**
 - The project will not negatively impact public landmarks and/or public views. The project will not block or detract from public views to and along Capitola's shoreline.
- 10. Demonstrated availability and adequacy of water and sewer services;**
 - The project is located on a legal lot of record with available water and sewer services.
- 11. Provisions of minimum water flow rates and fire response times;**
 - The project is located 0.5 miles from the Central Fire Protection District Capitola Station. Water is available at the location.
- 12. Project complies with water and energy conservation standards;**
 - The project is for a new single-family residence. The GHG emissions for the project are projected at less than significant impact. All water fixtures must comply with the low-flow standards of the Soquel Creek Water District.
- 13. Provision of park dedication, school impact, and other fees as may be required;**
 - The project will be required to pay appropriate fees prior to building permit issuance.
- 14. Project complies with coastal housing policies, and applicable ordinances including condominium conversion and mobile home ordinances;**
 - The project does not involve a condo conversion or mobile homes.
- 15. Project complies with natural resource, habitat, and archaeological protection policies;**

- Conditions of approval have been included to ensure compliance with established policies.

16. Project complies with Monarch butterfly habitat protection policies;

- The project is outside of any identified sensitive habitats, specifically areas where Monarch Butterflies have been encountered, identified and documented.

17. Project provides drainage and erosion and control measures to protect marine, stream, and wetland water quality from urban runoff and erosion;

- Conditions of approval have been included to ensure compliance with applicable erosion control measures.

18. Geologic/engineering reports have been prepared by qualified professional for projects in seismic areas, geologically unstable areas, or coastal bluffs, and project complies with hazard protection policies including provision of appropriate setbacks and mitigation measures;

- Geologic/engineering reports have been prepared by qualified professionals for this project. Conditions of approval have been included to ensure the project applicant shall comply with all applicable requirements of the most recent version of the California Building Standards Code.

19. All other geological, flood and fire hazards are accounted for and mitigated in the project design;

- Conditions of approval have been included to ensure the project complies with geological, flood, and fire hazards and are accounted for and will be mitigated in the project design.

20. Project complies with shoreline structure policies;

- The proposed project is not located along a shoreline.

21. The uses proposed are consistent with the permitted or conditional uses of the zoning district in which the project is located;

- This use is an allowed use consistent with the Single-Family Residential zoning district.

22. Conformance to requirements of all other city ordinances, zoning requirements, and project review procedures; and

- The project conforms to the requirements of all city ordinances, zoning requirements, and project development review and development procedures.

23. Project complies with the Capitola parking permit program as follows:

- a. The village area preferential parking program areas and conditions as established in Resolution No. 2596 and no permit parking of any kind shall be allowed on Capitola Avenue.

- b. The neighborhood preferential parking program areas are as established in Resolution Numbers 2433 and 2510.
- c. The village area preferential parking program shall be limited to three hundred fifty permits.
- d. Neighborhood permit areas are only in force when the shuttle bus is operating except that:
 - i. The Fanmar area (Resolution No. 2436) program may operate year-round, twenty-four hours a day on weekends,
 - ii. The Burlingame, Cliff Avenue/Grand Avenue area (Resolution No. 2435) have year-round, twenty-four hour per day “no public parking.”
- e. Except as specifically allowed under the village parking program, no preferential residential parking may be allowed in the Cliff Drive parking areas.
- f. Six Depot Hill twenty-four minute “Vista” parking spaces (Resolution No. 2510) shall be provided as corrected in Exhibit A attached to the ordinance codified in this section and found on file in the office of the city clerk.
- g. A limit of fifty permits for the Pacific Cove parking lot may be issued to village permit holders and transient occupancy permit holders.
- h. No additional development in the village that intensifies use and requires additional parking shall be permitted. Changes in use that do not result in additional parking demand can be allowed and exceptions for onsite parking as allowed in the land use plan can be made.
 - The project site is not located within the area of the Capitola parking permit program.

ATTACHMENTS:

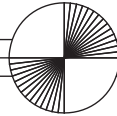
1. 4875 Opal Street - Plan Set
2. 4875 Opal Street - Color and Material Information

Prepared By: Sean Sesanto

DRVO BUILDERS INC. RESIDENCE

GENERAL INFORMATION:	
SITE AREA: 3,241 SQ. FT.	ZONE: R-1
BUILDING:	
PROPOSED:	
MAN. RESIDENCE	
LIVING 1ST FLOOR	940 SQ. FT.
LIVING 2ND FLOOR	569 SQ. FT.
SUBTOTAL LIVING	1,509 SQ. FT.
GARAGE	303 SQ. FT.
2ND FLOOR DECK	96 SQ. FT.

CODE ANALYSIS:
THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED IN COMPLIANCE WITH THE CALIFORNIA BUILDING AND FIRE CODES (2019)
OCCUPANCY CLASSIFICATION: **R-3/U**
BUILDING CONSTRUCTION TYPE: **VB**
FIRE RATING: **SPRINKLERED**



THE DESIGNER MUST BE NOTIFIED OF ANY DISCREPANCIES IN DIMENSIONS, FIELD CONDITIONS, OR OTHER INFORMATION THAT IS CONTAINED IN AND/OR OFFERS FROM THESE DOCUMENTS. THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. THE DESIGNER DISCLAIMS ANY RESPONSIBILITY RESULTING FROM THEIR UNAUTHORIZED USE. COPYRIGHT PROTECTION STARTS FROM THE EARLIEST DATE OF THE DESIGN CONTRACT, PRELIMINARY DESIGN WORK, OR THE CONSTRUCTION DOCUMENTS.

PROJECT DESCRIPTION:
2020 TWO-STORY SINGLE FAMILY RESIDENCE
W/3 CAR PARKING

DEFERRED SUBMITTAL:
-FEE DRAWINGS
-SOLAR PANELS
-TRUSSES

LEGEND OF SHEETS	
PAGE	TITLE
1	COVER SHEET, PROJECT INFO
1A	GENERAL NOTES
2	SITE PLAN
4	PROPOSED FLOORPLAN
5	ELEVATIONS
8	ROOF PLAN
8MP	BEST MANAGEMENT PRACTICES
9	SURVEY
L	LANDSCAPE
C-1	CIVIL COVER SHEET
C-2	GRADING AND DRAINAGE
C-3	CIVIL CROSS SECTIONS & MISC DETAILS
C-4	EROSION CONTROL PLAN
C-5	CIVIL OFF-SITE TITLE SHEET
C-6	OFF-SITE IMPROVEMENT PLAN
C-7	CONSTRUCTION DETAILS

PLAN PRODUCTION:
Architectural & Planning
Dennis Norton Group
DATE: 05/17/2020
DRAWN BY: DENNIS NORTON
CHECKED BY: DENNIS NORTON
SCALE: AS SHOWN
PROJECT: DRVO BUILDERS INC. RESIDENCE
717 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
PHONE: (530) 475-2010 FAX: (530) 475-2010

OWNER:
DRVO BUILDERS INC.
1568 GLEN UNA MOUNTAIN VIEW CA 95040
408-858-2747

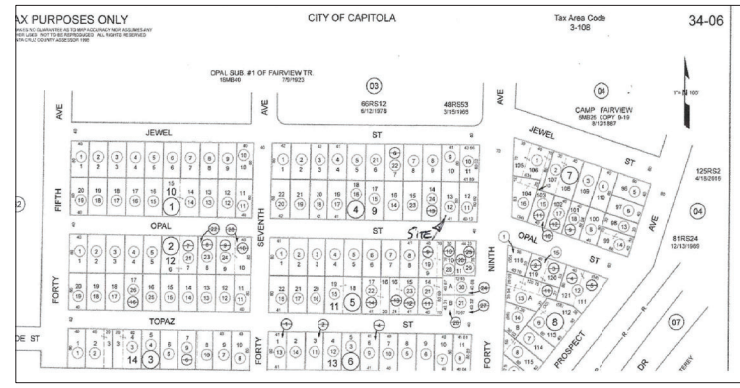
DRVO BLDRS RESIDENCE
4875 OPAL ST
CAPITOLA, CA 95010
ADN 074-064-12

DENNIS NORTON
HOME DESIGN AND PROJECT PLANNING
717 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
PHONE: (530) 475-2010 FAX: (530) 475-2010

COVER SHEET
LEGEND OF SHEETS

DRAWN: []
CHECKED: []
JOB NO. OPAL
DATE: 05/17/2020
SHEET
1
OF # SHEET

Attachment: 4875 Opal Street - Plan Set (4875 Opal Street)



VICINITY MAP

GENERAL NOTES:

GENERAL:

1. PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA RESIDENTIAL BUILDING CODE, PLUMBING, MECHANICAL, ELECTRICAL, FIRE AND ENERGY CODES, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE.
2. CONTRACTOR SHALL VERIFY AND VERIFY ALL UTILITIES IN THE FIELD.
3. VERIFY THE STABILITY OF ALL ELEMENTS BEFORE DOING ANY WORK AND PROVIDE SHORING, BRACING AND UNDERPINNING AS REQUIRED.
4. VERIFY ALL GRADES AND DIMENSIONS IN FIELD. WRITTEN DIMENSIONS SHALL SUPERCEDE SCALED DRAWINGS.
5. CONTRACTOR SHALL REMOVE ALL DEBRIS PROMPTLY AND KEEP CONSTRUCTION SITE ORDERLY.
6. PLUMBING AND MECHANICAL PLANS WILL BE SUBMITTED BY THE CONTRACTOR.
7. NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR FLOOD WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER SUPPLIER AND FROM COUNTY HEALTH DEPT.
8. ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL HAVE A SHUT OFF NOZZLE.
9. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE OBTAINED FOR THE SIZE/TYPE OF HOSE USED, PROVIDE AUTOMATIC SHUT-OFF NOZZLE.
10. NO PUMPABLE WATER MAY BE USED FOR RECOMPACTION OR DUST CONTROL IN CONSTRUCTION ACTIVITIES WHERE THERE IS REASONABLY AVAILABLE RECOMPACTION OR SUB-PUMPING WATER APPROVED BY THE COUNTY HEALTH DEPT.
11. ALL WORK AND CONSTRUCTION SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE (CBC), AND ALL OTHER APPLICABLE BUILDING CODES, REGULATIONS AND SAFETY REQUIREMENTS.
12. PERMANENT PROTECTION CORERS MUST BE REQUIRED TO BE IN PLACE PRIOR TO FOUNDATION INSPECTION.
13. 2019 CALIFORNIA GREEN BUILDING CODE - THE COUNTY HAS ADOPTED ONLY THE MANDATORY REQUIREMENTS. THIS CODE MAY BE VIEWED AT <http://www.bae.com.gov/default.htm> (RHS/WWW.BAE.COM.GOV/DEFULT.HTM).

- ### FRAMING, FINISHES, ETC.:
1. ALL EXTERIOR DOORS SHALL HAVE ALUMINUM OR WOOD THRESHOLD AND INTERLOCKING WEATHERSTRIP, UNLESS NOTED OTHERWISE.
 2. JOISTS AND PENETRATIONS SHALL BE CALKED AND SEALED.
 3. DOORS & WINDOWS SHALL BE CERTIFIED. ALL WINDOWS DOUBLE GLAZED EXCEPT WHERE NOTED OTHERWISE.
 4. EXHAUST SYSTEM SHALL HAVE DAMPER CONTROLS.
 5. HVAC EQUIPMENT SHALL HAVE SET BACK THERMOSTAT.
 6. FIRST FIVE FEET OF PIPES CLOSEST TO WATER HEATER TANK SHALL BE WRAPPED WITH 3/4" MINIMUM HVAC EQUIPMENT WATER HEATER, SHOWER HEADS AND FAUCETS SHALL BE CERTIFIED.
 7. CONTRACTOR TO PROVIDE AND POST ON THE STRUCTURE AT FINAL INSPECTION A COMPLETED INSULATION CERTIFICATE.
 8. NRC LABELS MUST REMAIN ATTACHED TO THE GLAZING UNTIL AFTER INSULATION INSPECTION IS COMPLETED.

- ### FOUNDATION:
1. CONTRACTOR SHALL CAREFULLY EXCAVATE ALL MATERIALS NECESSARY, OF WHATEVER NATURE, FOR CONSTRUCTION OF THE WORK. ANY MATERIAL OF AN UNSOUND OR CELESTIAL NATURE DISCOVERED BELOW THE BOTTOMS OF THE FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH WORK.
 2. LIGHTLY PREPARED/EXTENDED CONCRETE IS PLACED.
 3. USE 2000 PSI PRESSURE TREATED SILL OR CONCRETE OR USE MINIMUM 5/8" X 10" A.B. AT 48" O.C. U.N.G. ALL ANCHOR BOLTS SHALL BE INSTALLED WITH METAL SLOTTED WASHERS (5/8"x10x20"). FOUNDATION DETAILS SHALL SUPERCEDE GENERAL NOTES.
 4. PROVIDE 18"x24" GRADE ACCESS UNDER 20'-0" ALL BATHROOMS AND PLUMBING CLEANOUTS.
 5. PROVIDE ADDITIONAL 18" ACCESS UNDER MAIN HEAD CUT.
 6. PROVIDE SUMPION NO. 26 OR EQUIVA. 6"x14" FOUNDATION VENTS (2 S.F. PER 25 L.F.). PLACE AT MAX. 8'-0" O.C. STARTING AS CLOSE TO CORNERS AS POSSIBLE & LOCATED TO PROVIDE CROSS VENTILATION.
 7. PROVIDE MINIMUM 60 SO. IN. TIED VENTING PER CAR TO OUTSIDE AIR. 4" ABOVE GARAGE FLOOR.
 8. CONCRETE SHALL DEVELOP 2500 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS. IN ACCORDANCE WITH THE PROVISIONS IN AC 318 STANDARD PRACTICE FOR CURING CONCRETE. LATEST EDITION.
 9. ALL CONCRETE WORK SHALL CONFORM WITH THE APPLICABLE PROVISIONS, LATEST EDITION.
 10. REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 40 FOR #1 BARS AND SMALLER, AND GRADE 60 FOR #4 BARS AND LARGER. BARS SHALL BE WIRE TOGETHER AND LAPPED AT SPACES A MINIMUM OF 40 BAR DIAMETERS IN CONCRETE AND MASONRY. WHERE PARS OF SINGLE LAYER HORIZONTAL BARS MEET AT CORNERS, BEND ONE BAR TO LAP 40 BAR DIAMETERS WITH THE INTERSECTING BAR. ALTERNATELY, PROVIDE 3 BARS WITH EACH LEG 40 BAR DIAMETERS. SEE DRAWINGS FOR OTHER LAP REQUIREMENTS WHERE NOTED. WHERE CONCRETE IS POURED AGAINST EARTH, PROVIDE 2" MINIMUM CORNERS AROUND REINFORCED STEEL. CONCRETE COVER FOR OTHER CONDITION SHALL BE AS FOLLOWS: (1) ABOVE GRADE FORMED - 1 1/2" MIN. (2) BELOW GRADE - FORMED - 2" MIN. (3) OTHER - SEE STRUCTURAL PLANS.
 11. PROVIDE NECESSARY HOLES THROUGH CONCRETE FOR ACCESS, PLUMBING, ETC. USE POUND DET. GARAGE SLAB TO BE FINISHED SMOOTH. ALL OTHER EXPOSED CONCRETE SLABS SHALL BE LIGHT BROWN FINISH, UNLESS NOTED OTHERWISE.
 12. SLOPE GARAGE SLAB 1/4" TO 1" OUTSIDE FOR DRAINAGE.
 13. ALL DIMENSIONS ARE TO FACE OF CONCRETE FOR FOUNDATION FACE OF STUDS FOR FRAMING, U.N.G.
 14. FRAMING ANCHORS AND STRONG AND OTHER STANDARD FRAMING ACCESSORIES SHALL BE "SUMPION" OR APPROVED EQUAL OF THE DESIGNATION NOTED ON THE PLANS. ALL NAIL HOLES SHALL BE FILLED, AND NAILS SHALL BE OF THE SIZE AND LENGTH SPECIFIED AND/OR SUPPLIED BY THE MANUFACTURER, UNLESS NOTED OTHERWISE. WHEN INSTALLING OVER PLYWOOD, USE COMMON NAILS. JOIST AND BEAM NAILING SHALL BE 1" MIN., EXCEPT AS NOTED.
 15. 2" MAX OR EQUAL AT PRESSURE TREATED WOOD.

- ### FRAMING, FINISHES, ETC.:
1. ALL CONVENTIONAL CONSTRUCTION REQUIREMENTS AND ANY OTHER SECTION OF 2019 C.B.C. UNLESS NOTED OTHERWISE IN THE PLANS. THESE SPECIFICATIONS:
 2. METAL FRAME CONNECTORS SHALL BE EMPLOYED ON EQUAL INSTALL PER MANUFACTURER'S SPECS.
 3. FLOOR JOISTS AND CEILING JOISTS TO BE JOIST LAPPED AND NAILED OVER TOP PLATES.
 4. PROVIDE RAFTER TIES MINIMUM 1/4" X 8" O.C. IN LOWER THIRD OF ATTIC WHERE CEILING JOISTS DO NOT SPAN LINE TO LINE.
 5. ALL BOLTS THROUGH WOOD SHALL BE A DRIVE FIT WITH WASHER UNDER HEADS AND NUTS.
 6. PROVIDE SLOTTED BOLTS AT ENDS OF ALL JOISTS AND RAFTERS, OVER BEARING WALLS AND AT 8'-0" O.C. MAXIMUM FOR 2X12 AND DEEPER MEMBERS.
 7. ATTIC VENTILATION SHALL BE APPLIED TO APPROX 1/3 OF BUILDING PITCH.
 8. ALL EXTERIOR WALL COVERINGS SHALL BE INSTALLED OVER MINIMUM 1/2 LB. BUILDING PAPER.
 9. PROVIDE 2"x2"x30" ATTIC ACCESS WITH MINIMUM 30" HEADROOM.
 10. EXTERIOR STUCCO WALLS SHALL HAVE A 3/16" 1/2" WEEP SOEKED AT OR BELOW THE FOUNDATION SHEATHING. STUCCO TO BE APPLIED 3/4" COAT APPLICATION.
 11. PROVIDE DOUBLE RAFTERS AND HEADERS AT ALL SLOTTED OPENINGS.
 12. OCCUPANCY SEPARATION BETWEEN GARAGE AND HOUSE SHALL BE A SELF-CLOSING, TIGHT FITTING, SOLID CORE DOOR 1 3/8" MINIMUM THICKNESS.
 13. MINIMUM 4'-8" CLEARANCE REQUIRED FROM STAIR TREAD NOSING TO CEILING.
 14. COMBUSTION AIR - PROVIDE 2" x 6"x16"-1/4" MESH VENTS 6" FROM FLOOR & 6" FROM CEILING. SLOTTINGS SHALL BE TEMPERED/INSULATED GLASS FOR GLAZED SKYLIGHTS.
 15. TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED FLAME CO. A SHATTER-RESISTANT TYPE.
 16. INTERMEDIATE WALLS OR AN ORNAMENTAL PATTERN SHALL PREVENT PASSAGE OF A 4" DIAMETER SPHERE. IN ADD TO LIES. LINEAR FOOT APPLIED HORIZONTALLY TO THE TOP MAX. 8"16" O.C. UNLESS OTHERWISE SPECIFIED.
 17. ALL FRAMING LUMBER SHALL BE GRADE STAMPED. ALL WALLS SHALL BE FRAMED WITH 2X4 STUDS AND 2X6 OR 2X8 LIES. LINEAR FOOT APPLIED HORIZONTALLY TO THE TOP MAX. 8"16" O.C. UNLESS OTHERWISE SPECIFIED.
 18. PLYWOOD SHALL BE APA RATED SHEATHING CONFORMING TO PS-43. EXPOSURE 1 OF EXTERIOR, OF THE THICKNESS, GRADE AND/OR SPAN RATINGS NOTED ON THE DRAWINGS. LAY FACE GRAIN SHEETS PERPENDICULAR TO SUPPORTING MEMBERS OF HORIZONTAL SHEATHING. SHEETS MAY LAP WITH FACE GRAIN EITHER PERPENDICULAR OR PARALLEL TO SUPPORTING MEMBERS OF VERTICAL SHEATHING, PROVIDED THAT SHEET EDGES ARE BLOCKED UP AT THE CENTER OF ALL SHEETS AND UNINSULATED SHEET EDGES ON ROOFS, UNLESS TONGUE AND GROOVE EDGES ARE USED.
 19. PLYWOOD EDGE NAILING PER 2019 C.B.C. OR AS SPECIFICALLY NOTED SHALL OCCUR AT ALL FRAMED OR BLOCKED SHEET EDGES AND AT OTHER LOCATIONS INDICATED ON THE PLANS AND DETAILS, WHETHER OR NOT SHEET EDGES OCCUR AT THESE LOCATIONS.
 20. MICROFILM MEMBERS SHALL BE AS MANUFACTURED BR. JUST OR APPROVED EQUAL, IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS: 70x260 AND 1x4/160000 (MIL CONFORMING TO NEN-481)
 21. GULF-LAMINATED BEAMS MANUFACTURED BY AN APPROVED FABRICATOR, CERTIFICATE OF COMPLIANCE SHALL BE PROVIDED UNLESS NOTED. GULF-LAMS SHALL BE GRADE 40/14 FOR SIMPLE SPANS.
 22. STUD WALLS HORIZONTAL BRIDGING SHALL BE INSTALLED IN ALL WALLS AND PARTITIONS WHERE STUDS ARE GREATER THAN EIGHT FEET IN HEIGHT. STUD WALLS SUPPORTING BEAMS SHALL HAVE POSTS OF THE SAME WIDTH UNDER BEARINGS UNLESS OTHERWISE NOTED.
 23. WOOD SILLS SHALL BE ATTACHED TO CONCRETE FOUNDATIONS OR SLAB WITH 5/8"x10" ANCHOR BOLTS 6'-0" O.C. MAXIMUM SPACING, EXCEPT AS NOTED OTHERWISE. THERE SHALL BE A MINIMUM OF TWO BOLTS INCLUDING ONE BETWEEN 4" AND 10" FROM EACH ADJOINING PIECE EXCEPT AS OTHERWISE NOTED.
 24. DOUBLE PLATES SHALL LAP A MINIMUM OF 4'-0" AT SPICES AND BE NAILED WITH NO LESS THAN 18-16 PAILS. ALL CUTS IN PLATES SHALL OCCUR OVER A STUD.
 25. HOLES IN WOOD SILLS OR PLATES OF SHEAR OR BEARING WALLS SHALL BE PLACED IN THE CENTER OF THE SPACE AND SHALL BE NO GREATER IN DIAMETER THAN 1/2 THE WIDTH OF THE MEMBER. HOLES LARGER THAN NOTED ABOVE MAY BE BORED IN SILLS, PROVIDING THE SILL IS CONSIDERED CUT IN TWO AND ANCHOR BOLTS ARE PLACED ACCORDINGLY.
 26. UNLESS OVER OPENINGS IN NON-BEARING WALLS SHALL BE SOLID MEMBERS THE WIDTH OF THE STUDS AND A MINIMUM NOMINAL DEPTH IN INCHES AT LEAST EQUAL TO THE SPAN LENGTH IN FEET. UNLESS IN BEARING WALLS SHALL BE AS NOTED ON THE PLANS.
 27. CUTTING OF BEAMS AND JOISTS FOR PIPES SHALL BE NOT PERMITTED WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
 28. ALL TIMBER FRAMING TO HAVE MOISTURE CONTENT OF 19% OR LESS AT THE TIME OF CONNECTION/INSTALLATION.

- ### PLUMBING:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION (2019 C.P.C.) AND ALL APPLICABLE CODES AND LOCAL ORDINANCES.
 2. SLOPE OF DRAINS 1/4" PER FT. MINIMUM. CLEARANCE FOR CLEANOUTS 18" MINIMUM.
 3. PROVIDE 1/2" SQ. ACCESS PANEL OR UTILITY SPACE FOR ALL PLUMBING FIXTURES HAVING CONCEALED SUMP JUNK CONNECTIONS.
 4. TOILET SINK HAVE MAX. 1.28 GAL./FLUSH; SHOWER HEAD FLOW SHALL BE MAX. 1.8 GAL./MAX. AT 80 PSI; WATER PRESSURE SHALL BE 50 PSI MAX.; FAUCETS SHALL BE MAX. 1.2 GPM.
 5. PIPE MATERIALS:
 - A. WATER - COPPER TYPE "M" WITH LEAD SOLDER
 - B. DRAINS - SCHEDULE 40 ABS
 - C. GAS - SCHEDULE 40 BLACK STEEL
 6. FIREPROOF OUTLET CONTROL VALVES SHALL BE LOCATED IN THE SAME ROOM AS THE OUTLET, OUTSIDE THE HEARTH, BUT NOT MORE THAN 4' FROM SUCH OUTLET.
 7. ALL FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GPM @80 PSI.
 8. KITCHEN SINKS, LAUNDRIES, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER.
 9. THE USE OF SOLID FUEL CONTAINING MORE THAN TEN-PERCENTS OF 1 PERCENT LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEM IS PROHIBITED.
 10. ALL HOT WATER FAUCETS THAT HAVE MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET SHALL BE EQUIPPED WITH A HOT WATER REGULATING SYSTEM. (SECTION 610, ORD. 3522)

- ### PLUMBING CONTINUED:
1. PROVIDE 2X6 PLUMBING WALLS.
 2. WATER HEATERS SHALL BE FINISHED WITH A NON-ABSORBANT SURFACE TO A HEIGHT OF 2" ABOVE DRAIN INLET. SHOWER & TUB WALLS TO BE A SMOOTH, HARD NON-ABSORBANT SURFACE OVER ALL OTHER RESISTANT SURFACES. WATER HEATER CEMENT, GASKET MAT (GYPSUM, ETC.) TO A HT. OF 7/2" ABOVE DRAIN INLET (NOT 7/0" PER CJC 302).
 3. USE NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL HOSE BIBBS (GYPSUM).
 4. WATER HEATERS SHALL HAVE A PRESSURE RELIEF VALVE, W/30# TO 150#.
 5. SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES AND DISTRICT MOUNTING.
 6. PROVIDE APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON HOSE BIBBS.
 7. PROVIDE WATER LINE FROM METER TO WATER HEATER.
 8. ALL BUILDING WATER SUPPLY SYSTEMS IN WHICH QUICK-CLOSING VALVES (WASHING MACHINES, DRYERS, ETC.) ARE INSTALLED, SHALL BE PROVIDED WITH DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THESE VALVES.
 9. FERROS GAS PIPES MUST BE ELECTRICALLY ISOLATED FROM THE REST OF THE GAS SYSTEM WITH A LISTED OR APPROVED ISOLATION FITTING INSTALLED A MIN. OF 6" ABOVE GRADE.

- ### MECHANICAL:
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH (2019 C.M.C.) AND ALL APPLICABLE CODES AND LOCAL ORDINANCES.
 2. CLOTHES DRYER SHALL BE VENTED TO EXTERIOR OF BUILDING. ALL FACTORY MADE PRODUCTS TO BE INSTALLED TO INSTALLATION INSTRUCTIONS & STANDARDS. USE UL 1818 TAPE.
 3. BATHROOMS, TOILET COMPARTMENTS AND LAUNDRY ROOMS REQUIRING MECHANICAL VENTILATION SHALL HAVE A SYSTEM CAPABLE OF PROVIDING 3 AIR CHANGES PER HOUR.
 4. SPARK ARRESTOR REQUIRED ON EACH FIREPLACE CHIMNEY AND SHALL HAVE MINIMUM AREA OF 4 TIME NET FREE AREA OF CHIMNEY OUTLET.
 5. CHIMNEYS SHALL EXTEND MIN. 2' ABOVE THE HIGHEST ELEVATION OF ANY PART OF THE BUILDING WITHIN 10' OF CHIMNEY. SECURE LEAD SECTION OF METAL FLUE TO PREVENT LATERAL DISPLACEMENT.
 6. STRAP WATER HEATERS TO WALL AND/OR FASTEN TO FLOOR TO RESIST LATERAL FORCES EQUAL TO 100% OR CONTING LOAD.
 7. HEATING AND COOLING EQUIPMENT LOCATED IN THE GARAGE WHICH GENERATES A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED WITH PLUGS AND BURNERS OR HEATING ELEMENTS & SWITCHES AT LEAST 18" ABOVE THE FLOOR LEVEL.
 8. ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3" ABOVE ANY OPENING INTO BUILDING.
 9. DUCTS PENETRATING THE SEPARATION SHALL BE CONSTRUCTED OF NOT LESS THAN 26 GAUGE GALVANIZED STEEL OR EQUIVALENT. ALL DUCTS SHALL BE AT LEAST TWO WRAPS OF APPROVED DUCT TAPE AND SECURE WITH AN APPROVED CLAMP.
 10. PIPING PENETRATING THE SEPARATION SHALL BE PROTECTED BY TWO WRAPS OF APPROVED TAPE OR AN APPROVED CLAMP.
 11. PIPING PENETRATING THE SEPARATION SHALL BE PROTECTED BY TWO WRAPS OF APPROVED TAPE OR AN APPROVED CLAMP.
 12. AIR DUCTS INSTALLED UNDER A FLOOR IN A CRAWL SPACE SHALL BE INSTALLED SO AS TO MAINTAIN A VENT CLEARANCE OF SEVENTEEN (17) INCHES FOR ALL PORTIONS OF THE DUCT THAT WOULD OBSTRUCT ACCESS TO ANY PART OF A GASE. C.M.C. SECTION 604.1.

- ### ELECTRICAL:
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF (2019 C.E.C.) AND ALL APPLICABLE CODES AND LOCAL ORDINANCES.
 2. ALL 120 VOLT, SINGLE PHASE 15 AND 20 AMP RECEPTACLE OUTLETS INSTALLED OUTDOORS, IN BATHROOMS, BATHS AND TOILET ROOMS AND THE KITCHEN AREAS OR AREAS SHALL HAVE GROUND-Fault CIRCUIT PROTECTION.
 3. ALL RECEPTACLES SHALL BE USED AS ELECTRICAL GROUND.
 4. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND HAVE A SECONDARY POWER SOURCE. ONE SMOKE DETECTOR SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY ON EACH FLOOR.
 5. SMOKE DETECTORS SHALL HAVE A CLEARANCE OF NOT LESS THAN 3 FEET FROM WINDOWS, DOORS, SEARCHES, FIRE ESCAPES OR LOCATIONS.
 6. GENERATOR SHALL BE LOCATED IN KITCHEN AND BATHS.
 7. LIGHT FIXTURES ABOVE SHOWER/TUB SHALL BE W.P. RATED AND COMPLY WITH CODE.
 8. RECEPTACLES WITH AN INSULATED NEUTRAL, & A FOUR-PRONG OUTLET ARE REQUIRED FOR DRYERS & COOLING UNITS.
 9. RECEPTACLES AT FRONT AND REAR OF HOME SHALL BE WATERPROOF & G.F.C.I. PROTECTED & MUST BE WITHIN 2'-6" OF GROUND.
 10. PROVIDE G.F.I. CIRCUITS AT GARAGE, KITCHEN, BATHS AND EXTERIOR.
 11. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT SINGLE PHASE 15- AND 20-AMPERE CIRCUITS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (A.F.C.I.) PROTECTED PER C.E.C. 210.12(B).
 12. KITCHEN RECEPTACLES TO BE IN ACCORDANCE WITH CALIFORNIA ELECTRICAL CODE:
 - TWO 20-AMP SMALL APPLANCE CIRCUITS SUPPLYING KITCHEN & DINING ROOM.
 - SEPARATE CIRCUIT FOR DISHWASHER.
 - SEPARATE CIRCUIT FOR SUMP PUMP.
 13. DISHWASHER RECEPTACLE MUST BE ACCESSIBLE. LOCATE UNDER KITCHEN SINK.
 14. ALL BATHROOM RECEPTACLES TO BE SUPPLIED BY A DEDICATED 20 AMP CIRCUIT WITH G.F.C.I. PROTECTION. CALIFORNIA ELECTRICAL CODE ARTICLE 210-8 & 210-11(C)(3).
 15. CENTRAL HEATING RECEPTABLE SHALL BE SUPPLIED BY AN INDIVIDUAL BRANCH CIRCUIT.
 16. ALL LIGHTS/LUMINAIRES SHALL BE IN EFFECT AND BE CONTROLLED BY A VACUUMY SENSOR SWITCH IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS.
 17. ALL LIGHTS/LUMINAIRES SHALL BE IN EFFECT AND BE CONTROLLED BY A VACUUMY SENSOR SWITCH IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS.
 18. RECESSED LUMINAIRES ARE REQUIRED TO BE LABELED FOR ZERO CLEARANCE INSULATION COVERAGE (IC) AND SHALL BE LABELED AIR TIGHT (AT).
 19. ALL BATHROOM RECEPTABLES TO BE SUPPLIED BY A DEDICATED 20 AMP CIRCUIT WITH G.F.C.I. PROTECTION. CALIFORNIA ELECTRICAL CODE ARTICLE 210-8 & 210-11(C)(3).
 20. ALL LAUNDRY ROOM RECEPTABLES TO BE SUPPLIED BY A DEDICATED 20 AMP CIRCUIT.
 21. FACTORY-BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH ITS DPA NEW SOURCE PERFORMANCE STANDARDS (NPS) DIMENSION LISTING. (4.5(31)). GAS FIREPLACES SHALL BE LISTED VENT TYPE (4.5(31)). MANUFACTURER'S INSTRUCTIONS MUST BE FOLLOWED.
 22. ALL LIGHT SOURCES IN CEILING RECESSED DOWNLIGHT LUMINAIRES. CEILING RECESSED DOWNLIGHT LUMINAIRES SHALL NOT HAVE BULB BASES REGARDLESS OF LAMP TYPE AS DESCRIBED IN SECTION 150.0(A)(1).
 23. 2" x 2" SOCKETS CONTAINING LED LIGHT SOURCES. A 2" x 2" LAMP FITTING IS A TWO-PIN CONNECTOR FOR COMPACT FLUORESCENT LAMPS (CFL) OR LED LAMPS THAT USES A BAYONNET MOUNT-LIKE TEST-LIGHT TWO-PIN CONNECTOR INSTEAD OF AN Edison SPHERE FITTING.
 24. ANY LIGHT SOURCE NOT OTHERWISE LISTED ABOVE AND CERTIFIED TO THE COMMISSION AS COMPLYING WITH JOINT APPENDIX B.
 25. FIXTURES RECESSED INTO CEILING SHALL BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT (IC). HAVE A LABEL THAT CERTIFIES THAT THE FIXTURE IS AIRTIGHT WITH AN LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS (AT). BE SEALED WITH A CASSET OR CAULK TO THE CEILING, HAVE ACCESSIBLE BALLASTS/DRIVERS (IF APPLICABLE), AND NOT CONTAIN A POWER BASE SOCKET. THEY SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCED JOINT APPENDIX JAS. INCLUDING THE ELEVATED TEMPERATURE REQUIREMENTS, AND THAT ARE MARKED "SAS-2104-4" (CFC 150.0)(1)(C).
 26. ALL RECEPTABLES SERVING KITCHEN COUNTERTOPS SHALL BE GFCI PROTECTED PER CEC 410.6(A)(6). COUNTERTOP RECEPTABLES SHALL BE LOCATED SO THAT NO POINT ABOVE THE RECEPTABLE IS MORE THAN 18" INCHES FROM A RECEPTABLE OUTLET. (CEC 210.52(C)(1)). IN ADDITION, CEC SECTION 210.12 (C) RECEPTABLES SHALL BE IN ACCORDANCE WITH CALIFORNIA ELECTRICAL CODE (CEC 210.52(C)(1A)(2)).
 27. RECEPTABLES ARE REQUIRED FOR ALL RECEPTABLES WITH 15' OF ALL SINKS. THIS NOW INCLUDES THE RECEPTABLE FOR THE GARBAGE DISPOSAL BELOW THE SINK, MICROWAVE, REFRIGERATOR AND SINK (BATH).
 28. PROVIDE A MINIMUM OF 100 CFM LOCAL EXHAUST FAN FOR THE KITCHEN, WHICH MAY BE ACHIEVED BY RANGE HOODS (DO NOT EXCEED 100 CFM). RANGE HOODS SHALL BE COVERED WITH PLASTIC, ESPECIALLY DURING THE WINTER MONTHS OR DURING PERIODS OF RAIN.
 29. LOCAL EXHAUST FAN OF CONSTRUCTION, ALL REMAINING EXPOSED SOLLS SHALL BE PERMANENTLY PROTECTED FROM LANDSCAPING PLAN.
 30. EXPOSED SOLLS ON SLOPES GREATER THAN 20% SHALL BE SEEDED, COVERED WITH 2 INCHES OF STRAW, AND AN EROSION CONTROL BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE AND THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES NECESSARY TO CONTROL SOIL EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
 31. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES NECESSARY TO CONTROL SOIL EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
 32. ROOF AND SITE DRAINAGE TO PERCOLATE TO LOT AREA, UNLESS NOTED, DOWNSPOUTS TO SPRAWLBACKS TO SURFACE DRAIN TO ESTABLISHED LANDSCAPE AREAS.

- ### FIRE DEPARTMENT REQUIREMENTS:
- OCCUPANCY CLASSIFICATION R-3/B
BUILDING CONSTRUCTION TYPE V-3
- FIRE FLOW REQUIREMENTS FOR SUBJECT PROPERTY ARE A MINIMUM 1,000 GALLONS PER MINUTE FROM HYDRANT LOCATED WITHIN 250 FEET.
- EXISTING HYDRANT 1.590 G.P.M.
1. THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2019) AND DISTRICT ORDINANCES.
 2. DESIGNER/INSTALLER SHALL SUBMIT THREE SETS OF PLANS AND CALCULATIONS FOR THE UNDERGROUND AND OVERHEAD RESIDENTIAL AUTOMATIC SPRINKLER SYSTEM TO FIRE APPROVAL.
 3. SMOKE DETECTORS ARE TO BE INSTALLED ACCORDING TO CALIFORNIA BUILDING CODE AND APPROVED BY FIRE AGENCY.
 4. PLUMBING NUMBERS SHALL BE INSTALLED, NUMBERS SHALL BE A MINIMUM OF FOUR INCHES IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET.
 5. INSTALL AN APPROVED SPARK ARRESTOR ON THE TOP OF CHIMNEYS. THE WIRE MESH SHALL NOT EXCEED 1/2 INCH.
 6. ROOF COVER SHALL BE NO LESS THAN CLASS "A" RATED ROOF.
 7. A 30'-FOOT CLEARANCE WILL BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES OR TO THE PROPERTY LINE WHICHEVER IS A SHORTER DISTANCE.
 8. THE JOB BODIES OF THE BUILDING AND FIRE SYSTEMS PLANS AND PERMITS MUST BE ON SITE DURING INSPECTIONS.
 9. FIRE HYDRANT SHALL BE PAINTED IN ACCORDANCE WITH THE STATE OF CALIFORNIA HEALTH AND SAFETY CODE. SEE JURISDICTION REQUIREMENTS.
 10. FIRE HYDRANT SHALL HAVE IN PLACE IN ACCORDANCE WITH THE STATE OF CALIFORNIA HEALTH AND SAFETY CODE. SEE JURISDICTION REQUIREMENTS.
 11. THE DRIVEWAY SHALL HAVE AN OVERHEAD CLEARANCE OF 14 FEET VERTICAL DISTANCE FOR ITS ENTIRE WIDTH.
 12. AS PART OF THE SUBMITTAL OF THESE PLANS, THE OWNER AND INSTALLER CERTIFY THAT THESE PLANS AND DETAILS COMPLY WITH APPLICABLE SPECIFICATIONS, STANDARDS, CODES AND ORDINANCES. ADMIT THAT THEY ARE SOLELY RESPONSIBLE FOR COMPLIANCE WITH SPECIFICATIONS, STANDARDS, CODES AND ORDINANCES, AND FURTHER AGREE TO CORRECT ANY DEFICIENCIES NOTICED BY THE REVIEW, SUBSEQUENT REVIEW, INSPECTION OR OTHER SOURCE, AND TO HOLD HARMLESS AND WITHOUT PREJUDICE, THE REVIEWER AND REVIEWING AGENCY.
 13. DRIVEWAY WILL BE 14 FEET WIDE WITH A MAXIMUM SLOPE OF 8% WITH A SOIL COMPACTION OF 95% DRYWEIGHT. SEE SITE PLANS FOR DRIVEWAY.
 14. CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 333 AND OUR STANDARD DETAIL AND SPECIFICATION 51-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP.33.

- ### EROSION CONTROL:
1. NO LAND CLEARING, GRADING, OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 15TH AND APRIL 15TH. ANY DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE EROSION CONTROL PLAN BY ENVIRONMENTAL PLANNING PRIOR TO BEGINNING SUCH CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
 2. UNDESIRABLE GRADING AND DISTRIBUTING OF SOIL SHALL BE AVOIDED.
 3. BETWEEN OCTOBER 15TH AND APRIL 15TH EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. WET BARES, FILTER BARRIERS, SILT FENCES OR OTHER MEANS SHALL BE EMPLOYED TO PREVENT EROSION OF EXPOSED SOIL.
 4. DURING CONSTRUCTION, NO TURBO WATER SHALL BE PERMITTED TO ENTER THE CHANNEL OR STORM DRAIN SYSTEM. USE OF SILT AND GRADE TRAPS, FILTER BARRIERS, WET BARES OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
 5. ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR PLANTING OF THE FOLLOWING SOIL APPROVED EROSION CONTROL MAT AT A RATE OF 3.5 LBS. PER ACRE:
 - BRANDMO BRIORE 50%
 - ROSE CLOVER (PELLET INOCULATED) 15%
 - CREeping RED FESCUE 15%
 - ZORRO ANNUAL FESCUE 15%
 - WILDFLOWER TRACE
 6. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED S.C. COUNTY DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
 7. ANY MATERIAL STOCKPILED ON-SITE SHALL BE COVERED WITH PLASTIC, ESPECIALLY DURING THE WINTER MONTHS OR DURING PERIODS OF RAIN.
 8. LOCAL EXHAUST FAN OF CONSTRUCTION, ALL REMAINING EXPOSED SOLLS SHALL BE PERMANENTLY PROTECTED FROM LANDSCAPING PLAN.
 9. EXPOSED SOLLS ON SLOPES GREATER THAN 20% SHALL BE SEEDED, COVERED WITH 2 INCHES OF STRAW, AND AN EROSION CONTROL BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE AND THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES NECESSARY TO CONTROL SOIL EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
 10. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES NECESSARY TO CONTROL SOIL EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
 11. ROOF AND SITE DRAINAGE TO PERCOLATE TO LOT AREA, UNLESS NOTED, DOWNSPOUTS TO SPRAWLBACKS TO SURFACE DRAIN TO ESTABLISHED LANDSCAPE AREAS.

- ### RESIDENTIAL WINDOWS AND DOOR CODE REQUIREMENTS:
1. TESTED AND LABELED TO COMPLY WITH THE ANNA STANDARDS PER CRC. SEC. 609.3.
 2. SAFETY GLAZING TESTING AND LABELING PER CEC. SECTION 608.1 & 308.4.
 3. ENERGY TESTING AND CERTIFICATION PER CEC. SEC. 110.6.

5.A.1

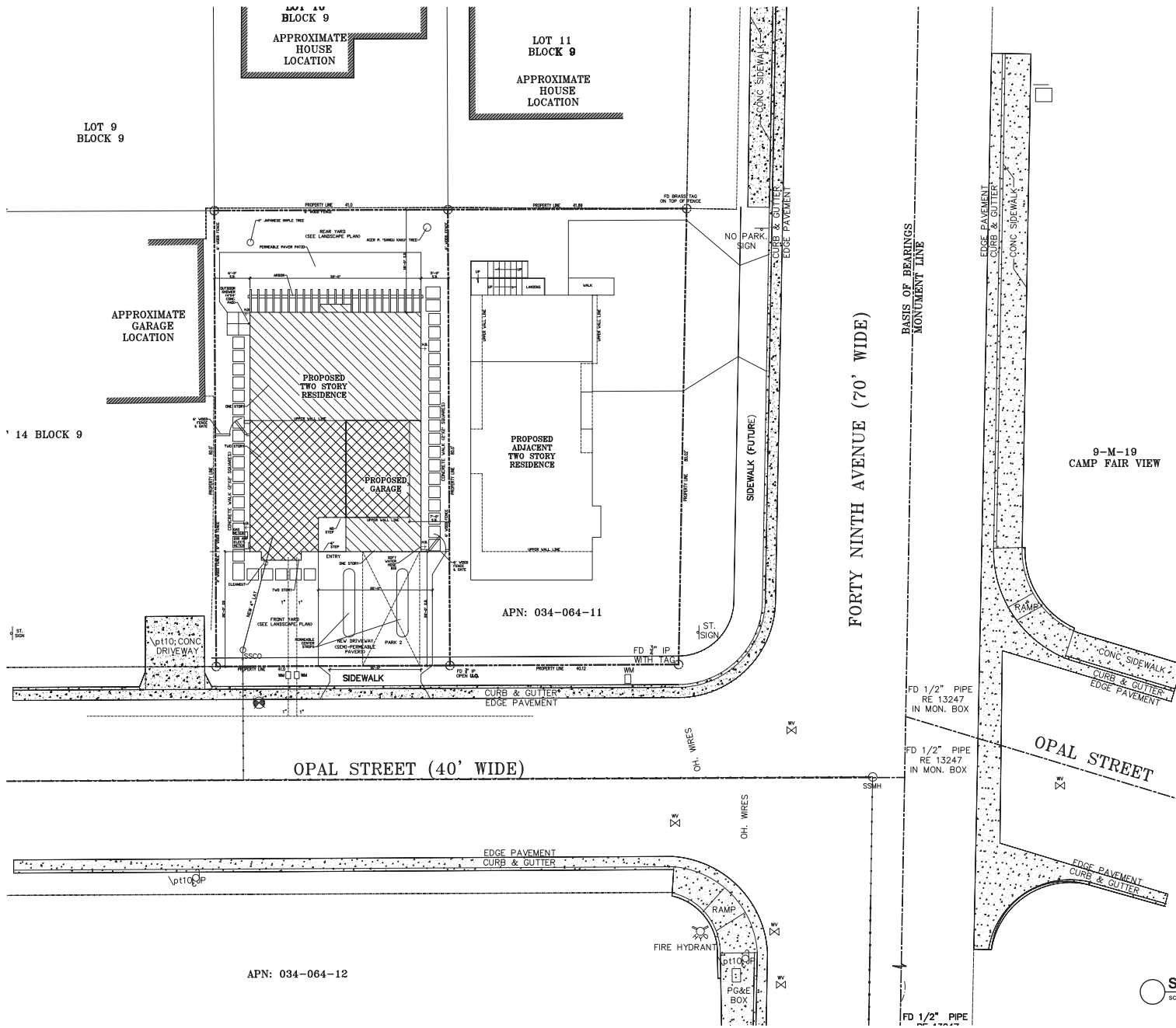
OWNER:
DRVO BUILDERS II
1568 GLEN AVE
MOUNTAIN VIEW CA 951
4168-858-22

DRVO BLDRS RESIDENCE
4875 OPAL ST
CAPITOLA, CA 95010
ADN 034-064-17

DENNIS NORTON
HOME DESIGN AND PROJECT PLANNING
717-C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
PHONE: (831) 378-1616
FAX: (831) 378-1616

GENERAL NOTES
Attachment: 4875 Opal Street - Plan Set (4875 Opal Street)

DRAWN: C
SCALE:
JOB NO. OPAL
DATE: 05/05/19
SHEET
1A
OF # SHEET



NOTE:
SEE PAGE C-2 FOR
GRADING & DRAINAGE
& UTILITIES.
SEE C-4 FOR EROSION
CONTROL PLAN

SITE PLAN
SCALE: 1/8"=1'-0"

5.A.1

OWNER
DRVO BUILDERS INC
1568 GLEN UNA CT
MOUNTAIN VIEW CA 95010
415-556-2240

DRVO BLDRS RESIDENCE
4875 OPAL ST
CAPITOLA, CA 95010
APN 034-064-12

DENNIS NORTON
HOME DESIGN AND PROJECT PLANNING
1112 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
PH: 831-337-1111 FAX: 831-337-1112
WWW.DENNISNORTONPP.COM

PROPOSED
SITE PLAN

DRAWN: GG

SCALE: 1/8"=1'-0"

JOB NO. OPAL

DATE: 07/07/21

SHEET

2
OF # SHEETS

Attachment: 4875 Opal Street - Plan Set (4875 Opal Street)

OWNER:
DRVO BUILDERS INC
1568 GLEN UNA CT
MOUNTAIN VIEW CA 95040
408-856-2240

DRVO BLDRS RESIDENCE
4875 OPAL ST
CAPITOLA, CA 95010
APN 034-064-12

DENNIS NORTON
HOME DESIGN AND PROJECT PLANNING
1712 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
PH: 408-688-1111
WWW.DENNISNORTONPP.COM

PROPOSED
FLOOR PLAN

DRAWN: GG
SCALE: 1/4" = 1'-0"
JOB NO. OPAL

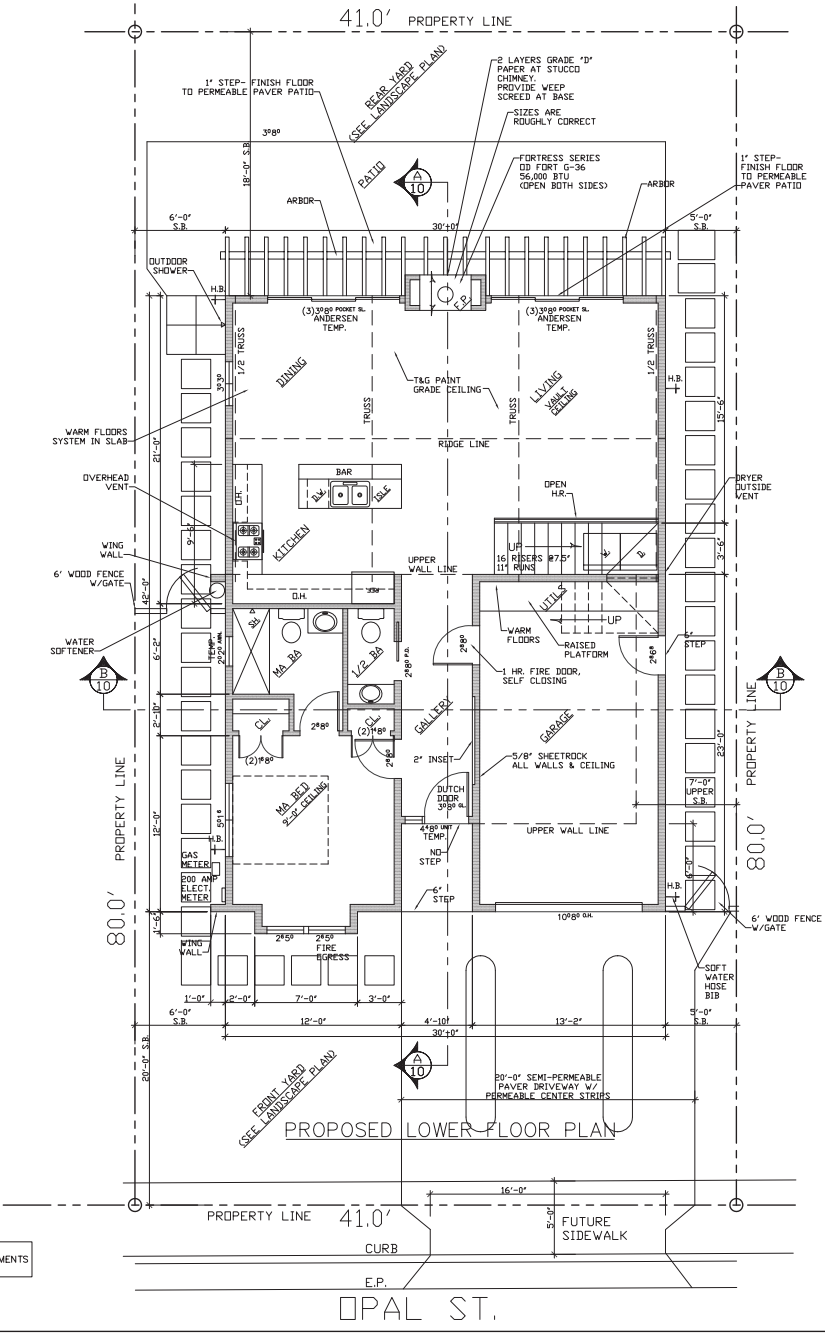
DATE: 07/07/21

SHEET

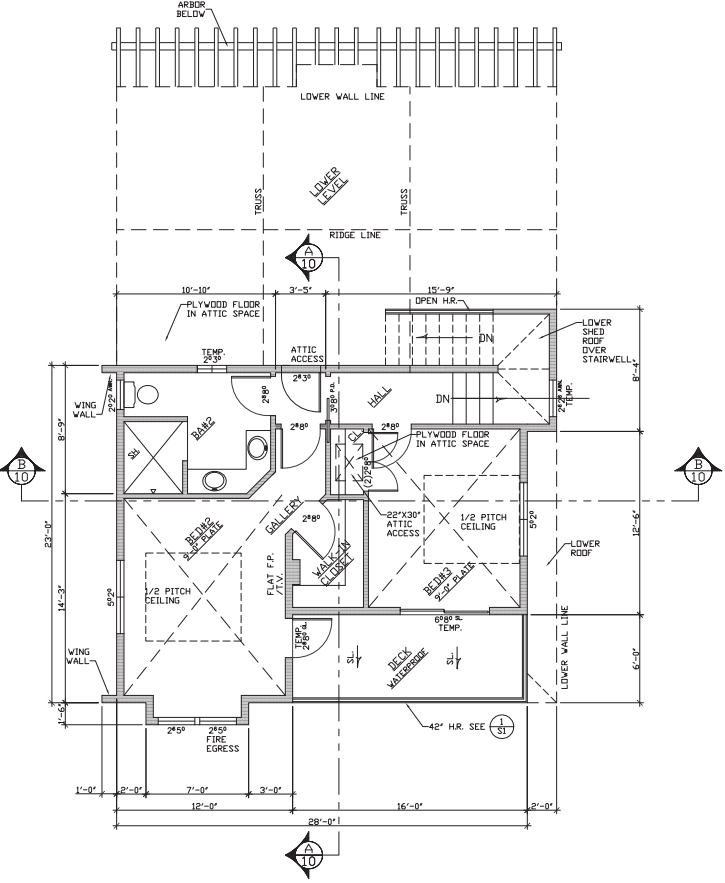
4
OF # SHEETS

Attachment: 4875 Opal Street - Plan Set (4875 Opal Street)

PROPOSED S.F.
1ST FLOOR = 940 S.F.
2ND FLOOR = 500 S.F.
SUBTOTAL = 1,440 S.F.
GARAGE = 300 S.F.
TOTAL = 1,740 S.F.
DECK = 96 S.F.



PROPOSED LOWER-FLOOR PLAN



PROPOSED UPPER FLOOR PLAN

NOTE: THE CAL GREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET CB.1

OPAL ST.

OWNER:
DRVO BUILDERS INC.
1568 GLEN UNA CT
MOUNTAIN VIEW CA 95040
408-856-2240

DRVO BLDRS RESIDENCE
4875 OPAL ST
CAPITOLA, CA 95010
APN 034-064-12

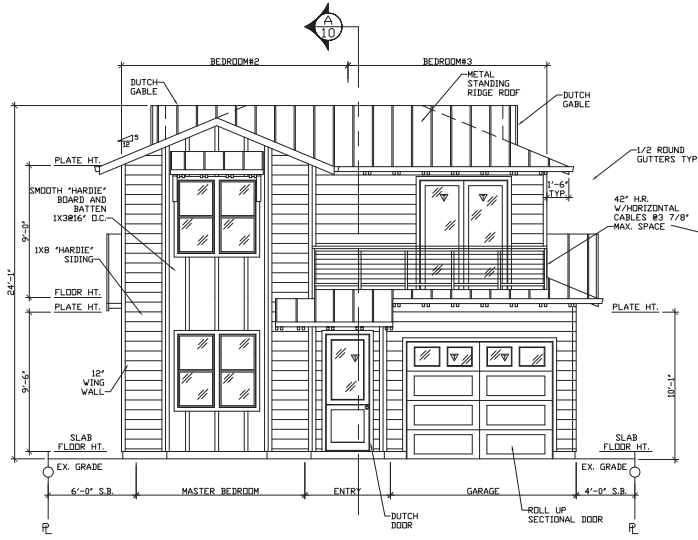
DENNIS NORTON
HOME DESIGN AND PROJECT PLANNING
112 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
PH: 831-335-1111 FAX: 831-335-1112
WWW.DENNISNORTONPP.COM

ELEVATIONS

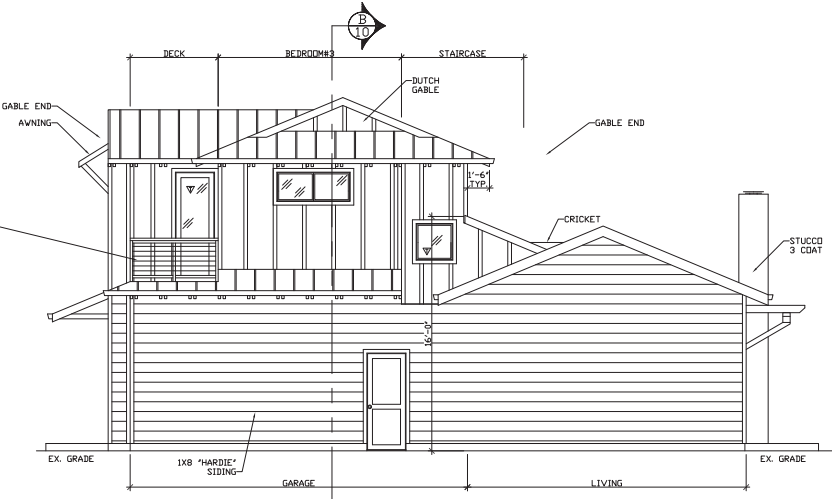
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SCALE: 1/4" = 1'-0"
JOB: OPAL
DATE: 07/07/21

SHEET
5
OF # SHEETS

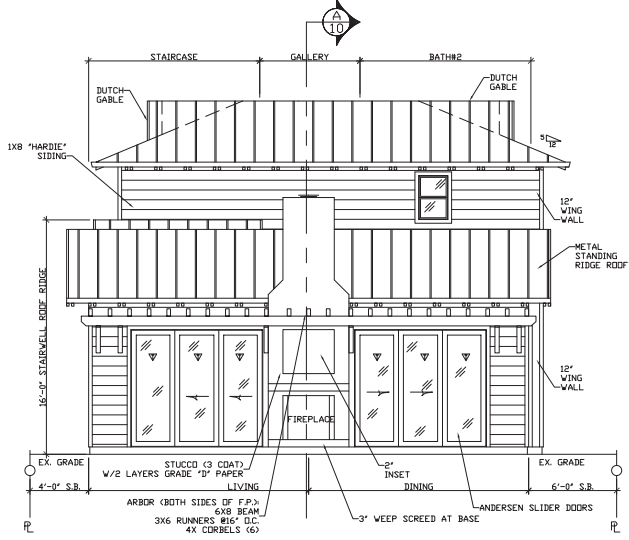
Attachment: 4875 Opal Street - Plan Set (4875 Opal Street)



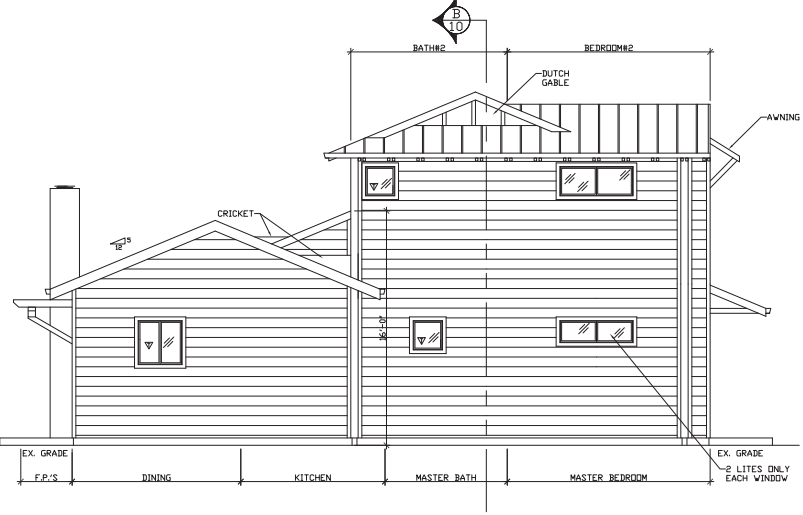
SOUTH



EAST



NORTH



WEST

NOTE: ▽ = TEMPERED GLASS

OWNER:
DRVO BUILDERS, INC.
1568 GLEN UNA
MOUNTAIN VIEW CA 951
408-858-2171

DRVO BLDRS RESIDENCE
4875 OPAL ST
CAPITOLA, CA 95010
ADN 07A-06A-12

DENNIS NORTON
HOME DESIGN AND PROJECT PLANNING
712 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
PHONE: (831) 475-2010 FAX: (831) 475-2015



ROOF
PLAN

DRAWN: C

SCALE: 1/4" = 1'-0"

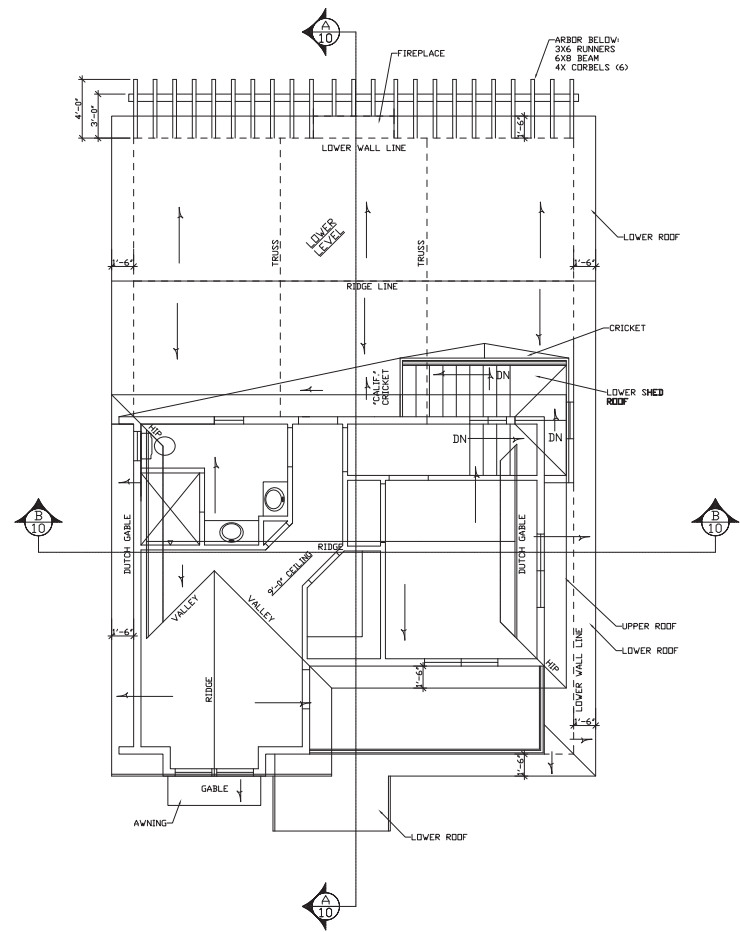
JOB NO. OPAL

DATE: 06/28/12

SHEET

OF # SHEET

Attachment: 4875 Opal Street - Plan Set (4875 Opal Street)



NOTE:
ALL ROOF DRAINAGE
DOWNSPOUTS TO SPASHBLOCKS
TO VEGETATED AREAS

ROOF PLAN
SCALE: 1/4"=1'-0"



Stormwater Pollution Prevention and Protection for Construction Projects

In the City of Capitola, water in streets, gutters, and storm drains flows directly to local creeks and Monterey Bay without any treatment. When debris, paint, concrete and other harmful pollutants from construction sites and home construction projects get spilled, leaked or washed into the street or storm drain they can damage sensitive creek habitats and end up polluting our bay and ocean.


In order to reduce the amount of pollutants reaching local storm drains and waterways, the City has developed "Best Management Practices" (BMPs) for construction work. All types of construction projects are required to abide by the following mandatory BMPs. These BMPs apply to both new and remodeled residential, commercial, retail, and industrial projects.

In addition to the following mandatory BMPs, the Central Coast Regional Water Quality Control Board (Regional Water Board) under the State Water Resources Control Board (State Water Board) requires coverage under and adherence to the Construction Activities Storm Water General Permit, or CGP, to regulate storm water runoff from construction sites. In general, any construction or demolition activity, including, but not limited to, clearing, grading, bulldozing, or excavation, or any other activity that results in a land disturbance of equal to or greater than one acre, requires coverage under the CGP. Construction activities associated with Linear Underground Projects (LUPs) also require coverage under the CGP. It should be noted that SWPPP development and implementation (inspections, tracking) associated with sites subject to the CGP (except for certain LUPs) must be done by a qualified SWPPP Developer (QSD), respectively. More information on the CGP and QSD/CPDs may be found at http://www.waterboards.ca.gov/water_issues/programs/stormwater/conspermits.html

General Construction & Site Supervision
All construction BMPs, sediment and erosion control must be installed prior to beginning construction and maintained throughout the project duration. Compliance with the CGP and below BMPs is required year-round.

- General Principles:**
- Keep an orderly site and ensure good housekeeping practices are used.
 - Maintain equipment properly.
 - Cover materials when they are not in use.
 - Keep materials away from streets, gutters, storm drains and drainage channels.
 - Ensure that control water does not leave the site or discharge to storm drains.
 - Train your employees on these BMPs and familiarize them with storm water issues prior to beginning work. Inform your subcontractors about storm water requirements and be sure that they also abide by these BMPs.
 - Refer to the following approved references for BMP selection, implementation, and on-site management (most recent versions unless otherwise noted):
 - Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002.
 - Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG)
 - Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CASQA)
 - Construction Site Best Management Practices (BMPs) Manual, Storm Water Quality Handbooks, Caltrans

- Good Housekeeping Practices**
- Designate one area of the site located away from storm drains, drainage swales, and creeks for auto parking and heavy equipment storage, vehicle washing and routine equipment maintenance.
 - To prevent off-site tracking of dirt provide site entrances with stabilized aggregate surfaces or provide a wash area on the site, but away from storm inlets or drainage channels. Mud, dirt, gravel, sand and other materials tracked or dropped on city streets must be cleaned up to prevent washing into the storm drains.
 - Keep materials and soil stockpiles out of the rain and prevent runoff contamination from the site. Store materials, stockpiles and excavation soils under cover and protected from wind, rain, and runoff. Cover exposed piles of construction materials or soil with plastic sheeting or temporary roofs. Before rainfall events, sweep and remove material from surfaces that drain to storm inlets and/or drainage channels.
 - Place trash cans around the site to reduce litter. Dispose of non-hazardous construction wastes in covered dumpsters or recycling receptacles.
 - Keep dumpster lids closed and secured. For dumpsters or bins that don't have a lid, cover them with tarps or plastic sheeting, secured around the exterior of the dumpster or placed them under temporary roofs. Never chain a dumpster by tossing it down on the construction site.

NOT TO SCALE		STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION FOR CONSTRUCTION PROJECTS	DRAWN: 2/14	REV:
DRAWN BY: M.P.				
CHECKED BY: S.E.J.			DRAWING No. STRM-BMP-1	
STEVEN JESSER, PUBLIC WORKS DIRECTOR				

- Effective filtration devices, barriers, and settling devices shall be selected, installed and maintained properly.
- Still fences must be installed across the drainage around each fence does not create additional erosion and fills down slope of the fence.
- If straw wattles are used to filter sediment runoff, ensure that the bales are actually filtering the water (and not just causing the water to travel around the bales) and that the straw pieces are not carried into the storm drain system.
- Whenever possible, use terracing, surface roughening (e.g. with a bulldozer), and energy dissipaters (such as riprap, sand bags and rocks) on slopes to reduce runoff velocity and trap sediments. Do not use asphalt rubble or other demolition debris for this purpose.
- All on-site erosion control measures and structural devices, both temporary and permanent, shall be properly maintained so that they do not become nuisances with stagnant water, odors, insect breeding, heavy algae growth, debris, and/or safety hazards.
- A qualified person should conduct inspections of all on-site BMPs during each rainstorm and after a storm is over to ensure that the BMPs are functioning properly. For sites greater than one-acre, onsite inspections are required in accordance with the CGP.


Earth Moving Activities & Heavy Equipment
Soil excavation and erosion control practices reduce the amount of soil that can be transported into storm drains when handled improperly. Effective erosion control practices require the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces. Often, earth moving activities require use and storage of heavy equipment. Poorly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids onto the construction site are common sources of storm drain pollution.

- Site Planning**
- Maintain all heavy equipment, inspect frequently for leaks, and repair leaks immediately upon discovery.
 - Perform major auto or heavy equipment maintenance, repair jobs and vehicle or equipment washing off-site.
 - If you must drain and replace motor oil, radiator coolant or other fluids on site, use drip pans, plastic sheeting or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste.
 - Recycle whenever possible.
 - Do not use diesel oil to lubricate equipment parts or clean equipment. Only use water for onsite cleaning.
 - Cover exposed tire wheel hitches and other oily or greasy equipment during all rain events.

Practices During Construction

- Review existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect down slope drainage courses, creeks and storm drains with wattles or temporary drainage swales.
- Use check dams or ditches to divert runoff around excavations. Refer to the Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002, and the most recent versions of the Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG), and Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CASQA).
- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

- Soil Clean Up**
- Maintain a spill clean-up kit on site.
 - Clean up spills immediately. Use dry cleanup methods if possible.
 - Never hose down dirt pavement or impermeable surfaces where fluids have spilled. Use dry cleanup methods (absorbent mats, sawdust, cat litter or similar) whenever possible and properly dispose of absorbent materials.
 - Sweep up spilled dirt materials immediately. Never attempt to wash them away with water or bury them.
 - Use as little water as possible for dust control. If water is used, ensure it does not leave site or discharge to storm drains.
 - When a spill is significant spill, it poses a significant hazard to human health and safety, you must also report it to the State Office of Emergency Services.

NOT TO SCALE		STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION	DRAWN: 2/14	REV:
DRAWN BY: M.P.				
CHECKED BY: S.E.J.			DRAWING No. STRM-BMP-3	
STEVEN JESSER, PUBLIC WORKS DIRECTOR				

Paints, varnishes, solvents and adhesives contain chemicals that are harmful to wildlife and aquatic life in our community. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint materials, wastes, adhesives and cleaning fluid should be recycled when possible or properly disposed to prevent these substances from entering the storm drains and waterways.


- Handling of Surface Coatings**
- Keep paint, varnish, solvents and adhesive products and wastes away from the gutter, street and storm drains. Wastewater or runoff containing paint or paint thinner must never be discharged into the storm drain system.
 - When there is a risk of a spill reaching the storm drain, nearby storm drain inlets must be protected prior to starting painting.

- Removal of Surface Coatings**
- Non-hazardous paint chips and dust from dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
 - Chemical paint or varnish stripping residue, chips and dust from marine paints or varnishes, or paints containing lead, mercury or trichlorin must be disposed of as hazardous wastes. Lead based paint removal requires a state-certified contractor. Paint may be tested for lead by taking paint scrapings to a local, state-certified laboratory.
 - When stripping or cleaning building exteriors with high-pressure water, boom stream devices to prevent flow to creeks and the Monterey Bay.
 - Wash water from painted buildings constructed pre-1978 can contain high amounts of lead even if paint chips are not present. Before stripping paint or cleaning a pre-1978 building's exterior with high pressure water, test paint for lead by taking paint scrapings to a local, state-certified laboratory.

- Clean Up of Surface Coatings**
- Never clean brushes or rinse paint or varnish containers into a gutter, street, storm drain, French drain or creek.
 - For water based paints, paint out brushes to the extent possible and rinse into an interior sink that goes to the sanitary sewer.
 - For oil based paints, paint out brushes to the extent possible and clean with thinner or solvent. Filter and reuse thinners and solvents where possible. Dispose of excess liquids and residue as hazardous waste.
 - When thoroughly dry, empty paint cans, used brushes, rags and drop cloths may be disposed of as garbage.

- Disposal of Surface Coatings**
- Recycle, return to supplier, or donate unwanted water-based (latex) paint. Oil-based paint may be recycled or disposed of as hazardous waste. Varnish, thinners, solvents, glues and cleaning fluids must be disposed of as hazardous waste.
 - When the job is completed, collect all unused or waste materials and dispose properly. Never leave or abandon materials onsite, and ensure that nothing has drifted towards the street, gutter, or catch basin.


- Roadwork & Paving**
- Protect nearby storm drain inlets and adjacent water bodies prior to breaking up asphalt or concrete.
 - The discharge of saw cut slurry to the storm drain system is prohibited. Take measures to contain the slurry and protect nearby catch basins or gutters. If slurry enters the storm drain system, remove material immediately.
 - Let, saw cut slurry must be cleaned up and properly disposed so that it will not be carried into the storm drain system by wind, traffic, or rainfall.
 - After breaking up old pavement, sweep up materials and recycle as much as possible. Properly dispose of non-recyclable materials.
 - Cover and seal nearby storm drain inlets and manholes before applying seal coat, curvy seal, etc. Leave covers in place until the oil sealer is dry.
 - In the event of rain during construction, divert runoff around work areas and cover materials.
 - Park paving machines over drip pans or absorbent materials.
 - Never wash sweeping from swept aggregate concrete into a street or a storm drain inlet. Collect and return to aggregate base stockpile or dispose of in the trash.
 - Remove and clean up materials (especially oil, asphalt and sand) by the end of each work day, or during the rainy season, by the end of each day. Stockpiles must be removed by the end of each day if they are located in a public right-of-way.

NOT TO SCALE		STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION	DRAWN: 2/14	REV:
DRAWN BY: M.P.				
CHECKED BY: S.E.J.			DRAWING No. STRM-BMP-4	
STEVEN JESSER, PUBLIC WORKS DIRECTOR				

- Concrete, Cement, & Masonry Products**
- Concrete, cement, masonry products, sediment or pollutant laden water shall never be discharged into or allowed to reach the storm drain system.
 - Avoid mixing excess amount of fresh concrete or cement mortar on-site.
 - During the cutting, ensure that the slurry water does not run off into the street or storm drain system. The discharge of slurry to the storm drain system is prohibited. Dried slurry must be cleaned up and disposed of properly.
 - Concrete, cement, and masonry mixing containers may not be washed or rinsed into the street or storm drain system. If a concrete transit mixer is used, a suitable washout box, excavation or self-washing mixer able to contain waste material shall be provided on-site.
 - Never wash or rinse mixing containers and tools into the gutter, street, storm drain inlet, drainage ditches or water body.
 - If conducting sidewalk work, material stockpiles must be removed and cleaned up by the end of each day. Sweep or collect unused materials and debris that remain on pavement and dispose of properly.
 - When the job is completed, collect all unused or waste materials and dispose of properly. Never leave or abandon materials onsite. Ensure that nothing has drifted towards the street, gutter or catch basin.

- Site Clean Up**
- Clean up by sweeping instead of hosing down wherever possible. Dispose of litter and debris in the garbage.
 - The street, sidewalk and other paved areas may not be cleaned by washing or by discharging sediment, concrete, asphalt, or other particles into the storm drain system. If water is used to flush sediment or particles from pavement, the water must be directed to a landscaped or grassy area large enough to absorb the water.
 - If conducting road or sidewalk work, materials stockpiles must be removed and cleaned up by the end of each work day.
 - Discarded building materials and demolition wastes must never be left in a street, gutter, or waterway. Dispose of all wastes properly including leftover paint and chemicals. Materials that cannot be reused/recycled must be taken to the landfill or disposed of as hazardous waste.

Signed and Agreed to by:
Project Owner or General Contractor
Signed: _____ Date: _____
Print Name: _____

NOT TO SCALE		STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION	DRAWN: 2/14	REV:
DRAWN BY: M.P.				
CHECKED BY: S.E.J.			DRAWING No. STRM-BMP-5	
STEVEN JESSER, PUBLIC WORKS DIRECTOR				

Construction Waste Management Plan (CWMP)
USE THIS WORKSHEET TO PLAN FOR REQUIRED 65% DIVERSION

Project Address Project #	Project Address Project #																
Project Applicant Name & Title Phone Number Email CWMP Contact Phone Number Fax Number	Project Applicant Name & Title Phone Number Email CWMP Contact Phone Number Fax Number																
GENERAL REQUIREMENTS																	
<ul style="list-style-type: none"> State law requires recycling of at least 65% of all waste from construction projects. All garbage from job site including demolition, new construction, remodels, offices, meeting rooms, and other on-site activities are subject to this standard. Permit Applicant must ensure that all Sub-contractors sign the CWMP Acknowledgment Sheet (see Page 3) Permit Applicant must save, verify and submit all weight receipts to the Building Department at the end of the project. Permit Applicant may be subject to extra fees and/or delay in issuance of Final Occupancy Permit if not in compliance. 																	
<p>1. The project's overall waste diversion will be _____% (Minimum of 65%, required after Jan. 1, 2017). You may opt-in to an Green Fleet service for garbage. You may use other companies for recycling.</p> <p>THIS PROJECT WILL USE THE FOLLOWING FACILITIES:</p> <table border="1"> <tr> <td>RECYCLABLES - Name of Company</td> <td>Recycle Weight or percentage</td> <td>Garbage Weight or percentage</td> <td>Destination Options: Bureau of Public Works, Monterey Regional Landfill</td> </tr> <tr> <td>RECYCLABLES - Name of Company</td> <td></td> <td></td> <td></td> </tr> <tr> <td>RECYCLABLES - Name of Company</td> <td></td> <td></td> <td></td> </tr> <tr> <td>RECYCLABLES - Name of Company</td> <td></td> <td></td> <td></td> </tr> </table>		RECYCLABLES - Name of Company	Recycle Weight or percentage	Garbage Weight or percentage	Destination Options: Bureau of Public Works, Monterey Regional Landfill	RECYCLABLES - Name of Company				RECYCLABLES - Name of Company				RECYCLABLES - Name of Company			
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RECYCLABLES - Name of Company																	
RECYCLABLES - Name of Company																	
RECYCLABLES - Name of Company																	
<p>2. If the Contractor and/or Sub-contractors will have their recyclable or reusable material in part of their scope of work, the Permit Applicant will NOT be exempt from compliance with the CWMP. The Permit Applicant is still responsible for tracking, compiling and reporting quantities of all garbage, recyclables and residuals to the City's Community Development Department at the end of the project.</p>																	
<p>3. The Permit Applicant has designated _____ as the CWMP Contact to compile weight and volume receipts, and is responsible for ensuring that all garbage, recyclables and residuals to be tracked, audited and calculate final diversion rate. City of Watsonville Solid Waste Division will report required weight data.</p>																	
<p>I have read and understand the above requirements. I understand that as the Permit Applicant I am responsible for meeting the 65% recycling rate and other requirements of the CWMP. I understand that it is my responsibility to communicate the requirements to my entire project team.</p>																	
Permit Applicant Signature	Phone Print Name Date																
ASSISTANCE AVAILABLE																	
* For assistance with this form, contact the Community Development Department at 831-475-7396.																	

NOT TO SCALE		STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION	DRAWN: 2/14	REV:
DRAWN BY: M.P.				
CHECKED BY: S.E.J.			DRAWING No. STRM-BMP-2	
STEVEN JESSER, PUBLIC WORKS DIRECTOR				

- Wash up trucks, vans and other spigs immediately so that they do not contaminate the soil or runoff nor leave residue on paved surfaces. Use dry cleanup methods whenever possible. Water may only be used in minimum quantities to prevent rust.
- Portable toilets are used, ensure that the leasing company properly maintains the toilets and promptly makes repairs. Conduct visual inspections for leaks.
- Protect vegetation and trees from accidental damages from construction activities by surrounding them with fencing or tree erector.

- Advanced Planning**
- Site development shall be fitted to the topography and soils in order to minimize the potential for erosion.
 - Soil grading/clearing limits, easements, setbacks, sensitive or critical areas, trees, drainage courses, and buffer zones must be delineated on site to prevent excessive or unnecessary disturbances and exposure prior to construction.
 - Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or place other erosion controls before rain begins.
 - Conduct grading operations in phases in order to reduce the amount of disturbed areas and exposed soil at any one time. Unless specifically approved on the project's drainage plan, grading, sediment and erosion control plan, clearing, excavation and grading shall not be conducted during rainy weather. All rainy season grading shall be in accordance with Capitola Municipal Code Chapter 15.28.
 - Control the amount of runoff crossing your site especially during excavation by using berms or temporary drainage ditches or bio-swales to divert water flow around the site. Reduce stormwater runoff velocities by constructing temporary check dams or berms where appropriate.

- Materials & Waste Handling**
- Fracture containment "Source Reduction" by estimating carefully and minimizing waste when ordering materials.
 - Recycle excess materials such as concrete, asphalt, scrap metal, solvents, degreasers, paper, and vehicle maintenance materials whenever possible.
 - Dispose of all wastes properly by ensuring that materials that cannot be recycled are taken to an appropriate landfill or disposed of as hazardous waste. Never bury hazardous materials or leave them in the street or near a creek or drainage channel.

- Landscaping, Gardening & Ponds/Fountains/Pool/Spa Maintenance**
- Many landscaping activities and practices expose soils and increase the likelihood of water runoff that will transport earth, sediments and garden waste during rain events. Avoid soil erosion and rain events. Other exterior amenities such as ponds, pools and spas require regular maintenance using chlorine and/or copper based algaecides. Water treated with these chemicals to algae life and should never be discharged to the storm drain.

- Landscaping & Garden Maintenance**
- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
 - Schedule grading and excavation during dry weather.
 - Use temporary check dams or ditches to direct runoff away from storm drains or drainage channels.
 - Protect storm drain inlets with sandbags, gravel filled bags, straw wattles, filter fabric or other sediment controls.
 - Vegetation is an excellent form of erosion control for any site.
 - Never dump or leave soil, mulch or other landscape products in the street, gutter, or storm drain.

- Ponds/Fountains/Pool/Spa Maintenance**
- When draining a pond, fountain, pool or spa, any volumes in excess of 500 gallons must be reported to advance to the City of Capitola Public Works Department. The City will provide guidance on handling special cleaning waste, flow restrictions and backflow prevention.

- Preventing Water & Sediment Runoff**
Effective erosion and sediment control measures must be implemented and maintained on all disturbed areas in order to prevent the net increase of sediment in the site's storm water discharge relative to pre-construction levels. During the very storm, erosion control measures must also be located at all appropriate locations along the site's perimeter and at all inlets to the storm drain system. Effective methods to protect storm drain inlets include sand bag barriers, heavy rubber mats to cover entrance the inlet, and sediment traps or basins. Refer to the Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002, and the most recent versions of the Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG), and Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CASQA).

5.A.1

OWNER:
DRVO BUILDERS INC
1568 GLEN AVE. CT
MOUNTAIN VIEW CA 95040
408-656-2246

DRVO BLDRS RESIDENCE
HOME DESIGN AND PROJECT PLANNING
4875 OPAL ST
CAPITOLA, CA 95010
APN 034-064-12

DENNIS NORTON
HOME DESIGN AND PROJECT PLANNING
1715 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
WWW.DENNISNORTONPRACTICES.COM

BEST MANAGEMENT PRACTICES

DRAWN:	GG
SCALE:	NONE
JOB NO:	OPAL
DATE:	02/05/21
SHEET	BMP
OF #	SHEETS

Attachment: 4875 Opal Street - Plan Set (4875 Opal Street)

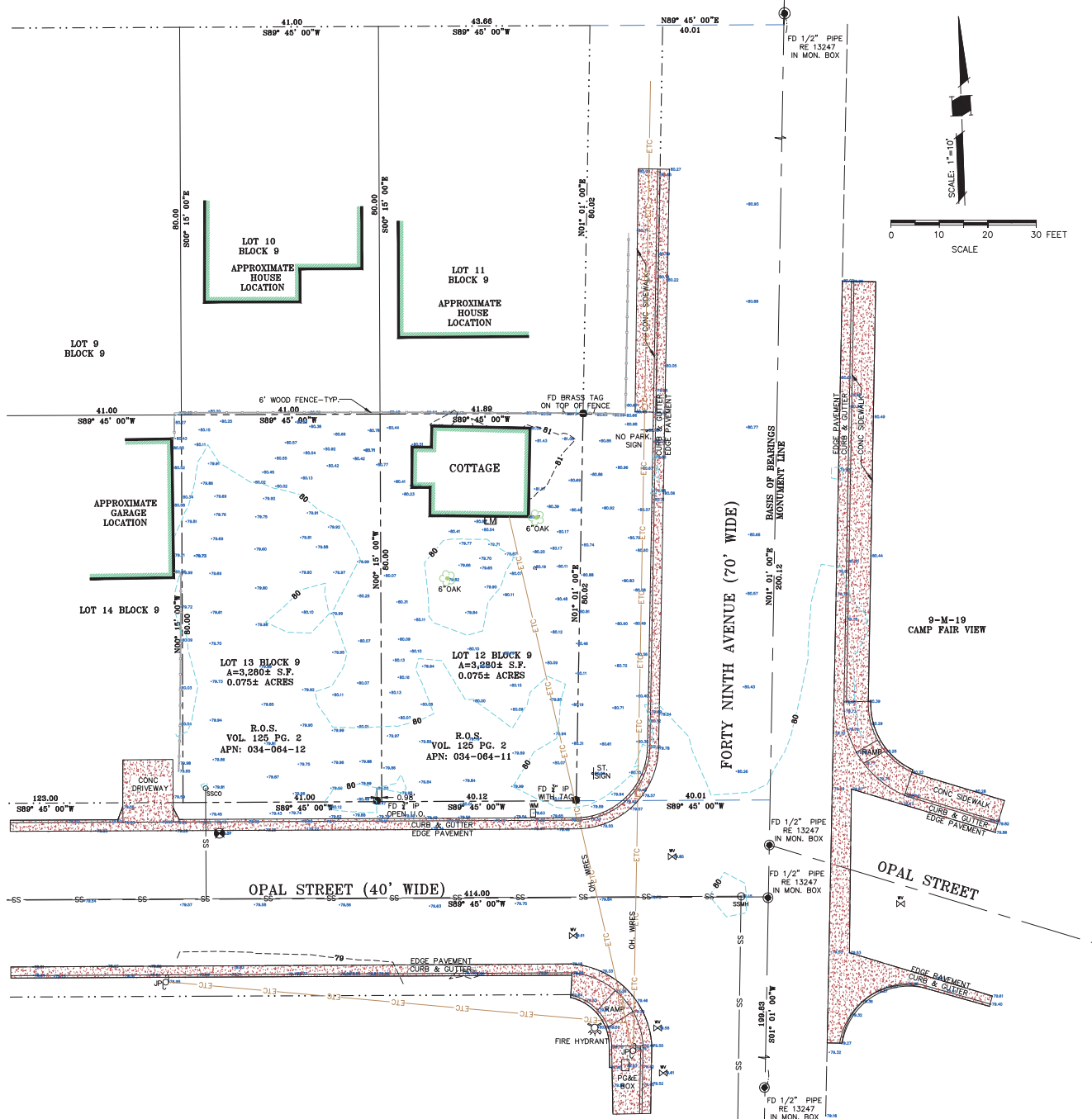
DATE	BY	CHK	REVISIONS	DATE	BY	CHK

SHEET NO. 1 OF 1 SH

JOB NO.

CAD FILE

Attachment: 4875 Opal Street - Plan Set (4875 Opal Street)



SURVEYOR'S NOTE

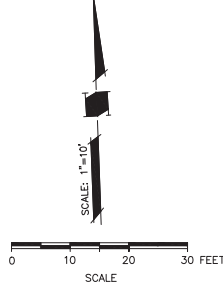
- UTILITIES FOUND ARE BASED UPON SURFACE EVIDENT FINDINGS. RECORDS OF UTILITIES WERE NOT UTILIZED FOR THIS SURVEY
- TREES SHOWN ARE THOSE OF SIZE SIGNIFICANCE. THE SITE CONTAINS OTHER TREES UNDER 6" AND ARE NOT SHOWN FOR MAP CLARITY. TREE CLASSIFICATIONS ARE TO THE BEST KNOWLEDGE OF THE SURVEYOR. AN ARBORIST MUST SPECIFY ACTUAL TREE TYPE.
- MAIN STRUCTURE AND APPURTENANT STRUCTURES ARE BASED UPON THE BEST EFFORTS OF THE SURVEY CREW. SOME ELEMENTS MAY BE MISSING AND CHECKS BY THE ARCHITECTS OFFICE WILL BE NECESSARY BEFORE DESIGN WORK.

ABBREVIATIONS

- FL FLOWLINE
- TC TOP OF CURB
- EP EDGE OF PAVEMENT
- CONC CONCRETE
- LIP LIP OF GUTTER
- GS GROUND SHOT
- AD AREA DRAIN
- FF FINISH FLOOR
- BSL BUILDING SETBACK LINE

LEGEND

- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- FENCE LINE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- JOINT POLE
- GUY ANCHOR
- TREE SIZE AND TYPE AS NOTED
- GAS LINE
- WATER LINE
- CONCRETE
- GAS METER



BENCHMARK
 SURVEY CONTROL POINT
 SET MAG NAIL
 ELEVATION=79.37'

FLOOD ZONE
 FLOOD ZONE X
 FEMA MAP PANEL 06087C0352F
 EFFECTIVE DATE 9/29/2017

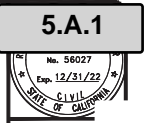
BASIS OF BEARINGS
 THE BEARING N 01°01'00" E OF THE WEISBERLY LINE OF FORTY-NINTH AVENUE AS SHOWN ON THAT CERTAIN MAP OF OPAL SUBDIVISION NO.1 OF FAIRVIEW TRACT FILED FOR RECORD JULY 9, 1923 IN VOL. 18 OF MAPS AT PAGE 40, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS MAP.

SURVEYOR'S STATEMENT
 THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT.

Darryll Lydell Bond
 PLS 9213
 EXPIRES 9-30-21



NOVEMBER 16, 2020



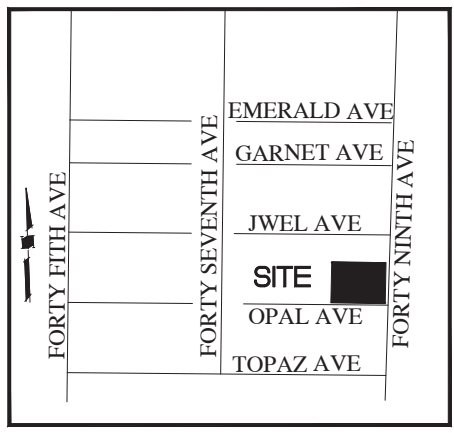
NIN ENGINEERING SERVICES CO.
 CIVIL ENGINEER
 800 REDWOOD DRIVE
 CAPITOLA, CALIFORNIA 95010

**1425 FORTY NINTH AVENUE
 AND 4875 OPAL STREET
 CAPITOLA, CA**

COVER SHEET

Attachment: 4875 Opal Street - Plan Set (4875 Opal Street)

REVISIONS	
JOB NO:	
DATE:	3-11-
SCALE:	N:T
DRAWN BY:	NR
SHEET NO:	C-1
1 OF 7 SHEETS	



VICINITY MAP
NTS

	EXISTING	PROPOSED
PROPERTY LINE	---	---
CENTERLINE	---	---
SANITARY SEWER	---	---
STORM DRAIN LINE	---	---
ELECTRICAL LINE	---	---
GAS LINE	---	---
JOINT TRENCH	---	---
TELECOMM	---	---
WATER LINE	---	---
OVERHEAD	---	---
SANITARY SEWER CLEANOUT	SSCO	
SANITARY SEWER MANHOLE	SSMH	
FENCE LINE	-X-	-X-
WATER VALVE	WV	
WATER METER	WM	
FIRE HYDRANT	FH	
JOINT POLE	JP	
GUY ANCHOR	GA	
TREE SIZE AND TYPE AS NOTED	XX" TREE	XX" TREE
GAS LINE	G	G
WATER LINE	W	W
REMOVE TREE	RT	
CONCRETE	CON	CON
GAS METER	GM	GM
DRAINAGE FLOW	DF	DF
AREA DRAIN (CHRISTY BOX V-1) OR EQUAL	AD	AD
STORM DRAIN MANHOLE	SDMH	

ABBREVIATION

AD	AREA DRAIN
CO	CLEANOUT
(E)	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
FS	FINISH SLAB
INW	INVERT
(N)	NEW
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SD	STORM DRAIN

SHEET INDEX

ON-SITE IMPROVEMENT COVER SHEET	C-1
GRADING & DRAINAGE PLAN	C-2
CROSS SECTIONS/ MISC. DETAILS	C-3
EROSION CONTROL PLAN	C-4
OFF-SITE IMPROVEMENT TITLE SHEET	C-5
OFF-SITE IMPROVEMENT PLAN	C-6
CONSTRUCTION DETAILS	C-7

IMPERVIOUS COVERAGE (S.F.)

	EXISTING	NEW
BUILDINGS	406	2,315
DRIVEWAY/WALKS	0	0
TOTAL	406	2,315

- GENERAL NOTES**
- CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES AND SURFACE IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERE TO.
 - EXISTING UNDERGROUND LINES, APPURTENANCES AND FACILITIES WHICH ARE KNOWN TO THE ENGINEER ARE SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING FACILITIES WHICH ARE TO REMAIN IN PLACE, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERE TO. NO WARRANTY IS GIVEN AS TO THE COMPLETENESS AND ACCURACY OF SUCH FACILITIES INFORMATION.
 - ALL CONTRACTORS WILL BE RESPONSIBLE FOR VERIFICATION OF THE LOCATION OF ALL EXISTING UTILITIES IN THE FIELD. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
 - CONTRACTOR SHALL CALL UNDERGROUND SERVICES ALERT "USA" CENTER AT 800/642-2444, A TOLL-FREE NUMBER, 48 HOURS IN ADVANCE OF ANY EXCAVATION ACTIVITY SO ALL UNDERGROUND FACILITIES CAN BE LOCATED AND MARKED.
 - CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONNEL AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CITY OR THE ENGINEER.
 - IT SHALL BE THE RESPONSIBILITY OF THE VARIOUS CONTRACTORS TO COORDINATE THEIR WORK SO AS TO ELIMINATE CONFLICTS AND TO INSURE COMPLETION OF THE ENTIRE PROJECT WITHIN THE SPECIFIED PERIOD.
 - THE CONTRACTOR SHALL MAINTAIN THE STREET, SIDEWALKS AND ALL OTHER RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.

- UNDERGROUND NOTES**
- CONTRACTORS SHALL EXPOSE AND VERIFY PIPE MATERIAL, LINE SIZE, LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING SANITARY SEWERS, STORM DRAINS, AND WATER LINES AT ALL THE-INS AND CROSSINGS PRIOR TO CONSTRUCTING NEW FACILITIES.
 - UNLESS OTHERWISE NOTED, ALL STORM DRAINS, SANITARY SEWERS, MANHOLES AND INLETS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF LOS ALTOS STANDARD SPECIFICATIONS AND STANDARD PLAN DETAILS AS DESIGNATED AND TO DETAILS AS SHOWN ON THE PLAN.
 - ALL TRENCH EXCAVATION, BACKFILL AND BEDDING FOR STORM DRAINS AND SANITARY SEWERS SHALL CONFORM TO THE CITY OF LOS ALTOS STANDARD SPECIFICATIONS, AND DETAILS.
 - ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
 - ALL GAS, ELECTRICAL, TELEPHONE AND CABLE T.V. UTILITIES, WILL BE DESIGNED AND CONSTRUCTED BY OTHERS UNDER SEPARATE CONTRACTS AND PLANS.

UTILITY SERVICE

THE APPLICANT SHALL SUBMIT WRITTEN CERTIFICATION FROM THE APPROPRIATE ENERGY AND COMMUNICATION UTILITIES TO THE PUBLIC WORKS DEPARTMENT AND THE PLANNING DIVISION STATING THAT THEY WILL PROVIDE ENERGY AND COMMUNICATION SERVICES TO THE PROPOSED PARCELS OF THIS SUBDIVISION. THE LOCATIONS OF THE MAIN WATER SERVICE AND SANITARY SEWER LINES ARE APPROXIMATE PRIOR TO THE CONNECTION POINTS SHOWN. AS A REMINDER, A SEWER CONNECTION PERMIT FROM SANITATION DISTRICT, AND A CONNECTION LETTER FROM THE WATER COMPANY ARE REQUIRED.

ENCROACHMENT PERMIT

NO PROPOSED CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY SHALL BEGUN UNTIL CITY REQUIREMENTS FOR THE ISSUANCE OF AN ENCROACHMENT PERMIT, INCLUDING REVIEW OF THE PLANS, HAVE BEEN MET AND AN ENCROACHMENT PERMIT ISSUED.

NOTES:

- CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ALL IMPROVEMENTS DAMAGED DURING CONSTRUCTION.
- A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- WATER AND GAS NEED TO MAINTAIN A 3' SEPARATION.
- THE SIZE OF THE WATER SERVICE WILL BE DETERMINED BY THE FIRE SPRINKLER CONTRACTOR. ALSO, THE ACTUAL ROUTE OF GAS AND ELECTRIC LINES WILL BE DICTATED BY PG&E.

OWNER:
 STEPHEN DORCICH
 DRVO BUILDERS INC.
 408-858-2240

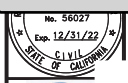
GEOTECHNICAL INVESTIGATION REPORT -
 PREPARED BY:
 REDWOOD GEOTECHNICAL ENGINEERING, I.N.C.
 PROJECT NO. 25375CR
 DATED 1-30-2021
 TEL: (408) 227-5168

EARTHWORK QUANTITY

NOTE: THE QUANTITIES ARE SHOWN FOR THE PURPOSE OF GRADING PERMIT APPROVAL FROM THE CITY OF CAPITOLA AND ARE NOT TO BE USED FOR PAYMENT TO THE CONTRACTOR. CONTRACTOR SHALL ESTABLISH HIS OWN QUANTITIES.	APPROXIMATE CUT REQUIRED DRIVEWAY & BUILDING STRUCTURAL SECTION ARE NOT INCLUDED	130± CY
	FILL REQUIRED DRIVEWAY & BUILDING STRUCTURAL SECTION ARE NOT INCLUDED	40± CY
	IMPORT/EXPORT	90± CY

NOTICE TO CONTRACTORS
 CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.





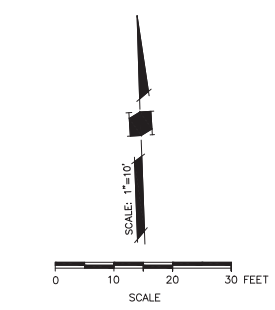
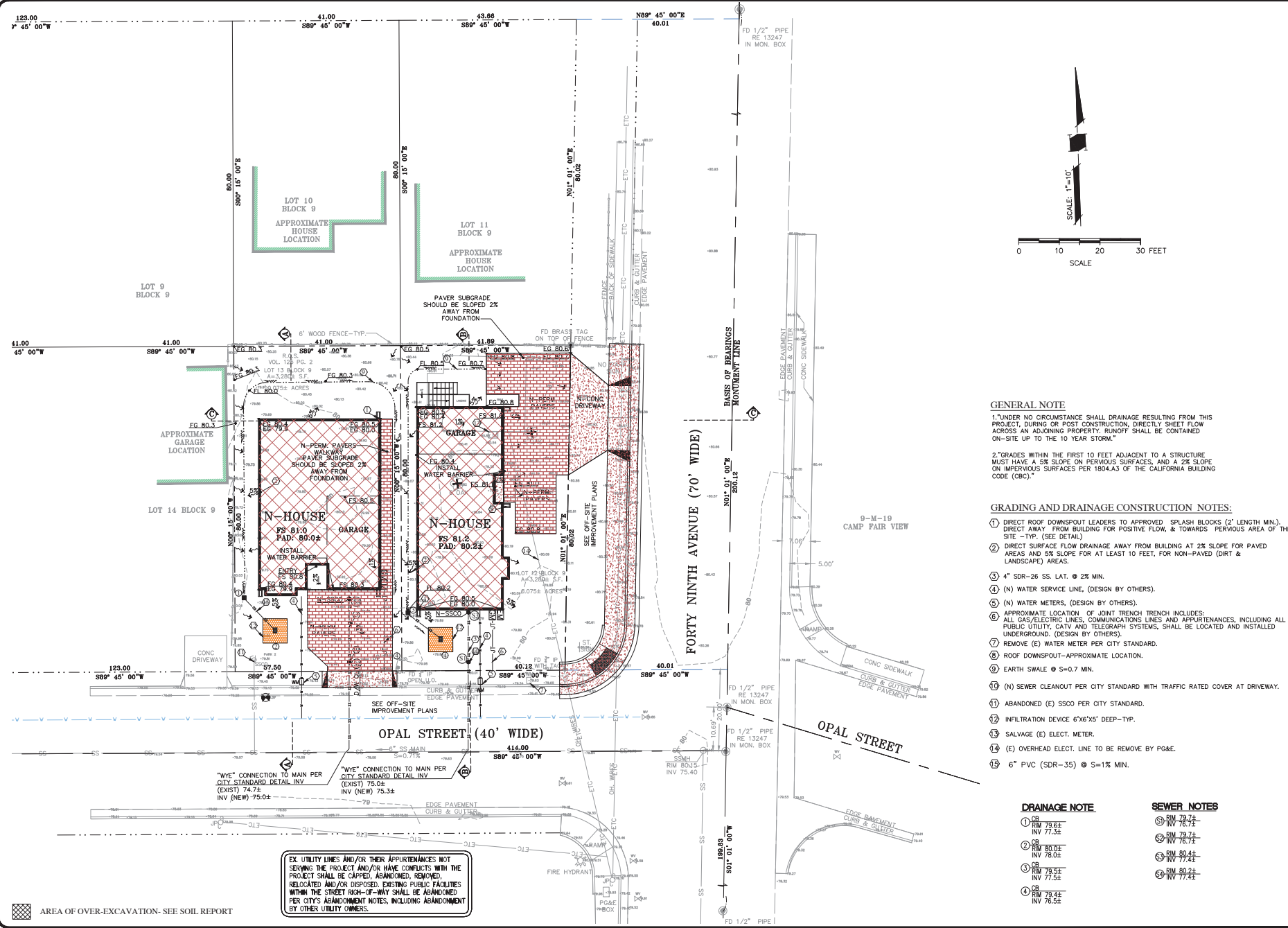
NMR ENGINEERING SERVICES CO.
 800 VENTURE DRIVE
 SUITE 100
 CARPENTERSVILLE, CA 95006
 (408) 347-7900
 www.nmr-engineering.com

1425 FORTY NINTH AVENUE
 AND 4875 OPAL STREET
 CARPENTERSVILLE, CA
 95006

GRADING AND
 DRAINAGE PLAN

NO.	REVISIONS	DATE

Attachment: 4875 Opal Street - Plan Set (4875 Opal Street)



GENERAL NOTE

1. UNDER NO CIRCUMSTANCE SHALL DRAINAGE RESULTING FROM THIS PROJECT, DURING OR POST CONSTRUCTION, DIRECTLY SHEET FLOW ACROSS AN ADJOINING PROPERTY. RUNOFF SHALL BE CONTAINED ON-SITE UP TO THE 10 YEAR STORM.
2. GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER 1804.3 OF THE CALIFORNIA BUILDING CODE (CBC).

GRADING AND DRAINAGE CONSTRUCTION NOTES:

1. DIRECT ROOF DOWNSPOUT LEADERS TO APPROVED SPLASH BLOCKS (2' LENGTH MIN.). DIRECT AWAY FROM BUILDING FOR POSITIVE FLOW, & TOWARDS PERVIOUS AREA OF THE SITE - TYP. (SEE DETAIL)
2. DIRECT SURFACE FLOW DRAINAGE AWAY FROM BUILDING AT 2% SLOPE FOR PAVED AREAS AND 5% SLOPE FOR AT LEAST 10 FEET, FOR NON-PAVED (DIRT & LANDSCAPE) AREAS.
3. 4" SDR-26 SS. LAT. @ 2% MIN.
4. (N) WATER SERVICE LINE, (DESIGN BY OTHERS).
5. (N) WATER METERS, (DESIGN BY OTHERS).
6. APPROXIMATE LOCATION OF JOINT TRENCH TRENCH INCLUDES: ALL GAS/ELECTRIC LINES, COMMUNICATIONS LINES AND APPURTENANCES, INCLUDING ALL PUBLIC UTILITY, CATV AND TELEGRAPH SYSTEMS, SHALL BE LOCATED AND INSTALLED UNDERGROUND. (DESIGN BY OTHERS).
7. REMOVE (E) WATER METER PER CITY STANDARD.
8. ROOF DOWNSPOUT-APPROXIMATE LOCATION.
9. EARTH SWALE @ S=0.7 MIN.
10. (N) SEWER CLEANOUT PER CITY STANDARD WITH TRAFFIC RATED COVER AT DRIVEWAY.
11. ABANDONED (E) SSCO PER CITY STANDARD.
12. INFILTRATION DEVICE 6'x6'x5' DEEP-TYP.
13. SALVAGE (E) ELECT. METER.
14. (E) OVERHEAD ELECT. LINE TO BE REMOVED BY P&E.
15. 6" PVC (SDR-35) @ S=1 1/2 MIN.

DRAINAGE NOTE

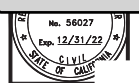
1. CR
 RM 79.8±
 INV 77.3±
2. CR
 RM 80.0±
 INV 78.0±
3. CR
 RM 79.5±
 INV 77.5±
4. CR
 RM 79.4±
 INV 76.5±

SEWER NOTES

5. RM 79.7±
 INV 77.3±
6. RM 79.7±
 INV 76.7±
7. RM 80.4±
 INV 77.4±
8. RM 80.2±
 INV 77.4±

EX. UTILITY LINES AND/OR THEIR APPURTENANCES NOT SERVING THE PROJECT AND/OR HAVE CONFLICTS WITH THE PROJECT SHALL BE CAPPED, ABANDONED, REMOVED, RELOCATED AND/OR DISPOSED EXISTING PUBLIC FACILITIES WITHIN THE STREET RIGHT-OF-WAY SHALL BE ABANDONED PER CITY'S ABANDONMENT NOTES, INCLUDING ABANDONMENT BY OTHER UTILITY OWNERS.

AREA OF OVER-EXCAVATION- SEE SOIL REPORT



NR ENGINEERING SERVICES CO.
 605 WINTERGARD DRIVE
 SAN JOSE, CALIFORNIA 95128
 (408) 267-7972

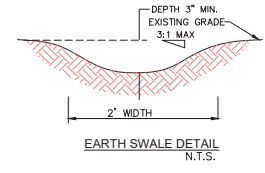
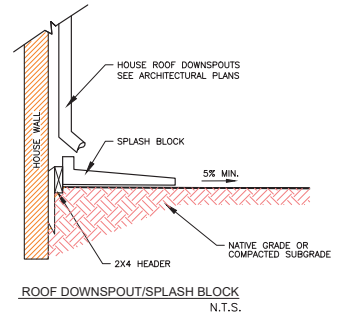
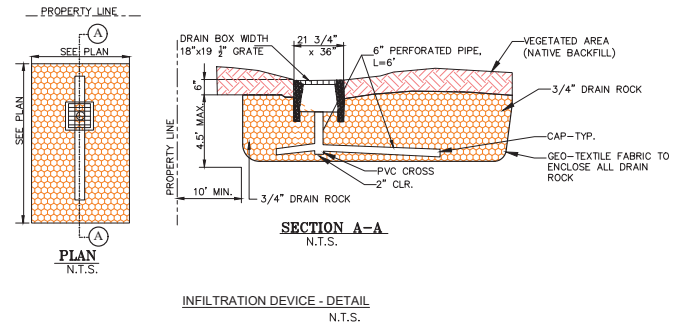
1425 FORTY NINTH AVENUE
 AND 4875 OPAL STREET
 CARPINTERIA, CA.
 91008

CROSS SECTIONS
 AND MISC. DETAILS

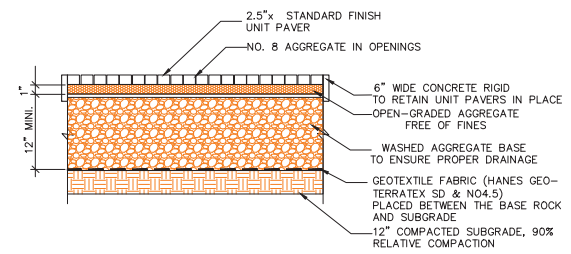
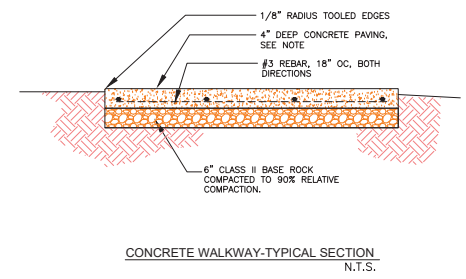
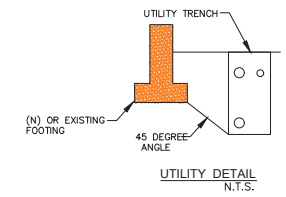
Attachment: 4875 Opal Street - Plan Set (4875 Opal Street)

NO.	REVISIONS

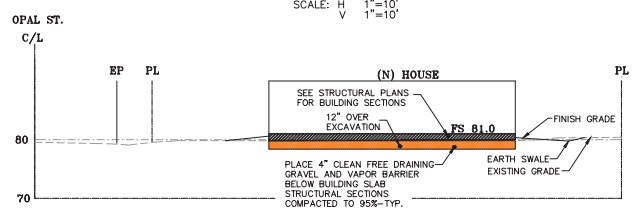
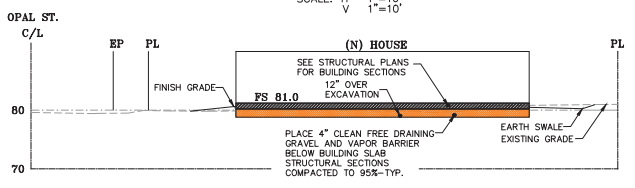
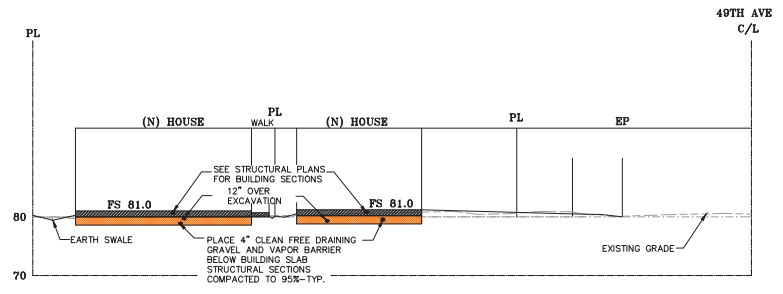
JOB NO:
 DATE: 3-11-
 SCALE: AS SH
 DRAWN BY: NR
 SHEET NO:



- MAINTENANCE NOTES**
- OWNER IS RESPONSIBLE FOR MAINTAINING ALL INLETS, RETENTION SYSTEM AND INFILTRATION DEVICE FROM TRASH, DEBRIS & SEDIMENTS.
 - THE REGULAR CLEARING OF SILT AND DEBRIS IS ESPECIALLY IMPORTANT PRIOR TO EACH RAINY SEASON.

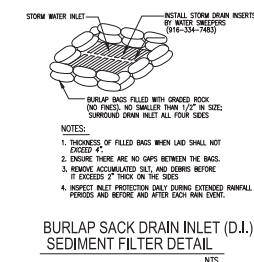
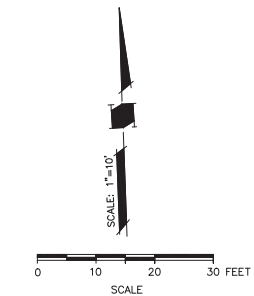
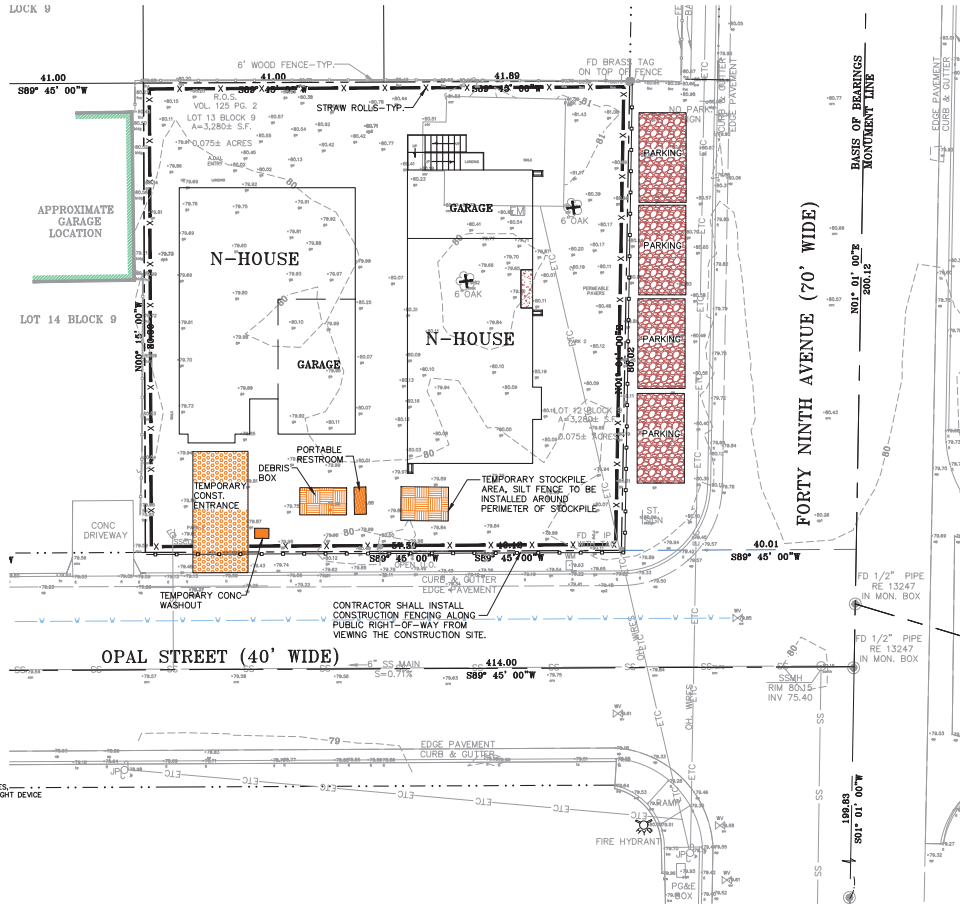


NOTE:
 DRIVEWAY SHALL BE ABLE TO SUPPORT WEIGHT OF EMERGENCY TRUCKS, UP TO 20 TONS. PROJECT SOILS ENGINEER TO INSPECT THE CONSTRUCTION OF THE DRIVEWAY.

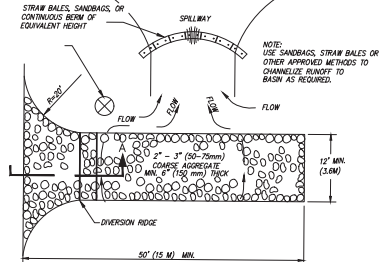
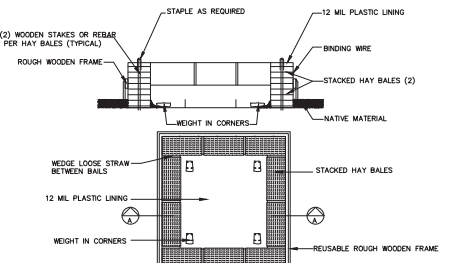
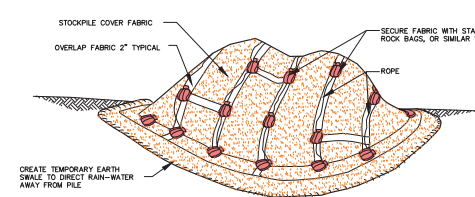


EROSION AND SEDIMENT CONTROL NOTES:

1. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN CONFORMANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT AND AS REQUIRED BY THE STATE OF CALIFORNIA WATER RESOURCES CONTROL BOARD ORDER RC-2003-0021 AND NPDES PERMIT NO. CAS 0029831.
2. THE DEVELOPER IS RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR STOP ORDERS.
3. ANY VEHICLE OR EQUIPMENT WASHING/STEAM CLEANING MUST BE DONE AT AN APPROPRIATELY EQUIPPED FACILITY WHICH DRAINS TO THE SANITARY SEWER. OUTDOOR WASHING MUST BE MANAGED IN SUCH A WAY THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, CLEANING AGENTS OR OTHER POLLUTANTS TO THE STORM DRAINS. WASH WATER SHALL DISCHARGE TO THE SANITARY SEWER, SUBJECT TO REVIEW AND APPROVAL OF THE CITY ENGINEER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LITTER CONTROL AND SWEEPING OF ALL PAVED SURFACES DURING CONSTRUCTION.
5. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 30. EROSION CONTROL MEASURES ARE TO BE FUNCTIONAL PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
6. ALL ON-SITE STORM DRAINS SHALL BE CLEANED IMMEDIATELY BEFORE THE START OF THE RAINY SEASON BEGINNING ON OCTOBER 1ST EACH YEAR, SUBJECT TO THE REVIEW OF THE BUILDING/ENGINEERING INSPECTOR.
7. IF RAINY WEATHER BECOMES IMMINENT, GRADING OPERATIONS SHALL BE STOPPED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PROTECT DISTURBED AREAS.
8. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LOADS RESULTING TO ANY STORM DRAIN SYSTEM.
9. CONSTRUCTION ENTRANCES SHALL CONSIST OF A MINIMUM 8" THICK LAYER OF 3"-4" FRACTURED STONE AGGREGATE UNLAD WITH GEOTEXTILE LINER FOR A MINIMUM DISTANCE OF 50 FEET, AND IS TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. THE DEPTH AND LENGTH OF AGGREGATE MAY NEED TO BE ADJUSTED IN THE FIELD TO ENSURE NO TRACKING OF SEDIMENT ONTO EXISTING PAVED STREETS. CONSTRUCTION ENTRANCES SHALL SLOPE AWAY FROM EXISTING PAVED STREETS.
10. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
11. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
12. NO STRAW BALES OR SILT FENCES SHALL BE USED AS EROSION CONTROL MEASURES. SILT FENCES MAY ONLY BE USED AS A PHYSICAL BARRIER TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM USING NON-APPROVED ACCESS POINTS (E.G., ALONG RIGHT-OF-WAY).
13. ALL DISTURBED AREAS INCLUDING FLAT PADS ARE TO BE TREATED WITH STRAW AND TACKIFIER AT A RATE OF 2 TONS PER ACRE APPROXIMATELY 3 INCHES THICK.



- SEQUENCE OF CONSTRUCTION**
1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 2. CONSTRUCT AND MAINTAIN TEMPORARY CHAIN LINK FENCE AT THE SITE PERIMETER.
 3. CONSTRUCT FIBER ROLLS ON THE SITE PERIMETER.
 4. PROVIDE WATER ON SITE FOR DUST CONTROL DURING ALL GRADING OPERATIONS.
 5. CLEAR AND GRUB THE SITE.
 6. BEGIN GRADING THE SITE.
 7. INSTALL CHECK DAMS, SEDIMENT TRAPS AND BASINS, TEMPORARY SWALES.
 8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
 9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).



- STABILIZED CONSTRUCTION ENTRANCE NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, RETAIN AND/OR CLEANOUT OF ANY MEASURES USED TO STABILIZE SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



5.A.1

No. 56027
Exp. 12/31/22
SITE OF CALIFORNIA

NINE ENGINEERING SERVICES CO.
500 METROPOLITAN BLVD., SUITE 200
SAN JOSE, CALIFORNIA 95128
(408) 434-7492

1425 FORTY NINTH AVENUE
AND 4875 OPAL STREET
CAPITOLA, CA

EROSION CONTROL

REVISIONS	DATE

JOB NO: _____
DATE: 3-11-____
SCALE: 1" = _____
DRAWN BY: NR
SHEET NO: _____

C-4

4 OF 7 SHEET

Attachment: 4875 Opal Street - Plan Set (4875 Opal Street)



NIN ENGINEERING SERVICES CO.
 civil, mechanical, electrical, plumbing, fire, landscape, and interior design
 2001 JACOBSON AVENUE, SUITE 100
 SAN JOSE, CALIFORNIA 95128
 (408) 949-7900

1425 FORTY NINTH AVENUE
 AND 4875 OPAL STREET

TITLE SHEET

Attachment: 4875 Opal Street - Plan Set (4875 Opal Street)

NO.	REVISIONS

JOB NO:
 DATE: 3-11-2
 SCALE: N.T.S.
 DRAWN BY: NR
 SHEET NO:

C-5

OFF-SITE IMPROVEMENT PLANS

FOR RESIDENTIAL USE

503 FORTY NINTH AVENUE & 4875 OPAL STREET, CAPITOLA, CA.

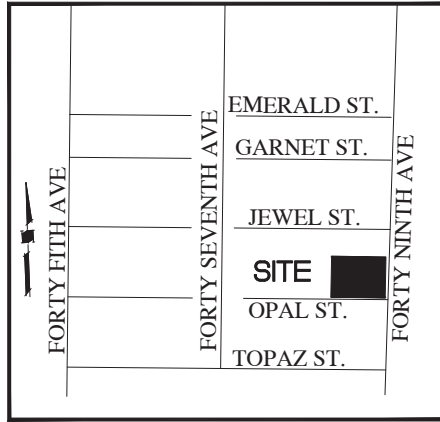
APN: 034-064-11
 APN: 034-064-12

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
CENTERLINE	---	---
SANITARY SEWER	---	---
STORM DRAIN LINE	---	---
ELECTRICAL LINE	---	---
GAS LINE	---	---
JOINT TRENCH	---	---
TELECOMM	---	---
WATER LINE	---	---
OVERHEAD	---	---
SANITARY SEWER CLEANOUT	SSCO	SSCO
SANITARY SEWER MANHOLE	SSMH	SSMH
FENCE LINE	-X-	-X-
WATER VALVE	WV	WV
WATER METER	WM	WM
FIRE HYDRANT	XX	XX
JOINT POLE	J	J
GUY ANCHOR	G	G
TREE, SIZE AND TYPE AS NOTED	XX' TREE	XX' TREE
GAS LINE	G	G
WATER LINE	W	W
REMOVE TREE	X	X
CONCRETE	CONCRETE	CONCRETE
GAS METER	GM	GM
DRAINAGE FLOW	→	→
AREA DRAIN (CHRISTY BOX V-1) OR EQUAL	AD	AD
STORM DRAIN MANHOLE	SSMH	SSMH

ABBREVIATION

AD	AREA DRAIN
CO	CLEANOUT
(E)	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
FS	FINISH SLAB
INV	INVERT
(N)	NEW
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SD	STORM DRAIN



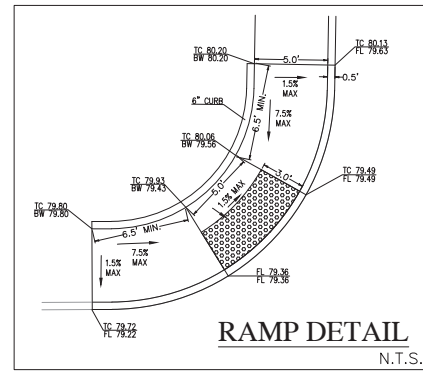
VICINITY MAP
 NTS



NOTICE TO CONTRACTORS
 CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.

- GENERAL NOTES:**
- CALL U.S.A PHONE NO. 1-800-227-2600 48 HOURS BEFORE EXCAVATION.
 - SANITARY SEWER LATERAL, WATER LINE, GAS LINE AND ELECTRICAL LINE LOCATIONS SHOWN ARE APPROXIMATE AND NEED TO BE VERIFIED PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHERS MATERIALS RESULTING FROM DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCALS, STATE AND /OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
 - IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
 - CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AT ALL TIMES.
 - CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES AND SURFACE IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE.
 - THE CONTRACTOR SHALL MAINTAIN THE STREET, SIDEWALKS AND ALL OTHER RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
 - EXISTING UNDERGROUND LINES, APPURTENANCES AND FACILITIES WHICH ARE KNOWN TO THE ENGINEER ARE SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING FACILITIES WHICH ARE TO REMAIN IN PLACE, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERE TO. NO WARRANTY IS GIVEN AS TO THE COMPLETENESS AND ACCURACY OF SUCH FACILITIES INFORMATION.
 - ALL CONTRACTORS WILL BE RESPONSIBLE FOR VERIFICATION OF THE LOCATION OF ALL EXISTING UTILITIES IN THE FIELD. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
 - CONCRETE WORK - ALL CONCRETE CONSTRUCTION WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE CONCRETE PERMIT FROM THE PUBLIC WORKS DEPARTMENT TO BE ISSUED TO A LICENSED C-8 CONCRETE CONTRACTOR OR GENERAL CONTRACTOR. ALL SAW CUTS IN THE CITY CURB, GUTTER, AND SIDEWALK SHALL BE MADE ON THE NEAREST SCORE LINES OR JOINTS. THE CITY OF CAPITOLA BEST MANAGEMENT PRACTICES APPLY TO ALL SAW CUTTING ACTIVITY.

- CONSTRUCTION NOTES:**
- CONSTRUCT CURB & GUTTER PER DETAIL ON SHEET C-3
 - CONSTRUCT SIDEWALK PER DETAIL ON SHEET C-3
 - EXIST STREET SIGN TO REMAIN
 - CONSTRUCT CURB RAMP PER CALTRANS DETAIL C ON SHEET C-3
 - CONSTRUCT DRIVEWAY PER DETAIL ON SHEET C-3



DVRO BUILDERS

4875 Opal Street, Capitola

Color Board

House Body:

Sherwin Williams Pure White 7005



House Trim:

Sherwin Williams Inkwell 6992



Garage Door:

Mid-Wood Tone



Roof:

Slate Gray



Attachment: 4875 Opal Street - Color and Material Information (4875 Opal Street)



STAFF REPORT

TO: PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT

DATE: JULY 15, 2021

SUBJECT: **SB2 Pre-Approved ADU Program Overview**

Introduction to SB2 Pre-Approved Accessory Dwelling Unit (ADU) Program.
 Representative: Matt Orbach, Associate Planner, City of Capitola
 Applicant: City of Capitola

PROJECT DESCRIPTION

The City of Capitola contracted Workbench and Metta Urban Design to create an Accessory Dwelling Unit (ADU) program including guidance documents and four prototype designs.

BACKGROUND

On November 22, 2019, the City Council adopted a resolution authorizing Staff to apply for a Senate Bill 2 (SB2) planning grant to develop objective design standards so that the City may more effectively process applications for projects subject to Senate Bill 35 (SB35) and develop guidance documents and pre-approved architectural plans for ADUs.

On March 11, 2020, the City of Capitola was awarded \$160,000 in SB2 grant funding.

On March 25, 2020, City Council adopted an update to the City's ADU ordinance to reflect the State legislation which took effect on January 1, 2020.

On September 11, 2020, the City's new ADU ordinance was certified by the Coastal Commission.

On September 24, 2020, the City Council authorized a sole source contract with Ben Noble Urban and Regional Planning to develop objective standards for Capitola's zoning code with a portion of the SB2 Grant funding.

On February 8, 2021, the City published a request for proposals (RFP) to develop Capitola's ADU program including guidance documents and prototype designs. The RFP was published for 28 days and the City received four proposals from qualified applicants. A committee composed of local architect Frank Phanton, Planning Commissioner Christiansen, Associate Planner Orbach, and Building Official Woodman reviewed the submittals and identified Workbench as the top applicant.

On May 13, 2021, the City Council authorized the City Manager to enter a contract with Workbench in the amount of \$107,000 for the SB2 grant developing public outreach tools regarding ADUs and creating four ADU prototype building plans.

DISCUSSION

The SB2 grant funds were made available to jurisdictions to accelerate housing production. For the City of Capitola, this will be achieved by assisting property owners with ADU development. There are two main deliverables for Capitola's SB2 ADU program. The first is to create guidance documents to inform the public and design professionals of Capitola's ADU standards and the permitting process. The second deliverable is producing architectural and building plans for four ADU prototypes that would fit on a typical Capitola lot and will be available at no cost to Capitola residents. The prototypes will be developed to the point where they are building code compliant and only require approval of a building permit.

Guidance Documents

The deliverables related to the guidance documents include: a detailed, step-by-step ADU handbook; a quick-reference ADU brochure; the ADU application; an ADU checklist for plan submittal; a frequently asked questions (FAQ) list; public facing imagery (graphics); and an update to the text of the ADU page on the City website with links to the previously listed items. These deliverables will define the types of ADUs, provide illustrations showing what these building forms could look like on a typical Capitola lot, explain the new state regulations for ADUs by using illustrations and graphics to distill technical ordinances into more easily understood information, create content that describes the benefits of ADUs and direct users to external resources to excite and inspire property owners about adding an ADU to their property, present and explain the prototypical plans to help property owners identify the best option for their property, and guide property owners through the design and permitting process.

The guidance will be developed by Metta Urban Design with review and input from City Staff and the Planning Commission. Metta Urban Design is currently the Principal Urban Designer leading the creation of public materials for the City of Milpitas's ADU program, which was also funded through an SB2 Planning Grant and was part of the City of Milpitas's focus on accelerating the creation of ADUs.

ADU Prototypes

Staff will be working with the Workbench team to develop four detached ADU floor plans for homeowners that will include several architectural styles as well as options for different interior and exterior finishes. The plans will be designed to fit into a typical property in Capitola and will cover a range of sizes, from the minimum size of 220 square feet up to the maximum Limited Standards ADU size of 800 square feet.

Workbench plans to design ADU templates that include pre-designed options for flexibility, allowing each individual homeowner to choose a plan that best fits their site and personalize finishes to their individual liking without complicating the process. For example, front door locations, bedroom count, roof forms, and interior and exterior materials will all be available and easy to select. Their approach also includes assessing accessibility needs, energy efficiency, and environmental requirements at each stage of design to ensure thoughtful, functional, and comfortable finished buildings. The designs will be high in quality and simple/functional in design, with the goals of high energy-efficiency, long-lasting/durable materials, ease of construction, and human comfort always at the forefront of the design process. By integrating constrained options for homeowner choice within the standard plans, Capitola residents will have options that are best suited to their site and personalized. In tandem with the public outreach materials, the overarching goal is to help homeowners understand the process, from design to occupancy, of building an ADU, so that the residents of Capitola can be empowered to make informed decisions.

The project is currently in the information gathering and conceptual design phase. The Planning Commission will have the opportunity to review and provide input on the schematic and final designs. During the next step of schematic design review, the Commission will review the draft floor plans and exterior elevations for the four prototypes and provide feedback on any design changes they would like to see incorporated into the plans. Workbench will then make the recommended changes to the plans. The design process will continue through the fall, with Planning Commission and City Council review of the final designs tentatively scheduled for November 2021. Following approval of the architectural plans, the building plans for the approved designs will be created. The final project deliverables are tentatively scheduled for approval in March 2022.

Public Outreach

The public outreach component of the project includes a survey to solicit input on the level of interest in building ADUs, size and architectural style preferences, and other relevant design questions. On June 22, the survey was posted on the City of Capitola website and the survey link shared on the City of Capitola Instagram and Facebook accounts. The survey will run until July 14, 2021. The survey results will be analyzed and discussed in the presentation of this item at the public hearing on July 15, 2021.

The public will also have the opportunity to make public comment during future Planning Commission meetings when the ADU prototypes will be reviewed at the schematic design phase and the final design phase, as outlined previously.

Workbench and Metta Urban Design

For Workbench, the principal architect for the project is Jamileh Cannon and the project manager on the ADU prototype development will be Brian Rubin. For Metta Urban Design, the project manager for the public outreach tool development will be Samantha Suter. Resumes for all Workbench and Metta Urban Design team members are included in Attachment 1.

Workbench is a woman-owned architecture and construction company based in Santa Cruz with expertise in ADU design and development. The Workbench proposal includes a subcontract with Samantha Suter, owner of Metta Urban Design, to assist with creating the ADU public outreach tools. Both have experience with ADUs, having recently created prototype ADU designs for the City of Seaside and currently working on an ADU toolkit for the City of Milpitas.

RECOMMENDATION

Staff recommends the Planning Commission accept staff's presentation on the SB2 outreach and pre-approved ADU prototype program and provide feedback on the project.

ATTACHMENTS:

1. SB2 ADU Consultant Submittal - Workbench + Metta Urban Design

Prepared By: Matt Orbach
Associate Planner

PROPOSAL
City of Capitola SB2 Grant RFP

Public Outreach Tools and Prototype Designs for Accessory Dwelling Units

Prepared for:
Matt Orbach, Associate Planner

RFP Issue Date:
2/8/2021



Attachment: SB2 ADU Consultant Submittal - Workbench + Metta Urban Design (SB2 Pre-Approved ADU Program Overview)

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March 8, 2021

City of Capitola
 Mr. Matt Orbach, Associate Planner
 420 Capitola Avenue
 Capitola, CA 95010

Dear Mr. Orbach,

Thank you for providing us the opportunity to present our qualifications and proposal for the City of Capitola's Prototype Designs for Accessory Dwelling Units initiative. We are honored and excited by the opportunity to work on this innovative and inspiring community project.

Workbench is a woman-owned architecture and construction company based in Santa Cruz, CA. We are proud to live, build, and participate in our community here on the Central Coast.

We are joined in our efforts for this project by Samantha Suter, owner of Metta Urban Design, another Santa Cruz-based, women owned firm. Sam has worked professionally in an urban design, planning and landscape architecture capacity for 15 years,.

Collectively, our team has been contributing to the statewide effort to expedite the development of ADUs through our recent work in other California cities. Specifically, Workbench recently created prototype designs for Seaside, and MUD is developing an ADU Toolkit for the City of Milpitas, which was funded by SB2. Based on our experience, and our ongoing technical work and research, we know firsthand how beneficial ADUs can be. We know how to design and build them, and we know how to illustrate the rules and processes that guide homeowners. And, we are based in Santa Cruz, so as neighbors to Capitola, we have first-hand knowledge of the specific nuances and challenges posed by a coastal community. We are perfectly suited and excited for the potential to help the City of Capitola develop your ADU program.

Thank you for the opportunity and for your time in reviewing our proposal. We understand that there may be many firms submitting proposals for this project, and we appreciate your consideration.

If you have questions or require additional information along the way, please reach out to Jamileh directly at 415.730.2952.

Sincerely,
 Jamileh Cannon, Tim Gordin and Samantha Suter



Founding Partners, Workbench and MUD



BUILT FROM --- COLLABORATION

Workbench began as a collaboration. After developing decades of collective experience in the design and building of multi-family housing projects, architect Jamileh Cannon and construction superintendent Tim Gordin met while working on a 330 unit apartment project, connecting over their passion for building housing and building community. Brought together by shared values, they partnered to form Workbench.

Metta Urban Design LLC (MUD) is a Santa Cruz-based boutique, woman-owned design firm specializing in implementation-ready, community-oriented planning, urban design, and landscape architecture. Our work focuses on building strong communities through innovative yet implementable solutions, and include developing public-facing user guides explaining planning concepts, ADU toolkits, development handbooks, form-based codes, design standards, and street design manuals.

In all of our work, we are committed to providing exceptional graphics, high quality deliverables, and well managed projects. In every project we take on, stakeholder engagement and effective project materials is at the center. We excel in participatory planning, which means that we create a meaningful role for stakeholders throughout the project. Our past successes, both in planning and implementation, are largely based on this commitment to engaging the people who will be impacted by a project and integrating them into the planning process. We want to create vibrant places that benefit people and their environment, but beyond that, we aim to foster stewardship and community-building during the planning process so that the places where we work can continue to grow and flourish beyond the life of the project.

Our founding ethos: a shared desire to build for good, using design and construction to positively grow communities, enhance neighborhoods, and improve day-to-day life.

With a focus on ADUS, infill housing, and multi-family residential projects, our work supports our belief in the power of great design to create healthy homes, build personal interactions, and bring together communities.



QUALIFICATIONS

EXPERIENCED IN DESIGN AND DEVELOPMENT OF ADUS (TRADITIONAL AND GARAGE CONVERSIONS)

We got our start in ADUs, and have quickly become the local experts in the design, development, and building of these much-needed housing units. Our designers also function as project managers, coordinating with local planning departments and jurisdictions to get projects permitted and built, resulting in a deep understanding of the governing requirements. As one of our key product types, we have a strategic plan to make building ADUs simpler for our community: the continual development of standardized designs with the goal of creating nearly “plug-and-play” designs and offering educational resources through our website.

WE ARE EXPERIENCED IN THE 2020 ADU LAWS

We recently had the opportunity to work with a client in Capitola on the first garage conversion using the newly enacted 2020 ADU regulations. We worked closely with the City to coordinate this effort while they were coordinating and adopting their version of the codes with the Coastal Commission. In our partnership with the City of Seaside to develop their Pre-Approved ADUs we utilized the new 2020 ADU codes and we have also performed multiple feasibility studies for ADUs on multi-family lots within the Coastal Zone.

WE ARE EXPERIENCED WITH SB2 GRANT FUNDING

MUD is the Principal Urban Designer leading the creation of public materials for Milpitas's ADU program. This project was funded through the SB2 Planning Grant and was part of the City of Milpitas's focus on accelerating the creation of ADUs and their response to California's 2020 ADU Laws. Materials are currently in draft form with an expected public release of Spring 2021.



We're experienced in ADU DESIGN + BUILD

The first project for our growing business was an ADU, and in the years since, we've quickly made a name for ourselves in the field. Our dedicated ADU specialists keep our entire team educated on and involved with current ADU requirements and the industry's most innovative ideas.



We're passionate about HOUSING

We believe housing of all sorts is needed to combat our current housing crisis: allowing our senior neighbors to age-in-place, creating space for our young citizens to stay in their hometown, resulting in smarter land use with less environmental impacts, and supporting the great diversity of communities that call the Central Coast home.



Experienced in Creating information for our Community

MUD was the Lead Urban Designer creating a public facing program that explains the neighborhood planning and community engagement process. Established an equitable approach to planning by articulating a measurable, data-driven and repeatable process. Created public facing materials and tools to help community organizations understand how to engage in Denver's planning process.

STATEMENT OF APPROACH

OUR BIG IDEA - OFFERING HOMEOWNERS A CHOICE

Our big idea - to design a templated ADU that includes pre-designed options for flexibility, allowing each individual homeowner to choose a plan that best fits their site and personalize finishes to their individual liking, without complicating the process. And, to present materials to help homeowners understand the process, from design to occupancy, of building an ADU, so that the residents of Capitola can be empowered to make informed decisions.

The happiness of a home's residents is the ultimate verdict on a design's success. By integrating constrained options for homeowner choice within standard plans, we can offer ADUs to Capitola residents that are better suited to their site and feel highly personal to them.

WHAT THIS MEANS

Included in the working drawings for the 4 to 5 varying ADUs would be several pre-determined options. Homeowners could mix-and-match to build an ADU that is personal to them. This would include:

A. In addition to the base floorplans, creating reverse floorplan options. This would allow homeowners to easily modify our standard designs to address specific concerns such as privacy, solar orientation, and other site constraints.

B. Specifying up to three unique interior material packages. Materials would be chosen from easy-to-procure sources and consumer retailers.

C. Offering two exterior siding/roofing options. Working drawings would include details for each, allowing homeowners to better coordinate with the exterior finishes of their primary home or match their aesthetic preferences.

DESIGNING FOR ACCESSIBILITY AND EFFICIENCY AS A PRIORITY

Our prior work in ADUs has shown that ADA accessibility and universal design features can be beautifully integrated into small dwellings. Our approach includes assessing accessibility needs, energy efficiency, and environmental requirements at each stage of design to ensure a thoughtful, functional, and comfortable finished building. The designs will be high in quality and simple/functional in design, with the goals of high energy-efficiency, long-lasting/durable materials, ease of construction and human comfort always at the forefront of our process. The ADUs will meet universal design standards, if practical given site conditions. At a minimum, this includes wheelchair access at entryways, hallways, and doors; and appropriate grab bar backing in bathrooms.

SCOPE OF SERVICES

OVERVIEW OF THE WORK

With the City's help, Workbench will determine what a typical Capitola property looks like: How large, what dimensions, where are the existing homes are placed within the lots etc. etc. Once established, we will critically examine what architectural responses will best accommodate as many parcels as possible.

We will develop a "telescoping" floor plan with a choose your own adventure for homeowners that will consist of different forms, sizes and finishes. These plans will be designed to fit into a typical property in Capitola and be flexible enough to accommodate atypical parcels

The plans will be designed around the smallest unit size (studio) and can be incrementally increased to the largest unit. "Add ons" i.e bedrooms, will be either adjacent too or on top of the main living space, or baseline unit. This will allow residents to choose between single or double story options as well as number of bedrooms.

Ultimately, we will develop completed and approved construction document sets for a Studio, 1 Bedroom, 2 Bedroom and 3 Bedroom plan with flexibility for how to configure the bedrooms around a main living space. The 2 and 3 bedroom options will be designed for maximum flexibility for how the sit on the site as well as for a one or two story building.

In tandem with Workbenches' architectural design efforts, MUD will develop the supporting informational material as outlined in the RFP. This effort will include:

- Defining the types of ADUs (attached, detached, converted, and junior) and providing illustrations showing what these building forms look like on a typical Capitola lot.
- Explaining the new State regulations for ADUs by using illustrations and graphics to distill technical ordinances into more easily understood information.
- Creating content that describes the benefits of ADUs, showing case studies of how ADUs can be used, and direct users to more resources to excite and inspire property owners about adding an ADU to their property.
- Presenting and explaining the prototypical plans and helping property owners identify the best scenario for their property, taking into account lot conditions, size allotments, and resources.
- Guiding property owners through the design and permitting process. Identifying the steps in the review process, including expedited review using a preapproved plan, and the process for creating a custom design. Materials will also catalogue the requirements of a complete application with an easy to use checklist.
- Providing clear and simple answers to frequently asked questions.

PORTFOLIO

SEASIDE ADU

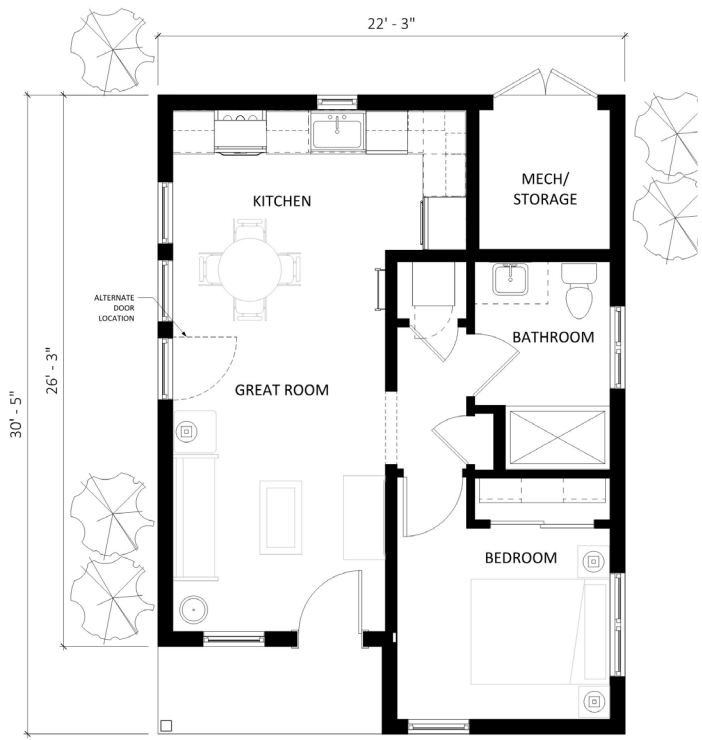
PRE-APPROVED ADUS BY WORKBENCH

Drawings shown are from the City of Seaside's Pre-Approved ADU Plans.

All three ADUs are identical in plan with 530 square foot of net living space that includes one bedroom, one bathroom, and an exterior storage room. The homeowner has the opportunity to express their own style by choosing exterior form, material and color along with the interior finishes.



THREE LOOKS,
SAME FLOORPLAN



workbenchbuilt.com/seaside-preapproved-adu
ci.seaside.ca.us/740/ADU-Guide

Attachment: SB2 ADU Consultant Submittal - Workbench + Metta Urban Design (SB2 Pre-Approved ADU Program Overview)

PORTFOLIO

STUDIO ADU GARAGE CONVERSION

An under-utilized garage in Santa Cruz finds new life as a cheerful (and efficient) studio ADU. Workbench worked with the client to determine project feasibility, square footage potential, and architectural design.

By Workbench



CITY OF MILPITAS TOOLKIT

ADU TOOLKIT AND DEVELOPMENT HANDBOOK BY MUD

Samantha Suter with MUD is working as Principal Urban Designer leading the creation of public materials for Milpitas's ADU program. This project was funded through the SB2 Planning Grant and was part of the City of Milpitas's focus on accelerating the creation of ADUs and their response to California's 2020 ADU Laws. Materials are currently in draft form with an expected public release of Spring 2021.

II. DEVELOPMENT REVIEW PROCESS

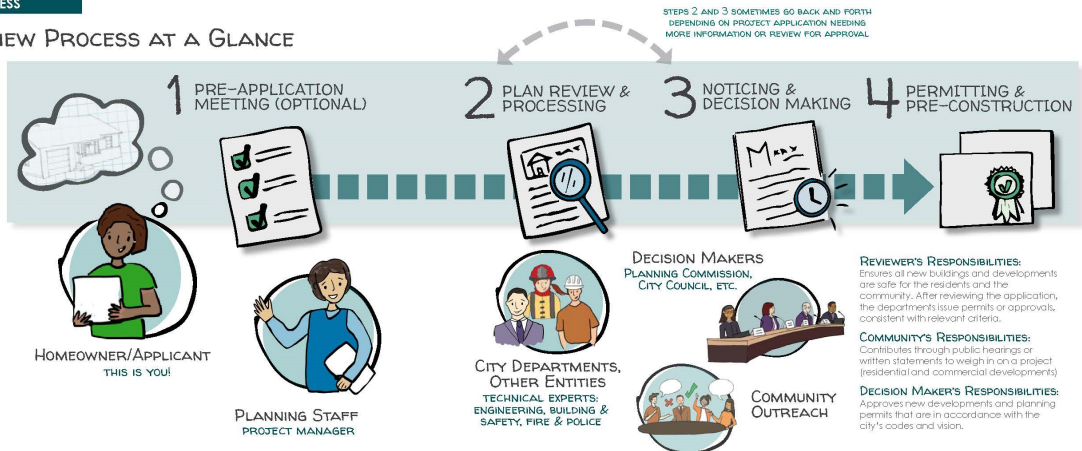
DEVELOPMENT REVIEW PROCESS AT A GLANCE

Development Review is made up of four main steps, as shown here. The length of time and specific requirements of each step varies by project, but all approvals follow this general process.

Key people are involved in the Development Review Process during specific steps - as described in the Development Review Process and upcoming in Section III Roles & Responsibilities.

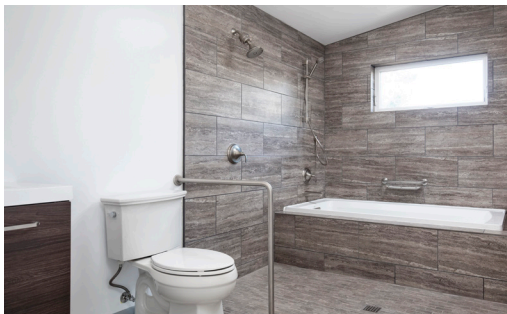
APPLICANT'S RESPONSIBILITIES: Develop plans; submit permit applications, materials, & fees to the planning staff department.

PLANNING STAFF RESPONSIBILITIES: Guide you through the process of permitting for your proposed project and assist in approving planning permits, works with city departments, elected decision makers and the community for project approvals.



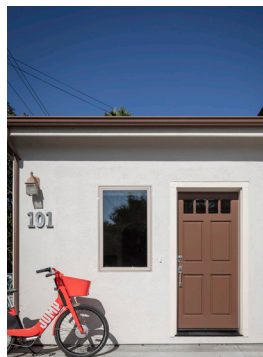
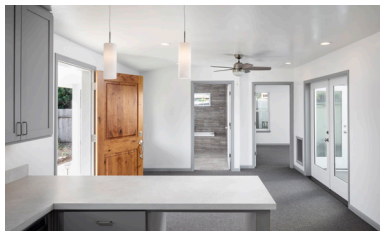
PORTFOLIO

VARIOUS WORKS



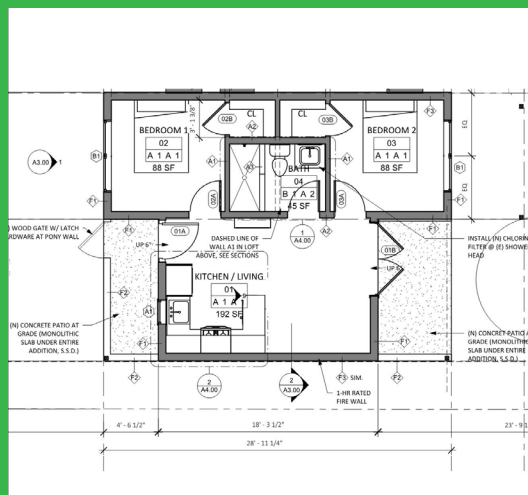
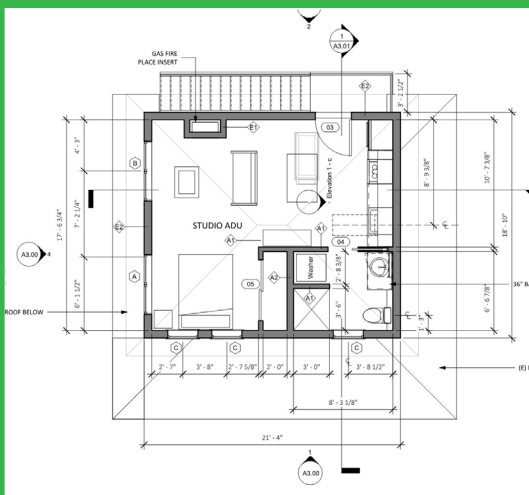
WESTIDE BACKYARD ADU

SANTA CRUZ, CA
860 SQUARE FEET



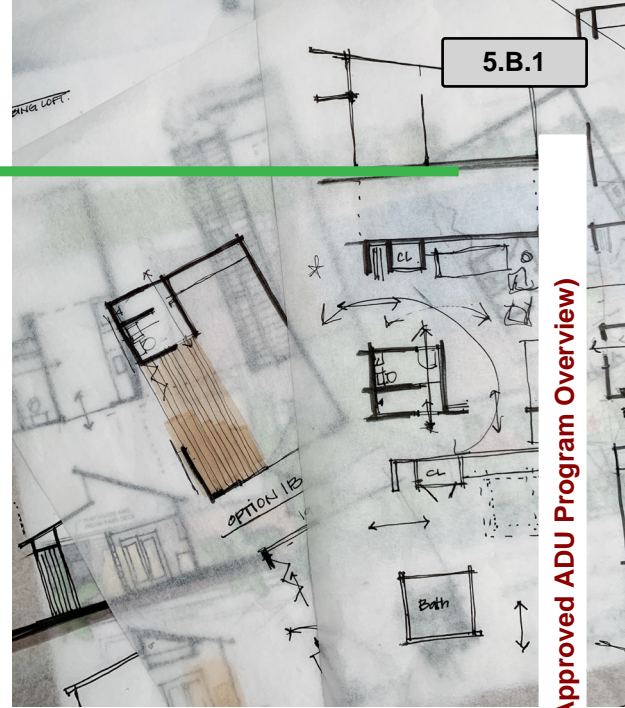
GARAGE TERRACE ADU

SANTA CRUZ, CA
325 SQUARE FEET



BUILDING HOUSING FOR OUR COMMUNITY

We got our start in ADUs, and have built our project portfolio to include a wide-range of residential work. With a focus on developing more housing through multi-family, infill, and ADU projects, we design spaces for neighbors to gather, families to grow, senior citizens to age-in-place comfortably, and communities to develop.



Attachment: SB2 ADU Consultant Submittal - Workbench + Metta Urban Design (SB2 Pre-Approved ADU Program Overview)

FOCUSED EXPERTISE

What we're passionate about and what we do best are one and the same.



EXPERIENCED STRUCTURAL ENGINEER

CHAD TAYLOR - CM TAYLOR STRUCTURAL ENGINEERING, INC.

C M Taylor Structural Engineering, Inc. (CMTSE) was formed by Chad Taylor, a registered civil and structural engineer in the State of California with more than 20 years of professional experience, to provide high quality structural engineering services to architects, developers, contractors, and government agencies. The firm consists of principal engineer Chad Taylor and a small staff of technical and engineering specialists. CMTSE specializes in the structural engineering of buildings, bridges, amusement structures and other accessory/non-building structures. CMTSE uses the latest in state-of-the-art software including CAD, BIM, and other speciality structural engineering applications to provide efficient and cost-effective solutions to complex problems. CMTSE is located in and proud to be part of the community of Capitola, CA.

Chad was an invaluable partner to Workbench in the development of the City of Seaside Pre-Approved ADU.



DEDICATED ADU SPECIALISTS AND SUSTAINABILITY EXPERTS

ALI SCONTRINO (LEED AP), SIENA SHAW AND BRIAN RUBIN (CERTIFIED PASSIVE HOUSE DESIGNERS)

Workbench got our start in ADUs, and we're known in our hometown of Santa Cruz as the local experts. With each project, we have further refined our design-build model to bring creative collaboration and operational efficiencies into the process. Working together since our first build, Architectural Project Manager Siena and Construction Project Manager Ali are our resident experts across the entire ADU development, design, and construction cycle, sharing their experience and expertise with the rest of the Workbench team and bringing added value to our clients.



We are proud to have Certified Passive House (Passivhaus) Designers Brian Rubin and Siena Shaw on our architecture team at Workbench. Their expertise and internal advocacy has resulted in higher-quality designs, smarter and more efficient materials and systems choices, and energy-efficient, comfortable completed buildings. Workbench has included typical Passive House elements (such as HRV systems and continuous exterior insulation) on multiple ADUs and residential projects.

KEY PERSONNEL

JAMILEH CANNON

FOUNDING PARTNER AND PRINCIPAL ARCHITECT

As a licensed California Architect and seasoned construction manager, Jamileh directed over \$150 million dollars worth of multi-family construction projects prior to founding Workbench.

She possesses the unique ability to easily marry the designers intent and the constraints of the building process, leading the Workbench team to design functional and beautiful buildings with a focus on constructability. A skilled project manager, she is able to facilitate smooth collaboration, has a robust financial understanding of the construction process, and a gifted ability to bring architectural plans to fruition.

NOTABLE PROJECTS AND MILESTONES

FOUNDER, WORKBENCH

THE DWELLINGS AT SOQUEL TOWNHOMES, SANTA CRUZ COUNTY
Principal Architect, Developer, and Builder for a pocket community of thirteen new townhomes, two newly-renovated existing homes, and common area amenities. Offers modern design, quality construction, and a ready-built neighborhood at affordable and market-rate prices. Estimated groundbreaking: Summer 2020

ALTA LAGUNA MIXED USE DEVELOPMENT, SAN FRANCISCO.
Project Director for 330 unit housing development on challenging urban hillside site. Project included five mixed-use buildings, rehabilitation of existing historic building, new 20,000 sf community garden, and extensive below-grade parking. With Build Group, Inc.

ALMA DEL PUEBLO, SANTA BARBARA
Project Manager for 38-unit ground-up project. Each of the five buildings is detailed differently and features one of three unique interiors packages, common amenity spaces, rooftop gardens, and below-grade parking. Ran extensive coordination efforts with the Owner, Subcontractors, utilities companies, government authorities, and municipal entities to bring the project to fruition.

DESIGNER, MICHELLE KAUFMANN DESIGNS (PRE-FAB)

In early career, worked as designer for prominent, vertically-integrated pre-fab design-build firm in San Francisco. Responsibilities included feasibility studies, site plans, construction documents, and interiors packages.



EXPERIENCE

Licensed Architect,
State of California
LIC# C33050

EDUCATION & CERTIFICATIONS

B.Arch.
Cal Poly San Luis Obispo

PERSONAL & COMMUNITY

Board Member,
Santa Cruz YIMBY

Member, Association of
Women Entrepreneurs

PRESS & SPEAKING

KSQD FM, 2019
Santa Cruz Sentinel, 2019
Santa Cruz Works, 2019
Good Times SC, 2018
Event Santa Cruz, 2018

KEY PERSONNEL

TIM GORDIN

FOUNDING PARTNER AND GENERAL CONTRACTOR

Tim founded Workbench following over a decade of experience in large-scale residential construction, where he worked on multi-family housing projects as large as 1800 units. As a licensed General Contractor, he prides himself on knowing the details and sticking to the schedule; as a natural entrepreneur, he brings an “anything is possible” attitude and long-term vision to the table.

At Workbench, Tim has guided the construction and architecture teams in the firm’s ADU initiatives, leading to a finely-honed level of expertise and efficient internal operations. With a sharp focus on practicality and precise budging, Tim prides himself on knowing the details, sticking to the schedule, and completing quality builds within budget.

NOTABLE PROJECTS AND MILESTONES

FOUNDER, WORKBENCH

THE DWELLINGS AT SOQUEL TOWNHOMES, SANTA CRUZ COUNTY
Developer and General Contractor for a pocket community of thirteen new townhomes, two newly-renovated existing homes, and common area amenities. Offers modern design, quality construction, and a ready-built neighborhood at affordable and market-rate prices. Estimated groundbreaking: Summer 2020

ALTA LAGUNA MIXED USE DEVELOPMENT, SAN FRANCISCO.
Construction Superintendent for 330 unit housing development on challenging urban hillside site. Project included five mixed-use buildings, rehabilitation of existing historic building, new 20,000 sf community garden, and extensive below-grade parking. With Build Group, Inc.

CRESCENT VILLAGE BUILDINGS 1-5, SAN JOSE
Construction Superintendent on Irvine Company ground-up apartment community build. With Western National.

RIVER OAKS, SAN JOSE
Construction Superintendent for 438 unit, five-story wood frame building with 400,000 of elevated deck. With Western National.



EXPERIENCE

Licensed Contractor
State of California
LIC# 1032189

PRESS & SPEAKING

KSQD FM, 2019
Santa Cruz Sentinel, 2019
Santa Cruz Works, 2019
Good Times SC, 2018
Event Santa Cruz, 2018

KEY PERSONNEL

BRIAN RUBIN

DESIGNER AND PROJECT MANAGER

CERTIFIED PASSIVE HOUSE DESIGNER

Educated as both an Architect and Construction Project Manager, Brian received his Architecture License in the State of New York before moving closer to family in California and joining the Workbench team. A skilled project manager and designer, Brian holds extensive experience in commercial architecture, hospitality, and high-end residential projects.

A lover of both the natural and built environments, he finds the dense fabric of a city and the quiet of remote locations equally interesting and inspiring, working to bring the sensibility of both together with his refined design work.

NOTABLE PROJECTS AND MILESTONES

NET-ZERO PASSIVE HOUSE, CARMEL VALLEY CALIFORNIA

Architect and Project Manager at dimensionStyle, Ltd. Responsible for the design, documentation, and coordination of the new custom single family residence and observatory renovation. This all-electric home utilizes the key principles of a Passive House, reducing its demand for heating and cooling up to 90% and total energy demand by 70-80%: the key to minimizing carbon emissions.

VAIL PLAZA HOTEL, VAIL COLORADO

Job Captain at Zehren and Associates, Inc. Key member of architecture team for all phases of design and coordination of full-service hotel including 100 rooms; 50 fractional fee club units; 18 employee housing units; two restaurants; conference facilities; and an indoor-outdoor pool and spa.

ITALIAN FOOD CENTER, LITTLE ITALY NEW YORK

Lead Designer and Construction Project Manager at Beckman Studio Design Build. Renovation of 5,000 square foot, two-story restaurant with two bars, an open format kitchen with wood-burning brick pizza oven, public wine cellar, sidewalk cafe, and private dining rooms. Architectural elements included salvaged/upcycled materials and bespoke furniture/light fixtures.

FINDINGS SHOWROOM, SOHO NEW YORK

Lead Designer and Construction Project Manager at Beckman Studio Design Build. Responsible for design, fabrication, and renovation of an old loft building into a 10,000 square foot high-end showroom for prominent fashion designers. Space featured old growth wood floors and joists, steel columns and accent elements, custom-designed modular rack systems, cases and furniture.



EXPERIENCE

Architectural Designer
Project Manager

EDUCATION & CERTIFICATIONS

Licensed Architect,
State of New York

Bachelor of Environment
Design (B.EnvD)
University of Colorado

Advanced Graduate
Certificate in Constructive
Management,
New York University

Certified Passive House
Designer
Passive House Academy,
New York, NY

PERSONAL & COMMUNITY

Designed and built 250
square foot
Passive House on Wheel:

Former Board Member,
Passive House California

KEY PERSONNEL

SAMANTHA SUTER

OWNER, PRINCIPAL/ RLA, LEED AP

Samantha Suter is an urban designer, landscape architect, and planner who has contributed to a variety of projects at every scale. She has worked professionally in an urban design, planning and landscape architecture capacity for 15 years, and she brings a fresh perspective to her work that encourages innovation, clarity, and community engagement.

Her experience is broad and her technical understanding ranges from regional transportation planning to form-based codes to landscape architecture, and she was worked for clients including large MPOs, private developers, and individual homeowners, however most of her clients are planning departments throughout the western United States. As a former public sector planner, Samantha understands the perspective of planning staff and uses that knowledge to support and lead her clients through a successful process. As a former senior project manager for a large design firm, Samantha's experience includes managing a multimillion-dollar placemaking study, and she has a proven track record of managing large teams through complex, high profile projects. Samantha excels at taking complex ideas and presenting them in a way that people understand. This is how Samantha has been so successful as a professional urban designer and planner, and her work to build strong communities is what excites her most about her career. She emphasizes graphic storytelling in all of her work, and her illustrations have been cited nationwide as the standard for depicting the regulatory aspects of planning, including code and design standards, in a way that most people can understand. Most notably, Samantha overhauled the graphic style of Denver's context-based zoning code which has receive wide acclaim throughout the country. Samantha teaches graduate students "Visualization for Planning" as an online class through the University of Colorado, and she mentors students in becoming better planners by creating effective, powerful visualizations. She is also developing a continuing education series through AICP for certified planners to maintain their credential by learning visualization techniques.

NOTABLE PROJECT

ADU Toolkit and Development Handbook, the City of Milpitas

Principal Urban Designer leading the creation of public materials for Milpitas's ADU program. This project was funded through the SB2 Planning Grant and was part of the City of Milpitas's focus on accelerating the creation of ADUs and their response to California's 2020 ADU Laws. Materials are currently in draft form with an expected public release of Spring 2021.

**EXPERIENCE**

Senior Project Manager,
MIG, Inc.

Clinical Track Professor,
Master of Urban and
Regional Planning and
Master of Urban Design,
University of Colorado
Denver

City Planner - Urban Des
City and County of Denv

Principal of Landscape
Architecture, Metta
Landscapes

EDUCATION & CERTIFICATIONS

M Urban Design, Univers
of Colorado, Denver
B Landscape Architectur
University of Georgia

LICENSES AND CREDENTIALS

Licensed Landscape
Architect State of Califor
LIC# 6241

Licensed Landscape
Contractor State of
California LIC# 975179

KEY PERSONNEL

SIENA SHAW

DESIGNER AND PROJECT MANAGER
CERTIFIED PASSIVE HOUSE DESIGNER

As Workbench's earliest employee, Siena's deft hand and thoughtful approach were critical in organizing the operations of the architecture division of the growing firm. Her early work on Workbench ADUs have set the tone for the flourishing business, and she leads the architecture team as the resident expert on ADU requirements, functions, and designs.

A motivated, happy problem-solver, Siena also is a natural leader inside and outside of work. After working in residential design for the bulk of her career, her next professional goal is to pass the CSE.

NOTABLE PROJECTS AND MILESTONES**PROJECT MANAGER AND DESIGNER, ADUS AND MULTI-FAMILY**

Project Designer for all Workbench ADUs designed and built to-date. Developed strong, positive rapport with consultants and city employees to get projects permitted for construction. Works with clients to integrate functional needs, universal design/ADA features, and energy efficient details and materials into architectural designs.

ARCHITECTURAL DESIGNER, NEW YORK PARKS DEPARTMENT

Independently developed Revit project template and standards for production drawings. Evaluated conditions of existing buildings, design solutions and produced drawing sets. Created presentations and applications for Landmarks Review.

**SOLAR DECATHALON COMPETITION HOME
PARSONS/STEVENS INSTITUTE OF TECHNOLOGY**

Design and builder of the Parsons / Stevens Institute of Technology home for Solar Decathlon 2011 Competition. Participated in client meetings to establish the project requirements and progress. Achieved first place in affordability with Passive House standards. With Empowerhouse Construction.

NYC RIVERSIDE PARK FIELDHOUSE, NEW YORK

Design and construction administration of renovated NYC Field House in Riverside Park. Collaborated on project design, code conformance and construction schedules. Participated in meetings with Manhattan Community Board 7, New York City Landmarks Department and New York City Department of Buildings. With The Design Workshop.

**EXPERIENCE**

Architectural Designer
Project Manager

**EDUCATION &
CERTIFICATIONS**

M.Arch. with Honors
Parsons the New School
Design

Bachelor of Environment
Design (B.EnvD)
University of Colorado

Certified Passive House
Designer Certification
Passive House Academy,
New York NY

**PERSONAL &
COMMUNITY**

Designed and built 250
square foot Passive House
on Wheels

Founder of the Parsons
AIAS Chapter

Laborer/Coordination,
Habitat for Humanity
Boulder, CO

Designer and Builder,
Operation Crossroads Af

KEY PERSONNEL

ALEXANDRA SKLAR

DESIGNER AND MATERIALS SOURCING SPECIALIST

Alexandra joined the Workbench team following over a decade of experience in product design, materials sourcing, and creative direction. She brings her robust experience in interiors and product specifications to the architecture team while also managing the firm's marketing efforts. She holds a professional degree in Architecture and is currently working towards her professional license.

NOTABLE PROJECTS AND MILESTONES

MATERIALS LIBRARY, WORKBENCH

Manage research and identification of new building materials and finishes for the Workbench Architecture team.

PROJECT MANAGER, MARCH SAN FRANCISCO

Creative direction and head of marketing for preeminent San Francisco luxury housewares retailer. Projects included: dedicated shop-in-shop and kitchen within GOOP's San Francisco store (located in Frank Lloyd Wright's Morris Gallery); design-build of GOOP's Los Angeles Test Kitchen; in-store community events; product development, and introduction of company's Kitchen Design and Registry businesses.

HEAD BUYER, TERRAIN

Senior leadership role with national sister brand of Anthropologie. Inventive store format integrated multi-building retail selling space, wedding and events venue, plant nursery, and a full-service farm-to-table restaurant within a historic Amish barn and several vintage greenhouses on a three-acre site. Managed design research, product development, private-label initiatives, and finished goods sourcing for 3000 items and 1000 vendors (including home furnishings, housewares, textiles, garden, and antiques). Worked hand-in-hand with Urban Outfitters Inc. corporate architecture and operations teams as key member of new store opening team.

FURNITURE DEVELOPMENT, TERRAIN/TERRAIN GARDEN CAFES

Developed and sourced collection of outdoor furniture for flagship Terrain Garden Cafe locations in Westport, CT and Glen Mills, PA. Regularly worked with prominent furniture and lighting vendors on custom indoor and outdoor furnishings for retail sale in Terrain stores.

MARKET EDITOR, GARDEN DESIGN MAGAZINE

Former market editor for Garden Design Magazine. Identified emerging product trends and interviewed leading designers for print features.



EXPERIENCE

Designer
Product Design
Project Management

Extensive work and international travel related to sourcing of raw materials, finished goods, and furnishings.

EDUCATION & CERTIFICATIONS

B.A., Architecture,
Minor in City and Region
Planning,
University of California,
Berkeley

M.Arch. with Certificate
in Real Estate Design and
Development,
University of Pennsylvania

PERSONAL & COMMUNITY

Guest speaking, Wharton
School of Business and
Lundquist College of
Business (Oregon)
Elected Board Member,
Graduate and Professional
Students Association (Penn)
Published designer, stylist,
and art director

Attachment: SB2 ADU Consultant Submittal - Workbench + Metta Urban Design (SB2 Pre-Approved ADU Program Overview)