



# **AGENDA**

## **CAPITOLA PLANNING COMMISSION**

### **Thursday, August 2, 2018 – 7:00 PM**

Chairperson            Sam Storey  
Commissioners        Linda Smith  
                                 Ed Newman  
                                 TJ Welch  
                                 Susan Westman

#### **1. ROLL CALL AND PLEDGE OF ALLEGIANCE**

#### **2. ORAL COMMUNICATIONS**

##### **A. Additions and Deletions to Agenda**

##### **B. Public Comments**

*Short communications from the public concerning matters not on the Agenda. All speakers are requested to print their name on the sign-in sheet located at the podium so that their name may be accurately recorded in the Minutes.*

##### **C. Commission Comments**

##### **D. Staff Comments**

#### **3. APPROVAL OF MINUTES**

##### **A. Planning Commission - Regular Meeting - Jun 7, 2018 7:00 PM**

#### **4. CONSENT CALENDAR**

*All matters listed under "Consent Calendar" are considered by the Planning Commission to be routine and will be enacted by one motion in the form listed below. There will be no separate discussion on these items prior to the time the Planning Commission votes on the action unless members of the public or the Planning Commission request specific items to be discussed for separate review. Items pulled for separate discussion will be considered in the order listed on the Agenda.*

##### **A. 324 Riverview Avenue            #18-0168            APN: 035-172-21**

Design Permit for a third-story addition to an existing two-story single-family home located within the C-V (Central Village) zoning district.

This project is in the Coastal Zone and does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: Gabriel & Kathy Vesce

Representative: Dennis Norton, Filed: 04.13.2018

**5. PUBLIC HEARINGS**

*Public Hearings are intended to provide an opportunity for public discussion of each item listed as a Public Hearing. The following procedure is as follows: 1) Staff Presentation; 2) Public Discussion; 3) Planning Commission Comments; 4) Close public portion of the Hearing; 5) Planning Commission Discussion; and 6) Decision.*

- A. 1816 Wharf Road                      #18-0281                      APN: 035-111-17**  
Coastal Development Permit and Variance to decrease setback to riparian corridor for a pin-pile retaining wall located within the A-R/R-1/ESHA (Automatic Review, Single-Family Residential) zoning district.  
This project is in the Coastal Zone and requires a Coastal Development Permit which is appealable to the California Coastal Commission after all possible appeals are exhausted through the City.  
Environmental Determination: Categorical Exemption  
Property Owner: Joanne Kisling  
Representative: Joanne Kisling, Filed: 06.19.2018

**6. DIRECTOR'S REPORT****7. COMMISSION COMMUNICATIONS****8. ADJOURNMENT**

**APPEALS:** The following decisions of the Planning Commission can be appealed to the City Council within the (10) calendar days following the date of the Commission action: Conditional Use Permit, Variance, and Coastal Permit. The decision of the Planning Commission pertaining to an Architectural and Site Review Design Permit can be appealed to the City Council within the (10) working days following the date of the Commission action. If the tenth day falls on a weekend or holiday, the appeal period is extended to the next business day.

All appeals must be in writing, setting forth the nature of the action and the basis upon which the action is considered to be in error, and addressed to the City Council in care of the City Clerk. An appeal must be accompanied by a five hundred dollar (\$500) filing fee, unless the item involves a Coastal Permit that is appealable to the Coastal Commission, in which case there is no fee. If you challenge a decision of the Planning Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this agenda, or in written correspondence delivered to the City at, or prior to, the public hearing.

**Notice regarding Planning Commission meetings:** The Planning Commission meets regularly on the 1<sup>st</sup> Thursday of each month at 7 p.m. in the City Hall Council Chambers located at 420 Capitola Avenue, Capitola.

**Agenda and Agenda Packet Materials:** The Planning Commission Agenda and complete Agenda Packet are available on the Internet at the City's website: [www.cityofcapitola.org](http://www.cityofcapitola.org). Agendas are also available at the Capitola Branch Library, 2005 Wharf Road, Capitola, on the Monday prior to the Thursday meeting. Need more information? Contact the Community Development Department at (831) 475-7300.

**Agenda Materials Distributed after Distribution of the Agenda Packet:** Materials that are a public record under Government Code § 54957.5(A) and that relate to an agenda item of a regular meeting of the Planning Commission that are distributed to a majority of all the members of the Planning Commission more than 72 hours prior to that meeting shall be available for public inspection at City Hall located at 420 Capitola Avenue, Capitola, during normal business hours.

**Americans with Disabilities Act:** Disability-related aids or services are available to enable persons with a disability to participate in this meeting consistent with the Federal Americans with Disabilities Act of 1990. Assisted listening devices are available for individuals with hearing impairments at the meeting in the City Council Chambers. Should you require special accommodations to participate in the meeting due to a disability, please contact the Community Development Department at least 24 hours in advance of the meeting at (831) 475-7300. In an effort to accommodate individuals with environmental sensitivities, attendees are requested to refrain from wearing perfumes and other scented products.

**Televised Meetings:** Planning Commission meetings are cablecast "Live" on Charter Communications Cable TV Channel 8 and are recorded to be replayed on the following Monday and Friday at 1:00 p.m. on Charter Channel 71 and Comcast Channel 25. Meetings can also be viewed from the City's website: [www.cityofcapitola.org](http://www.cityofcapitola.org).



**DRAFT FINAL MINUTES  
CAPITOLA PLANNING COMMISSION MEETING  
THURSDAY, JUNE 7, 2018  
7 P.M. – CAPITOLA CITY COUNCIL CHAMBERS**

1. ROLL CALL AND PLEDGE OF ALLEGIANCE
2. ORAL COMMUNICATIONS
  - A. Additions and Deletions to Agenda – None
  - B. Public Comments – None
  - C. Commission Comments

Commissioner Smith reminded everyone about the upcoming Capitola Foundation's Car Show next weekend, June 9-10, 2018.

- D. Staff Comments – None

3. APPROVAL OF MINUTES

1. Planning Commission - Regular Meeting – April 5, 2018 7:00 PM

MOTION: Accept minutes of April 5, 2018.

|                  |                                       |
|------------------|---------------------------------------|
| <b>RESULT:</b>   | <b>ACCEPTED [UNANIMOUS]</b>           |
| <b>MOVER:</b>    | Susan Westman, Commissioner           |
| <b>SECONDER:</b> | Linda Smith, Commissioner             |
| <b>AYES:</b>     | Smith, Newman, Welch, Westman, Storey |

2. Planning Commission - Regular Meeting - May 3, 2018 7:00 PM

MOTION: Accept minutes of May 3, 2018.

|                  |                                       |
|------------------|---------------------------------------|
| <b>RESULT:</b>   | <b>ACCEPTED [UNANIMOUS]</b>           |
| <b>MOVER:</b>    | TJ Welch, Chairperson                 |
| <b>SECONDER:</b> | Susan Westman, Commissioner           |
| <b>AYES:</b>     | Smith, Newman, Welch, Westman, Storey |

4. CONSENT CALENDAR

- A. 734 Orchid Avenue #18-0136 APN: 036-181-03

Design Permit for an addition to a single-family home, located in the R-1 (Single-Family Residential) zoning district.

This project is in the Coastal Zone but does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: Nora Seaman

Representative: Derek Van Alstine, Designer, Filed: 03.27.2018

MOTION: Approve Design Permit with the following conditions and findings:

Minutes Acceptance: Minutes of Jun 7, 2018 7:00 PM (Approval of Minutes)



**CONDITIONS OF APPROVAL**

1. The project approval consists of construction of a 136 square-foot addition to the interior living space. The maximum Floor Area Ratio for the 2,137 square-foot property is 48% (2,970 square-feet). The total FAR of the project is 34% with a total of 2,122 square-feet, compliant with the maximum FAR within the zone. The proposed project is approved as indicated on the final plans reviewed and approved by the Planning Commission on June 7, 2018, except as modified through conditions imposed by the Planning Commission during the hearing.
2. Prior to construction, a building permit shall be secured for any new construction or modifications to structures authorized by this permit. Final building plans shall be consistent with the plans approved by the Planning Commission. All construction and site improvements shall be completed according to the approved plans.
3. At time of submittal for building permit review, the Conditions of Approval must be printed in full on the cover sheet of the construction plans.
4. At time of submittal for building permit review, Public Works Standard Detail SMP STRM shall be printed in full and incorporated as a sheet into the construction plans. All construction shall be done in accordance with the Public Works Standard Detail BMP STRM.
5. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or exterior appearance of the structure shall require Planning Commission approval.
6. Prior to issuance of building permit, a final landscape plan shall be submitted and approved by the Community Development Department. Landscape plans shall reflect the Planning Commission approval and shall identify type, size, and location of species and details of irrigation systems.
7. Prior to issuance of building permit, all Planning fees associated with permit #18-0136 shall be paid in full.
8. Prior to issuance of a building permit, the applicant must provide documentation of plan approval by the following entities: Santa Cruz County Sanitation Department, Soquel Creek Water District, and Central Fire Protection District.
9. Prior to issuance of building permits, a drainage plan, grading, sediment and erosion control plan, shall be submitted to the City and approved by Public Works. The plans shall be in compliance with the requirements specified in Capitola Municipal Code Chapter 13.16 Storm Water Pollution Prevention and Protection.
10. Prior to issuance of building permits, the applicant shall submit a stormwater management plan to the satisfaction of the Director of Public Works which implements all applicable Post Construction Requirements (PCRs) and Public Works Standard Details, including all standards relating to low impact development (LID).
11. Prior to any land disturbance, a pre-site inspection must be conducted by the grading official to verify compliance with the approved erosion and sediment control plan.

12. Prior to any work in the City road right of way, an encroachment permit shall be acquired by the contractor performing the work. No material or equipment storage may be placed in the road right-of-way.
13. During construction, any construction activity shall be subject to a construction noise curfew, except when otherwise specified in the building permit issued by the City. Construction noise shall be prohibited between the hours of nine p.m. and seven-thirty a.m. on weekdays. Construction noise shall be prohibited on weekends with the exception of Saturday work between nine a.m. and four p.m. or emergency work approved by the building official. §9.12.010B
14. Prior to a project final, all cracked or broken driveway approaches, curb, gutter, or sidewalk shall be replaced per the Public Works Standard Details and to the satisfaction of the Public Works Department. All replaced driveway approaches, curb, gutter or sidewalk shall meet current Accessibility Standards.
15. Prior to issuance of a Certificate of Occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Community Development Director. Upon evidence of non-compliance with conditions of approval or applicable municipal code provisions, the applicant shall remedy the non-compliance to the satisfaction of the Community Development Director or shall file an application for a permit amendment for Planning Commission consideration. Failure to remedy a non-compliance in a timely manner may result in permit revocation.
16. Prior to issuance of a Certificate of Occupancy, the applicant shall demonstrate compliance with the tree removal permit authorized by this permit for 2 trees to be removed from the property. Replacement trees shall be planted at a 2:1 ratio. Required replacement trees shall be of the same size, species, and planted on the site as shown on the approved plans. The replacement tree located in the back yard shall be a Meyer lemon tree.
17. This permit shall expire 24 months from the date of issuance. The applicant shall have an approved building permit and construction underway before this date to prevent permit expiration. Applications for extension may be submitted by the applicant prior to expiration pursuant to Municipal Code section 17.81.160.
18. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
19. Upon receipt of certificate of occupancy, garbage and recycling containers shall be placed out of public view on non-collection days.

### **FINDINGS**

- A. **The project, subject to the conditions imposed, secures the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.**  
Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the project. The 136 square-foot interior addition, new roofing, patio extension, siding, windows, doors, and trellis comply with the development standards of the R-1 (Single-Family Residential) Zoning District.

**B. The project will maintain the character and integrity of the neighborhood.**

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the application for the 136 square-foot addition. The design of the home, with a new gabled roof, front addition, patio extension, new board and batten siding, and new trellis, in combination with existing stucco features, will fit in nicely with the existing neighborhood. The project will maintain the character and integrity of the neighborhood.

**C. This project is categorically exempt under Section 15301 (e) of the California Environmental Quality Act and is subject to Section 753.5 of Title 14 of the California Code of Regulations.**

Section 15301(e) of the CEQA Guidelines exempts additions to existing structures that will not result in an increase of more than 50 percent of the floor area. This project involves a 136 square-foot addition to a single-family home within the R-1 (Single-Family Residence) zoning district that will increase the floor area by less than seven percent. No adverse environmental impacts were discovered during review of the proposed project.

|                  |                                       |
|------------------|---------------------------------------|
| <b>RESULT:</b>   | <b>APPROVED [UNANIMOUS]</b>           |
| <b>MOVER:</b>    | Linda Smith, Commissioner             |
| <b>SECONDER:</b> | TJ Welch, Chairperson                 |
| <b>AYES:</b>     | Smith, Newman, Welch, Westman, Storey |

**B. 4795 Garnet Street #18-0154 APN: 034-037-16**

Design Permit to add new roofs to an existing nonconforming duplex and detached garage in the R-1 (Single-Family Residential) zoning district.

This project is in the Coastal Zone but does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Property Owner: CBP Enterprises

Representative: Heidi Anderson Spicer, Architect, Filed: 04.04.2018

Commissioner Newman recused himself due to proximity.

MOTION: Approve Design Permit with the following conditions and findings:

**CONDITIONS OF APPROVAL**

1. The project approval consists of the addition of gable roofs to an existing nonconforming duplex and detached garage and an update of the siding on both buildings. The maximum Floor Area Ratio for the 3,360 square foot property is 56% (1,882 square feet). As a nonconforming use (duplex) in the R-1 (Single-Family Residential) zoning district, no floor area may be added to the structures. The project does not add any additional floor area to the existing nonconforming 1,440 square foot, two-story, duplex or the detached 640 square foot garage in the R-1 (Single-Family Residential) Zoning District. The proposed project is approved as indicated on the final plans reviewed and approved by the Planning Commission on June 7, 2018, except as modified through conditions imposed by the Planning Commission during the hearing.
2. Prior to construction, a building permit shall be secured for any new construction or modifications to structures authorized by this permit. Final building plans shall be

consistent with the plans approved by the Planning Commission. All construction and site improvements shall be completed according to the approved plans.

3. At time of submittal for building permit review, the Conditions of Approval must be printed in full on the cover sheet of the construction plans.
4. At time of submittal for building permit review, Public Works Standard Detail SMP STRM shall be printed in full and incorporated as a sheet into the construction plans. All construction shall be done in accordance with the Public Works Standard Detail BMP STRM.
5. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or exterior appearance of the structure shall require Planning Commission approval.
6. Prior to issuance of building permit, a final landscape plan shall be submitted and approved by the Community Development Department. Landscape plans shall reflect the Planning Commission approval and shall identify type, size, and location of species and details of irrigation systems.
7. Prior to issuance of building permit, all Planning fees associated with permit #18-0154 shall be paid in full.
8. Prior to issuance of building permit, Affordable housing in-lieu fees shall be paid as required to assure compliance with the City of Capitola Affordable (Inclusionary) Housing Ordinance.
9. Prior to issuance of a building permit, the applicant must provide documentation of plan approval by the following entities: Santa Cruz County Sanitation Department, Soquel Creek Water District, and Central Fire Protection District.
10. Prior to issuance of building permits, a drainage plan, grading, sediment and erosion control plan, shall be submitted to the City and approved by Public Works. The plans shall be in compliance with the requirements specified in Capitola Municipal Code Chapter 13.16 Storm Water Pollution Prevention and Protection.
11. Prior to issuance of building permits, the applicant shall submit a stormwater management plan to the satisfaction of the Director of Public Works which implements all applicable Post Construction Requirements (PCRs) and Public Works Standard Details, including all standards relating to low impact development (LID).
12. Prior to any land disturbance, a pre-site inspection must be conducted by the grading official to verify compliance with the approved erosion and sediment control plan.
13. Prior to any work in the City road right of way, an encroachment permit shall be acquired by the contractor performing the work. No material or equipment storage may be placed in the road right-of-way.
14. During construction, any construction activity shall be subject to a construction noise curfew, except when otherwise specified in the building permit issued by the City. Construction noise shall be prohibited between the hours of nine p.m. and seven-thirty a.m. on weekdays. Construction noise shall be prohibited on weekends with the

exception of Saturday work between nine a.m. and four p.m. or emergency work approved by the building official. §9.12.010B

15. Prior to a project final, all cracked or broken driveway approaches, curb, gutter, or sidewalk shall be replaced per the Public Works Standard Details and to the satisfaction of the Public Works Department. All replaced driveway approaches, curb, gutter or sidewalk shall meet current Accessibility Standards.
16. Prior to issuance of a Certificate of Occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Community Development Director. Upon evidence of non-compliance with conditions of approval or applicable municipal code provisions, the applicant shall remedy the non-compliance to the satisfaction of the Community Development Director or shall file an application for a permit amendment for Planning Commission consideration. Failure to remedy a non-compliance in a timely manner may result in permit revocation.
17. This permit shall expire 24 months from the date of issuance. The applicant shall have an approved building permit and construction underway before this date to prevent permit expiration. Applications for extension may be submitted by the applicant prior to expiration pursuant to Municipal Code section 17.81.160.
18. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
19. Upon receipt of certificate of occupancy, garbage and recycling containers shall be placed out of public view on non-collection days.

### **FINDINGS**

**A. The project, subject to the conditions imposed, secures the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.**

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the project. The proposed addition of gable roofs to an existing nonconforming duplex and detached garage and update of the siding on both buildings complies with the development standards of the R-1 (Single-Family Residential) Zoning District. The project does not add any additional floor area to the existing nonconforming 1,440 square foot, two-story, duplex or the detached 640 square foot garage in the R-1 (Single-Family Residential) Zoning District. The project secures the purpose of the Zoning Ordinance, General Plan, and Local Coastal Plan

**B. The project will maintain the character and integrity of the neighborhood.**

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the application for the addition of gable roofs to an existing nonconforming duplex and detached garage and update of the siding on both buildings. The design of the home and garage, with the new gable roofs and HardieShingle siding, will improve the aesthetics of the structures and fit in nicely with the existing neighborhood. The project will maintain the character and integrity of the neighborhood.

**C. This project is categorically exempt under Section 15301(e) of the California Environmental Quality Act and is subject to Section 753.5 of Title 14 of the California Code of Regulations.**

Section 15301(e) of the CEQA Guidelines exempts additions to existing structures that are less than 50 percent of the existing floor area ratio of the structure. This project involves the addition of gable roofs to an existing nonconforming duplex and detached garage and update of the siding on both buildings within the R-1 (Single-Family Residential) zoning district. No adverse environmental impacts were discovered during review of the proposed project.

|                  |                               |
|------------------|-------------------------------|
| <b>RESULT:</b>   | <b>APPROVED [4 TO 0]</b>      |
| <b>MOVER:</b>    | Susan Westman, Commissioner   |
| <b>SECONDER:</b> | Linda Smith, Commissioner     |
| <b>AYES:</b>     | Smith, Welch, Westman, Storey |
| <b>RECUSED:</b>  | Newman                        |

**5. PUBLIC HEARINGS**

**A. 620 Monterey Avenue #18-041 APN: 036-101-38**

Coastal Development Permit to demolish one classroom building and 12 existing portable buildings onsite and construct four new buildings for classrooms, art/woodshop rooms, physical education, and locker rooms at New Brighton Middle School.

This project is in the Coastal Zone and requires a Coastal Development Permit that is not appealable to the Coastal Commission.

Environmental Determination: Categorical Exemption

Property Owner: Soquel Union Elementary School District

Representative: Madi Architecture and Planning

Community Development Director Katie Herlihy presented the staff report and explained that the zoning and building review for the school is not under the jurisdiction of the City of Capitola and is regulated by the State of California. However, pursuant to the Coastal Zone Combining District, a Coastal Development Permit is required for any private or public development project within the City's Coastal Zone.

Chairperson Storey disclosed that his daughter is graduating from the school tomorrow so there should be no conflict of interest as she will not reap the benefits of this project.

Andrew Fullerton, Madi Architecture and Planning, spoke on behalf of the applicant. He explained that the impetus for this project was due to Measure C, a 2016 ballot initiative to remove old portables and prepare new classrooms for incoming students, and that the project is on a tight schedule to be completed over the summer break.

Commissioner Smith moved, seconded by Commissioner Westman, to approve the Coastal Development Permit with the inclusion of the standard construction hours to be added to the conditions.

MOTION: Approve Coastal Development Permit, with the following amended conditions and findings:

Minutes Acceptance: Minutes of Jun 7, 2018 7:00 PM (Approval of Minutes)



**CONDITIONS OF APPROVAL**

1. The project approval consists of a Coastal Development Permit to construct four new buildings on the New Brighton Middle School campus. Three buildings will accommodate classrooms and one building will be ancillary locker rooms for the existing gymnasium. Twelve existing portable class rooms and one existing class room building will be demolished. There is no increase in required onsite parking. The proposed project is approved as indicated on the final plans reviewed and approved by the Planning Commission on June 7, 2018, except as modified through conditions imposed by the Planning Commission during the hearing.
2. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or parking of the structure shall require Planning Commission approval.
3. Construction activity shall be subject to the City's construction noise curfew. Construction noise shall be prohibited between the hours of nine p.m. and seven-thirty a.m. on weekdays. Construction noise shall be prohibited on weekends with the exception of Saturday work between nine a.m. and four p.m. or emergency work approved by the building official.

**FINDINGS**

- A. The application, subject to the conditions imposed, secure the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.**

Planning Department Staff and the Planning Commission have reviewed the project. The proposal conforms to the General Plan and Zoning Ordinance in terms of use. The project conforms to the applicable requirements of the Local Coastal Program, including meeting the requirements for provision of public and private parking, pedestrian access, and traffic.

- B. This project is categorically exempt under Section 15314 of the California Environmental Quality Act and is not subject to Section 753.5 of Title 14 of the California Code of Regulations.**

This project consists of a minor addition to an existing school within existing school grounds where the addition does not increase original student capacity by more than 25% or ten classrooms.

**COASTAL FINDINGS****D. Findings Required.**

1. **A coastal permit shall be granted only upon adoption of specific written factual findings supporting the conclusion that the proposed development conforms to the certified Local Coastal Program, including, but not limited to:**
  - a. A statement of the individual and cumulative burdens imposed on public access and recreation opportunities based on applicable factors identified pursuant to subsection (D)(2) of this section. The type of affected public access and recreation opportunities shall be clearly described;
  - b. An analysis based on applicable factors identified in subsection (D)(2) of this section of the necessity for requiring public access conditions to find the project consistent with the public access provisions of the Coastal Act;
  - c. A description of the legitimate governmental interest furthered by any access conditioned required;

- d. An explanation of how imposition of an access dedication requirement alleviates the access burdens identified.
  - The proposed development conforms to the City’s certified Local Coastal Plan (LCP). The specific, factual findings, as per CMC Section 17.46.090(D) are as follows:

**2. Require Project-Specific Findings. In determining any requirement for public access, including the type of access and character of use, the city shall evaluate and document in written findings the factors identified in subsections (D)(2)(a) through (e), to the extent applicable. The findings shall explain the basis for the conclusions and decisions of the city and shall be supported by substantial evidence in the record. If an access dedication is required as a condition of approval, the findings shall explain how the adverse effects which have been identified will be alleviated or mitigated by the dedication. As used in this section, “cumulative effect” means the effect of the individual project in combination with the effects of past projects, other current projects, and probable future projects, including development allowed under applicable planning and zoning.**

- a. Project Effects on Demand for Access and Recreation. Identification of existing and open public access and coastal recreation areas and facilities in the regional and local vicinity of the development. Analysis of the project’s effects upon existing public access and recreation opportunities. Analysis of the project’s cumulative effects upon the use and capacity of the identified access and recreation opportunities, including public tidelands and beach resources, and upon the capacity of major coastal roads from subdivision, intensification or cumulative buildout. Projection for the anticipated demand and need for increased coastal access and recreation opportunities for the public. Analysis of the contribution of the project’s cumulative effects to any such projected increase. Description of the physical characteristics of the site and its proximity to the sea, tideland viewing points, upland recreation areas, and trail linkages to tidelands or recreation areas. Analysis of the importance and potential of the site, because of its location or other characteristics, for creating, preserving or enhancing public access to tidelands or public recreation opportunities;
  - The proposed project is located at 620 Monterey Avenue. The school is not located in an area with coastal access. The school will not have an effect on public trails or beach access.
- b. Shoreline Processes. Description of the existing shoreline conditions, including beach profile, accessibility and usability of the beach, history of erosion or accretion, character and sources of sand, wave and sand movement, presence of shoreline protective structures, location of the line of mean high tide during the season when the beach is at its narrowest (generally during the late winter) and the proximity of that line to existing structures, and any other factors which substantially characterize or affect the shoreline processes at the site. Identification of anticipated changes to shoreline processes at the site. Identification of anticipated changes to shoreline processes and beach profile unrelated to the proposed development. Description and analysis of any reasonably likely changes, attributable to the primary and cumulative effects of the project, to: wave and sand movement affecting beaches in the vicinity of the project; the profile of the beach; the character, extent, accessibility and usability of the beach; and any other factors which characterize or affect beaches in the



vicinity. Analysis of the effect of any identified changes of the project, alone or in combination with other anticipated changes, will have upon the ability of the public to use public tidelands and shoreline recreation areas;

- The proposed project is located along Monterey Avenue. No portion of the project is located along the shoreline or beach.
- c. **Historic Public Use.** Evidence of use of the site by members of the general public for a continuous five-year period (such use may be seasonal). Evidence of the type and character of use made by the public (vertical, lateral, blufftop, etc., and for passive and/or active recreational use, etc.). Identification of any agency (or person) who has maintained and/or improved the area subject to historic public use and the nature of the maintenance performed and improvements made. Identification of the record owner of the area historically used by the public and any attempts by the owner to prohibit public use of the area, including the success or failure of those attempts. Description of the potential for adverse impact on public use of the area from the proposed development (including but not limited to, creation of physical or psychological impediments to public use);
- There is not a history of public use on the subject lot related to coastal access. The property is a public facility and utilized as a school.
- d. **Physical Obstructions.** Description of any physical aspects of the development which block or impede the ability of the public to get to or along the tidelands, public recreation areas, or other public coastal resources or to see the shoreline;
- The proposed project is located at 620 Monterey Avenue. The project will not block or impede the ability of the public to get to or along the tidelands, public recreation areas, or views to the shoreline.
- e. **Other Adverse Impacts on Access and Recreation.** Description of the development's physical proximity and relationship to the shoreline and any public recreation area. Analysis of the extent of which buildings, walls, signs, streets or other aspects of the development, individually or cumulatively, are likely to diminish the public's use of tidelands or lands committed to public recreation. Description of any alteration of the aesthetic, visual or recreational value of public use areas, and of any diminution of the quality or amount of recreational use of public lands which may be attributable to the individual or cumulative effects of the development.
- The proposed project is located on a public school property that will not negatively impact access and recreation. The project does not diminish the public's use of tidelands or lands committed to public recreation nor alter the aesthetic, visual, or recreational value of public use areas.
- 3. Required Findings for Public Access Exceptions. Any determination that one of the exceptions of subsection (F)(2) applies to a development shall be supported by written findings of fact, analysis and conclusions which address all of the following:**
- a. The type of access potentially applicable to the site involved (vertical, lateral, bluff top, etc.) and its location in relation to the fragile coastal resource to be protected, the agricultural use, the public safety concern, or the military facility which is the basis for the exception, as applicable;

- b. Unavailability of any mitigating measures to manage the type, character, intensity, hours, season or location of such use so that agricultural resources, fragile coastal resources, public safety, or military security, as applicable, are protected;
  - c. Ability of the public, through another reasonable means, to reach the same area of public tidelands as would be made accessible by an accessway on the subject land.
    - The project is not requesting a Public Access Exception, therefore these findings do not apply.
- 4. Findings for Management Plan Conditions. Written findings in support of a condition requiring a management plan for regulating the time and manner or character of public access use must address the following factors, as applicable:**
- a. Identification and protection of specific habitat values including the reasons supporting the conclusions that such values must be protected by limiting the hours, seasons, or character of public use;
    - The project is located on a public school campus without sensitive habitat areas.
  - b. Topographic constraints of the development site;
    - The project is located on a flat lot.
  - c. Recreational needs of the public;
    - The project does not impact the recreational needs of the public.
  - d. Rights of privacy of the landowner which could not be mitigated by setting the project back from the access way or otherwise conditioning the development;
  - e. The requirements of the possible accepting agency, if an offer of dedication is the mechanism for securing public access;
  - f. Feasibility of adequate setbacks, fencing, landscaping, and other methods as part of a management plan to regulate public use.
- 5. Project complies with public access requirements, including submittal of appropriate legal documents to ensure the right of public access whenever, and as, required by the certified land use plan and Section 17.46.010 (coastal access requirements);**
- No legal documents to ensure public access rights are required for the proposed project.
- 6. Project complies with visitor-serving and recreational use policies;**

**SEC. 30222**

**The use of private lands suitable for visitor-serving commercial recreational facilities designed to enhance public opportunities for coastal recreation shall have priority over private residential, general industrial, or general commercial development, but not over agriculture or coastal-dependent industry.**

- The project involves a school within the public facilities zone.

**SEC. 30223**

**Upland areas necessary to support coastal recreational uses shall be reserved for such uses, where feasible.**

- The project involves a school within the public facilities zone.

**c) Visitor-serving facilities that cannot be feasibly located in existing developed areas shall be located in existing isolated developments or at selected points of attraction for visitors.**

- The project involves a school within the public facilities zone.

**7. Project complies with applicable standards and requirements for provision of public and private parking, pedestrian access, alternate means of transportation and/or traffic improvements;**

- The project involves the construction of four school buildings. The project complies with applicable standards and requirements for provision for parking, pedestrian access, alternate means of transportation, and/or traffic improvements.

**8. Review of project design, site plan, signing, lighting, landscaping, etc., by the city's architectural and site review committee, and compliance with adopted design guidelines and standards, and review committee recommendations;**

- The project complies with the design guidelines and standards established by the Municipal Code.

**9. Project complies with LCP policies regarding protection of public landmarks, protection or provision of public views; and shall not block or detract from public views to and along Capitola's shoreline;**

- The project will not negatively impact public landmarks and/or public views. The project will not block or detract from public views to and along Capitola's shoreline.

**10. Demonstrated availability and adequacy of water and sewer services;**

- The project is located on a legal lot of record with available water and sewer services.

**11. Provisions of minimum water flow rates and fire response times;**

- The project is located within a mile of the Capitola fire department. Water is available at the location.

**12. Project complies with water and energy conservation standards;**

- The project is for school classrooms and a locker room. The GHG emissions for the project are projected at less than significant impact. All water fixtures must comply with the low-flow standards of the Soquel Creek Water District.

**13. Provision of park dedication, school impact, and other fees as may be required;**

- The project will be required to pay appropriate fees prior to building permit issuance.

**14. Project complies with coastal housing policies, and applicable ordinances including condominium conversion and mobile home ordinances;**

- The project does not involve a condo conversion or mobile homes.

**15. Project complies with natural resource, habitat, and archaeological protection policies;**

- Conditions of approval have been included to ensure compliance with established policies.

**16. Project complies with Monarch butterfly habitat protection policies;**

- The project is outside of any identified sensitive habitats, specifically areas where Monarch Butterflies have been encountered, identified and documented.

**17. Project provides drainage and erosion and control measures to protect marine, stream, and wetland water quality from urban runoff and erosion;**

- Conditions of approval have been included to ensure compliance with applicable erosion control measures.

**18. Geologic/engineering reports have been prepared by qualified professional for projects in seismic areas, geologically unstable areas, or coastal bluffs, and project complies with hazard protection policies including provision of appropriate setbacks and mitigation measures;**

- The property is not located in the geological hazards zone.

**19. All other geological, flood and fire hazards are accounted for and mitigated in the project design;**

- Conditions of approval have been included to ensure the project complies with geological, flood, and fire hazards and are accounted for and will be mitigated in the project design.

**20. Project complies with shoreline structure policies;**

- The proposed project is not located along a shoreline.

**21. The uses proposed are consistent with the permitted or conditional uses of the zoning district in which the project is located;**

- This use is an allowed use consistent with the public facilities zoning district.

**22. Conformance to requirements of all other city ordinances, zoning requirements, and project review procedures; and**

- The project conforms to the requirements of all city ordinances, zoning requirements, and project development review and development procedures.

**23. Project complies with the Capitola parking permit program as follows:**

- a. The village area preferential parking program areas and conditions as established in Resolution No. 2596 and no permit parking of any kind shall be allowed on Capitola Avenue.
  - b. The neighborhood preferential parking program areas are as established in Resolution Numbers 2433 and 2510.
  - c. The village area preferential parking program shall be limited to three hundred fifty permits.
  - d. Neighborhood permit areas are only in force when the shuttle bus is operating except that:
    - i. The Fanmar area (Resolution No. 2436) program may operate year-round, twenty-four hours a day on weekends,
    - ii. The Burlingame, Cliff Avenue/Grand Avenue area (Resolution No. 2435) have year-round, twenty-four hour per day “no public parking.”
  - e. Except as specifically allowed under the village parking program, no preferential residential parking may be allowed in the Cliff Drive parking areas.
  - f. Six Depot Hill twenty-four minute “Vista” parking spaces (Resolution No. 2510) shall be provided as corrected in Exhibit A attached to the ordinance codified in this section and found on file in the office of the city clerk.
  - g. A limit of fifty permits for the Pacific Cove parking lot may be issued to village permit holders and transient occupancy permit holders.
  - h. No additional development in the village that intensifies use and requires additional parking shall be permitted. Changes in use that do not result in additional parking demand can be allowed and exceptions for onsite parking as allowed in the land use plan can be made.
- The project site is not located within the area of the Capitola parking permit program.

|                  |  |
|------------------|--|
| <b>RESULT:</b>   | <b>APPROVED AS AMENDED [UNANIMOUS]</b> |
| <b>MOVER:</b>    | Linda Smith, Commissioner              |
| <b>SECONDER:</b> | Susan Westman, Commissioner            |
| <b>AYES:</b>     | Smith, Newman, Welch, Westman, Storey  |

**B. 105 Stockton Avenue #18-0170 APN: 035-171-21**

Amendment to the Master Sign Program at 103/105 Stockton Avenue to allow an additional wall sign in the C-V (Central Village) Zoning District.

This project is located within the Coastal Zone but does not require a Coastal Development Permit.

Environmental Determination: Categorical Exemption

Minutes Acceptance: Minutes of Jun 7, 2018 7:00 PM (Approval of Minutes)

Property Owner: Peter Hubback  
 Representative: Vahan Tchakerian, Filed: 04.17.2018

MOTION: Continue item to next regular meeting on July 19, 2018.

|                  |                                       |                                |
|------------------|---------------------------------------|--------------------------------|
| <b>RESULT:</b>   | <b>CONTINUED [UNANIMOUS]</b>          | <b>Next: 7/19/2018 7:00 PM</b> |
| <b>MOVER:</b>    | Edward Newman, Commissioner           |                                |
| <b>SECONDER:</b> | TJ Welch, Chairperson                 |                                |
| <b>AYES:</b>     | Smith, Newman, Welch, Westman, Storey |                                |

**C. Retail Marijuana Sales in Regional Commercial Zoning District**

Amendment to Regional Commercial Zoning District to allow a new conditional use for a limited number of retail cannabis establishments, subject to regulations and review criteria, in compliance with state law. The proposed ordinance shall only go into effect if a ballot measure for a cannabis tax is passed by Capitola voters in November 2018.

This zoning amendment will not impact properties in the Coastal Zone and therefore does not require Coastal Commission adoption.

Environmental Determination: Categorical Exemption

Property Owner: All properties in the Regional Commercial zone

Representative: Katie Herlihy, Community Development Director

Director Herlihy provided an overview of the background to date on the retail cannabis establishments in Regional Commercial Zoning District.

Director Herlihy requested direction on signs and draft ordinance to conditionally allow retail cannabis establishment in the Regional Commercial Zoning District. This amendment to the Zoning Code would only take effect if a ballot measure for a cannabis tax is passed by Capitola voters in November 2018.

Jenna Shankman with Santa Cruz County Community Prevention Partners (CPP) shared her concerns on impact on youth and supports option 3.

Gina Cole, with Pajaro Valley Prevention and Student Assistance (PVPSA), a non-profit prevention program working in the Pajaro Valley Unified School District that also works with CPP, also spoke about their concerns and recommended supporting option 3.

Andrea Solano, Project Director for the Tobacco Prevention Education Program of the Santa Cruz County Health Department, discussed the concerns with marketing and advertising restrictions on signage and thanked the Commissioners for carefully considering the development of this policy and its potential impact on youth.

Commissioner Welch thanked the speakers for sharing their knowledge and insight and shared his thoughts and concerns.

Commissioner Smith is concerned with the retail recreational aspect of sales.

Commissioner Newman was not finding many traditional planning issues and is inclined to apply the same rules as traditionally applied in terms of design, signage, façade, etc.

Minutes Acceptance: Minutes of Jun 7, 2018 7:00 PM (Approval of Minutes)

Commissioner Westman moved to approve option 3, with an additional condition not to allow any additional art work.

Chairperson Storey supports option 3 and would encourage the City Council to look at some buffer between certain facilities and at least 100-foot buffer to residential.

Commissioner Smith seconded the motion and asked for a friendly amendment to add standardized green cross to option 3.

MOTION: Recommend adoption of Amendment to Regional Commercial Zoning District, as amended with sign option 3 adding allowance of green cross.

|                  |                                     |
|------------------|-------------------------------------|
| <b>RESULT:</b>   | <b>APPROVED AS AMENDED [3 TO 2]</b> |
| <b>MOVER:</b>    | Susan Westman, Commissioner         |
| <b>SECONDER:</b> | Linda Smith, Commissioner           |
| <b>AYES:</b>     | Smith, Westman, Storey              |
| <b>NAYS:</b>     | Newman, Welch                       |

**D. 4015 Capitola Road #17-019 APN: 034-261-40**

Design Permit to renovate the existing SEARS into three tenant spaces (Sears, TJ Maxx/Homegoods, and PetSmart) with remodeled exterior facades, two 4,000 square foot building pads for a future development phase, and a Master Sign Program located for the three tenants within the CC (Community Commercial) zoning district.

This project is not located in the Coastal Zone.

Environmental Determination: Categorical Exemption, Section 15270 of the CEQA guidelines

Property Owner: Seritage SRC Finance LLC

Representative: Mark Rone, Cypress Equities

Director Herlihy noted that two additional materials were received late this afternoon. She then provided the project background, application history, and timeline and stated that the project is currently not in compliance with environmental review requirements.

Staff is not able to recommend approval of the Design Permit application and the Master Sign program, and is unable to make findings for criteria as the project is not in compliance with the goals for the mall that were established in the General Plan, including a lack of pedestrian circulation with no internal connectivity from the proposed tenant spaces to the mall and lack of placemaking in the public realm, and several other outstanding issues that include technical violations with environmental health lacking full facility closure permits, technical violations with stormwater review, CEQA issues, Design Permit criteria that is not satisfied, non-compliance with the Municipal Code, and non-compliance with the General Plan, as outlined in the staff report:

- Project does not satisfy criteria of Design Permit pursuant to §17.120.070
- Not in compliance with Environmental Health CMC Chapter 2.20
- Not in compliance with Stormwater CMC 13.16

Commissioner Smith was concerned that the sidewalk is not wide enough to accommodate the planters and allow for pedestrian traffic.

Minutes Acceptance: Minutes of Jun 7, 2018 7:00 PM (Approval of Minutes)



Commissioner Newman asked if the Master Sign Program was just for this project since there is a different sign program for the remainder of the mall tenants. Director Herlihy confirmed that there is no overall master sign program for the entire mall other than the monument wayfinding signs.

Chairperson Storey asked if the technical deficiencies could be addressed through conditional approval of the project. Director Herlihy stated that the stormwater could be conditioned but they wouldn't be able to move forward with the building permit without stormwater, but she would not feel confident about attaching any CEQA related findings to a condition due to the unknown environmental impacts tied to the phasing and facility closure without having a full site analysis.

David Waite, with Cox Castle & Nicholson, counsel for Seritage (applicant), addressed the Commission regarding the project and talked about the proposed Master Sign program and facility closure permits for environmental. Mr. Waite stated that he and other members of the team are available to respond to any questions related to design, pedestrian access, walkability, and any other questions.

Commissioners Smith and Westman had questions regarding the sidewalk improvements from Capitola Road to the Sears building and 41<sup>st</sup> Avenue, and the pads identified as Phase 2.

Mr. Waite stood up and stated "we are moving forward tonight with the demising and the façade improvements for the Sears building. As Katie alluded to, we are going to come back on those pads. This is going to be a later phase. This is phase two, but we are happy to answer your questions."

Craig Chinn, architect with Architecture Design Collaborative (ADC), responded that there are sidewalk improvements from Capitola Road, but not from 41<sup>st</sup> Avenue. Commissioner Smith asked about a target date for Phase 2. Blake Carroll, Development Manager for Seritage, responded that the plans includes the pads. They had envisioned that they would come back with design and construction plans for the structures on Phase 2 for Planning Commission approval within a few months from the start of construction on the SEARS building. Pads were added to comply with the overall vision of the General Plan.

Commissioner Westman asked about the timing of the sidewalk and bike lane coming in off Capitola Road. Craig Chinn clarified that the sidewalk and bike lane along 38<sup>th</sup> Avenue entrance would be part of phase 1. The sidewalk and bike lane along 40<sup>th</sup> would be in Phase 2.

Commissioner Smith asked about the gathering places that were discussed in the conceptual review. Information in the packet referenced planter A13R for dimensions and landscaping detail, which was not found on the plans and she didn't see anything on the wall on the north side of the Sears building. Mr. Chinn responded to Commissioner Smith's questions and referenced sheet A4.2, which shows a diagram. Mr. Chinn explained the vines is a greenscreen to control plant growth in specific areas.

Commissioner Smith asked about the north wall. Mr. Chinn explained that the property line is right there so the only improvements will be paint.

Mr. Chinn responded to some of Director Herlihy's comments regarding connectivity to the mall, which he said is impossible due to loading dock, so they opted for a pedestrian



friendly zone along the front of the buildings to get into the mall. Connectivity to Target is not possible due to grading and ADA restrictions. In response to Director Herlihy's request for a parking calculation and numbering, Mr. Chinn referenced a parking matrix found on the cover sheet. Director Herlihy clarified that in her second incomplete letter, she was asking for a site plan to show the property lines, numbering, and calculations as she was unable to make a determination based on the plans that were submitted.

Mr. Chinn stated that the site plan shows as much enhanced open space and public space as possible in both Phase I and Phase 2.

Chairperson Storey asked about the rationale for being part of a mall that has no connectivity in from the interior of these premises. Mr. Chinn responded that this was due to limited and restricted access due to Sears location and the loading dock. He stated it is common to see this happen as these big box stores get re-demised and they only have access from the exterior. The way they operate and brand is only from one entrance.

Director Herlihy clarified that the Stormwater with Phase II pads would have to incorporate future phases. CEQA does not allow for phased review of project in pieces and must look at the whole project. Stormwater would have to address future phases, to look at development, circulation, and traffic in order to do the CEQA analysis. In response to Commissioner Welch's question if the applicant could make this compliant with CEQA today, Director Herlihy responded that they could build in stormwater improvements to bring it into compliance.

Mr. Waite responded that the phase 2 pads were never really a part of the project. They were added to the project at the request of staff and he suggested removing them from the plans, so it could be deemed exempt under CEQA, as they were requested by staff and not initially part of this project. Commissioner Welch commented that those were not requested by staff but as a result of the Planning Commission's request to see their long-term plan and stressed the importance of trust and communication about their concept and vision in moving forward and in meeting the goals set out in the City's General Plan, including the pads.

Chairperson Storey would like to see this project move along. He asked about the difference in approving with conditions versus denying without prejudice and continue to work with staff to resolve the outstanding issues. He acknowledged that they have deficiencies that will have to be addressed.

Commissioner Westman noted that this is the first project coming in that related to the new General Plan and moving forward the goals and vision outlined in the General Plan. At conceptual review, interested not only in the existing building but in the buildout of the entire Sears property. Commissioner Westman stated there has been tremendous improvement with the look of the Sears building. Petco and TJ Max are a long way away as far as design. New sidewalks and bike lanes should be part of any project that is going to go forward now. She still has great concern with the technical aspects of the project and the outstanding issues especially with regard to County Environmental Health and completing the work they need to do before they go forward. Concern for CEQA review and only looking a portion of the project. She thought the application was for the whole site. Compliance under the new zoning regulations and suppose to have specific plan to work with on this site.

Commissioner Smith agrees with much of what Commissioner Westman discussed. She added her concerns related to the design of the project with beautiful façade on one side that do not match the façade on the other side and main entry into the mall not being touched. Connectivity is a big issue and pedestrian friendliness is critical. Connection to Sears and Target is used by pedestrians. The proposed changes to the parking lot will widen the area and cars will go faster and introduce new pedestrian issues. Architectural features are improved but the design does not support or provide a gathering place. Commissioner Smith was expecting to see a plan that had a phased approach and didn't just throw two pads out there but actually showed the design. She expected to see that there was a plan of how we would move forward with the goals and policies and the re-visioning plan. The Planning Commission made this expectation very clear in the conceptual review and prior discussions. Commissioner Smith reiterated that the pedestrian element is in conflict with the General Plan.

Commissioner Welch appreciated that the design review has come a long way, had no main issues with the pedestrian element, and supports moving this project along as he would like to see the tenants move in.

Commissioner Welch also commented that the new environment isn't in indoor mall, people want that building opened up and not a closed in mall, as was demonstrated in the Merlone Geier preview, which was disappointing.

Commissioner Welch stated that he felt that the vision of the phases is appropriate, and he has no problem going forward, under some conditions. He also noted that the architectural style of Petco could be improved.

Commissioner Welch would like to see the specific plan concept, to see a way moving forward through the phases, and improved communication between Seritage and staff.

Commissioner Welch commented that in looking at the General Plan, the big concern is the 40<sup>th</sup> Avenue corridor and while they had taken some steps by putting in the bike lanes and opening that up, they should focus on the part under their purview coming off Capitola Road.

Commissioner Newman is impressed by what the team has done with the Sears building and some of the grounds. At the same time, he was disappointed with the lack of compliance with the direction that was provided and the lack of effort and integration with the rest of the properties. The General Plan is not advanced with the lack of interaction with the rest of the properties. The architect has said the connectivity cannot be done. If done piece by piece it is impossible, but if done with an overall vision it may be possible. Petco and TJ Max projects as designed do not maintain the unique coastal character of Capitola. Commissioner Newman reiterated the need to advance the overall vision.

Chairperson Storey has a lot of frustration with this project, not with Seritage, but with Merlone Geier. Chairperson Storey is interested in moving forward, even if it requires letting go of some of the vision to move this forward in some way. He is willing to put Arch and Site or design conditions on it.

Commissioner Westman would like to see them deal with the technical issues and stated that the proper process needs to be followed.

Commissioner Newman acknowledged that the applicant has asserted their rights and forced this now through the permit streamlining act, which is within their rights.

Commissioner Newman is not inclined to support a denial and redesign but would prefer a denial and an appeal if that's the way they want to go with it, not as much because of the technical issues but due to the lack of compliance with the General Plan.

Commissioner Welch asked about potential conditions and the phases that were part of this application that would impact the environmental review. City Attorney John Barisone confirmed that CEQA does not allow project to be piecemealed, and CEQA requires that a project have enough definition before going forward so that you can analyze the impacts of it. To approve the project with the pads the City would have to do the environmental review. If they do the project without the pads the piecemeal issue goes away.

Commissioner Smith stated she doesn't see a lot of changes since the concept review and doesn't see it moving towards the vision.

In response to Commissioner Westman's questions about denial options, Director Herlihy and City Attorney Barisone reviewed the options available to both the Planning Commission and the applicant. City Attorney Barisone clarified that there may have been some General Plan concerns raised that may not have been reflected in the staff report and requested that staff include the Commission's reasons for denial be included in any resolution that would be prepared for the City Council.

A Motion to deny the project without prejudice by Commissioner Welch failed due to lack of a second.

MOTION: Deny Design Permit and Master Sign Program with prejudice.

### **FINDINGS**

A. **The proposed project is inconsistent with the General Plan, and any applicable specific plan, area plan, or other design policies and regulations adopted by the City Council.**

Community Development Staff and the Planning Commission have reviewed the project and found that the project is inconsistent with the General Plan and the 41<sup>st</sup> Avenue/Capitola Mall re-visioning plan. The project does not support the long-term transformation of the Capitola Mall into a more pedestrian-friendly commercial district with high quality architecture and outdoor amenities attractive to shoppers and families (Land Use Goal 8); the project is in conflict with the ultimate vision for the property, as represented in the 41st Avenue/Capitola Mall Re-visioning Plan (Land Use Goal 8.1); the project does not encourage the establishment of gathering places on the Mall property such as outdoor dining and courtyards that provide space for people to informally meet and gather (Policy LU 8.4); the project does not support the long term vision for the Capitola Mall of a new interior street within the Mall property lined with sidewalk-oriented retail, outdoor dining, and pedestrian amenities in which the new street is connected with the existing street network surrounding the mall property to enhance mall access for all modes of transportation (Policy LU 8.5); the project does not encourage high quality development within the 41<sup>st</sup> Avenue corridor that creates an active and inviting public realm (Goal LU-9); The project does not provide amenities that enhance the vitality of the corridor, such as outdoor dining

and courtyards, public art, publicly accessible or semi-public gathering places, and bicycle and pedestrian facilities (LU 9.1); the project does not contribute toward establishing 41<sup>st</sup> Avenue as an attractive destination with activities for families and people of all ages that occur throughout the day and night and does not incorporate public art into public spaces (Policy LU 9.3); the project does not provide adequate bicycle and pedestrian facilities (Policy LU 9.9); the project does not minimize, avoid, or eliminate non-point source pollution by controlling stormwater runoff, polluted dry weather runoff, and other pollution, in compliance with Capitola's National Pollutant Discharge Elimination System (NPDES) Permit and Stormwater Management Plan (Policy OSC 8.2); the application does not meet or exceed State stormwater requirements and incorporate best management practices to treat, infiltrate, or filter stormwater runoff and reduce pollutants discharged into the storm drain system and surrounding coastal waters during construction and post-construction, to the maximum extent practicable (Policy OSC 8.3); and the application does not provide "complete streets" that serve all modes of transportation, including vehicles, public transit, bicyclists, and pedestrians (Goal MO-2).

**B. The proposed project does not comply with all applicable provisions of the Zoning Code and Municipal Code.**

The project does not comply with environmental health regulations (CMC Chapter 2.20); does not comply with stormwater regulations (CMC 13.16); and does not comply with the zoning code chapters 17.24 Regional Commercial Zoning District, 17.76 Parking and Loading, 17.80 Signs, and 17.120 Design Permits.

**C. The proposed project qualifies for a CEQA exemption 15270.**

Section 15270 of the CEQA guidelines exempts projects which a public agency disapproves.

**D. The proposed development would be detrimental to the public health, safety, or welfare or materially injurious to the properties or improvements in the vicinity.**

The Sears Automotive Center has potential environmental impacts associated with underground hydraulic lifts. The Santa Cruz County Environmental Health Division (SCCEHD) requires permits to remove underground lifts. The SCCEHD has found underground lifts can leak oil and pose potential long term environmental and possible human health problems. There is evidence that some of the oil in the lift systems contained Polychlorinated Biphenyls (PCBs), which are probable human carcinogens. On May 17, 2018, SCCEHD provided the applicant with a Notice of Violation (NOV) for the unpermitted deactivation and capping of ten in ground lifts at the project location. Without the SCCEHD permit insuring that the hydraulic lift closure has been completed in accordance with Santa Cruz County Chapter 7.100, summarized earlier, there is insufficient evidence in the record that the project will not be environmentally detrimental and will not pose the risk of injury to persons or properties in the vicinity of the project.

Also, the stormwater plans have not been found in compliance with Municipal Code Chapter 13.16. A third party technical review of the stormwater plans was completed by HydroScience. HydroScience made findings that the project is not

in compliance with the Capitola Municipal Code Section 13.16 Stormwater Pollution Prevention and Protection and the Post Construction Requirements (PCRs) as specified in Resolution No. R3-2013-0032 issued by the California Regional Water Quality Control Board for the Central Coast Region in July 2013. Without compliance to Capitola Municipal Code Section 13.16 Stormwater Pollution Prevention and Protection and compliance with the PCRs as specified in Resolution No. R3-2013-0032 issued by the California Regional Water Quality Control Board for the Central Coast Region in July 2013, there is insufficient evidence in the record that the project will not be environmentally detrimental and will not pose the risk of injury to persons or properties in the vicinity of the project.

**E. The proposed project does not comply with all applicable design review criteria in Section 17.120.070 (Design Review Criteria)**

The proposed project does not comply with all applicable design review criteria in Section 17.120.070 including D (Sustainability), N (Drainage), E (Pedestrian Environment), I (Architectural Style), J (Articulation and Visual Interest), K (Materials), P (Signs), L (Parking and Access); and O (Open Space and Public Space) as outlined within the staff report and incorporated within.

**F. The proposed Master Sign Program unreasonably exceeds the sign regulations of the zoning code.**

The proposed Master Sign Program includes allowances of up to 251 square feet of sign area for an individual tenant sign on one façade, more than four times the maximum permissible by code.

|                  |                             |
|------------------|-----------------------------|
| <b>RESULT:</b>   | <b>DENIED [3 TO 2]</b>      |
| <b>MOVER:</b>    | Susan Westman, Commissioner |
| <b>SECONDER:</b> | Linda Smith, Commissioner   |
| <b>AYES:</b>     | Smith, Newman, Westman      |
| <b>NAYS:</b>     | Welch, Storey               |

6. DIRECTOR'S REPORT – NONE
7. COMMISSION COMMUNICATIONS – NONE
8. ADJOURNMENT



## STAFF REPORT

TO: PLANNING COMMISSION  
 FROM: COMMUNITY DEVELOPMENT  
 DATE: AUGUST 2, 2018  
 SUBJECT: **324 Riverview Avenue #18-0168 APN: 035-172-21**

Design Permit for a third-story addition to an existing two-story single-family home located within the C-V (Central Village) zoning district. This project is in the Coastal Zone and does not require a Coastal Development Permit.  
 Environmental Determination: Categorical Exemption  
 Property Owner: Gabriel & Kathy Vesci  
 Representative: Dennis Norton, Filed: 04.13.2018

### **APPLICANT PROPOSAL**

The applicant is requesting approval of a design permit to replace 370 square feet of an existing third-story deck with living space at an existing single-family residence in the CV (Central Village) zoning district. The third-story addition includes a master bedroom, a second bedroom, and a bathroom. The application complies with all the development standards of the CV zoning district.

### **BACKGROUND**

The Architectural and Site Review Committee reviewed the application on June 27<sup>th</sup>, 2018, and provided the applicant with the following direction:

Public Works Representative, Kailash Mozumder: informed the applicant that the temporary construction best management practices must be provided prior to issuance of a building permit. Mr. Mozumder also inquired about the function of the overflow roof drain and clarified that, in the event that the overflow drain is utilized, it drains to the back alley.

Building Department Representative, Fred Cullum: informed the applicant that he would have to look into whether the conversion of a half bath to a full bath on the first story in a flood zone is allowed. Mr. Cullum also informed the applicant that a handrail would be required on the stairway.

Local Architect, Frank Phanton: commented that he liked the design of the project.

Assistant Planner, Matt Orbach: had no comments.

Following the Architectural and Site Review hearing, Building Official Fred Cullum informed the applicant that the existing half bathroom on the first floor could be left in place or removed but



not relocated or enlarged due to the fact that it is in a floodplain. The applicant subsequently submitted revised plans showing the removal of the half bathroom.

### **DISCUSSION**

The proposed addition to the single-family home is located in the Central Village zoning district. The standards in the following table apply to the project.

|   | <b>Development Standards</b>   |   |
|---|--|---|
| <b>Building Height</b>  | <b>C-V Regulation</b>  | <b>Proposed</b>   |
|   | 27 ft.   | 26 ft. 8 in.  |
| <b>Floor Area</b>   | <b>Existing</b>  | <b>Proposed</b>   |
| First Story   | 576 sq. ft.  | 576 sq. ft.   |
| Second Story  | 576 sq. ft.  | 576 sq. ft.   |
| Third Story   | 88 sq. ft.   | 458 sq. ft.   |
| Third Story Deck  | 488 sq. ft.  | 118 sq. ft.   |
| Deck Exemption  | -150 sq. ft.   | -150 sq. ft.  |
| <b>TOTAL FLOOR AREA</b>   | 1,578 sq. ft.  | 1,610 sq. ft.   |
| <b>Lot Coverage</b>   |  |   |
| Sufficient space for required parking.  |  | No  |
| Small lots within Riverview Avenue residential overlay district on north side of Riverview Avenue shall allow 90% development of the lot without any specific setback requirements. 10% open space shall be located in the front part of the lot.   | <b>Required Open Space:</b><br>10% of lot or 57.6 sq. ft.  | <b>Proposed Open Space:</b><br>0% of lot or 0 sq. ft.<br><b>Existing</b><br><b>Nonconforming</b>  |
| <b>Yards</b>  |  |   |
| 10% of lot area shall be developed as landscaped open area, at least partially fronting on, and open to, the street. No portion of this landscaped area shall be used for off-street parking.   | <b>Required Open Space:</b><br>10% of lot or 57.6 sq. ft.  | <b>Proposed Open Space:</b><br>10% of lot or 0 sq. ft.<br><b>Existing</b><br><b>Nonconforming</b> |
| <b>Parking</b>  |  |   |
|   | <b>Required</b>  | <b>Proposed</b>   |
| <b>Residential (from 1,501 up to 2,000 sq. ft.)</b>   | 2 spaces total<br>1 covered<br>1 uncovered   | 1 spaces total<br>1 covered<br>0 uncovered<br><b>Existing</b><br><b>Nonconforming</b>             |
| In the case of residential structures in any district, no additional parking shall be required for reconstruction or structurally altering an existing residential structure so long as the floor area of the structure is not increased by more than ten percent of the existing gross floor area. If the structure is enlarged by more than ten percent of the existing gross floor area, parking requirements according to Section | The project increases the floor area of the structure by 32 square feet, or 2% of the existing gross floor area of 1,578 square feet. No additional parking is required. |   |

|  |                          |  |
|--|--------------------------|--|
| 17.51.130 shall be required.                                   |                          |  |
| <b>Garage</b>  | Complies with Standards? | List non-compliance  |
|  | No                       | Covered parking space is 10 ft. by 19 ft. 2 in. Should be 10 ft. by 20 ft. |
| <b>Underground Utilities – required with 25% increase area</b> | Not required.            |  |

The property is located in the Riverview Avenue Residential Overlay District and the Old Riverview Historic District in the C-V (Central Village) zoning district. The property is not listed on the 2005 City of Capitola Historic Structures List and therefore is not historic. This section of Riverview Avenue, between the railroad trestle and Stockton Avenue, is made up of one, two, and three story single-family homes and condos. It is a dense neighborhood with very little parking, many historic homes, many nonconforming structures, and little or no setbacks between buildings.

The existing residence at 324 Riverview Avenue is a three-story single-family home. The third story consists of an 88-square-foot room housing a pull-down ladder that provides access to the 488-square-foot rooftop deck. The existing structure is brick with brown paint, with a projecting composite shingle roof that extends from the second story into the public right of way over the front of the building. There is no front door, so the only access is through the garage door. The structure matches the profile of similar single-family residences in the neighborhood such as 318 Riverview Avenue.

The applicant is proposing to replace 458 feet of the third-story rooftop deck and living space with a master bedroom, second bedroom, and bathroom, in addition to a full interior and exterior remodel of the lower stories. The proposed project includes three color coat stucco on all three stories. The new front door and adjacent window will have obscure rain glass, the second story doors will be protected by stainless steel frame railing with wire cable guardrails, and the third-story deck will have a stucco parapet with tempered glass panels on top. The addition does not add more than 10 percent to the floor area of the structure, so under Capitola Municipal Code §17.51.135(B), the project does not require the structure to come into compliance with parking requirements.

The proposed project will add a total of 32 square feet of floor area to the structure, giving it a total floor area of 1,610 square feet.

**Non-Conforming Structure**

The structure is nonconforming because it does not provide the required open space or the required off-street parking. Based on those nonconformities, the project is subject to Capitola Municipal Code (CMC) §17.72.070 for permissible structural alterations. CMC §17.72.070 states that, if the cost of the total work of the improvements involved exceeds eighty percent of the present fair market value of the structure, then the proposed structural alterations may not be made. For the proposed project, the proposed structural changes are 79.9% of the value of the existing structure, therefore the changes are permissible structural alterations (Attachment 2).

**CEQA**

Section 15301(e) of the CEQA Guidelines exempts additions to existing structures that are less than 50 percent of the existing floor area ratio of the structure. The project involves creating



370 square feet of living space on the third story of an existing 1,578 square foot, three-story, single-family residence in the CV (Central Village) Zoning District. No adverse environmental impacts were discovered during review of the proposed project.

### **RECOMMENDATION**

Staff recommends approval of application #18-0168 for a third story addition to a single family home based on the finding and conditions of approval.

### **CONDITIONS OF APPROVAL**

1. The project approval consists of the replacement of 370 square feet of third story deck with living space on an existing single-family home. The total floor area of the project is 1,610 square feet. The proposed project is approved as indicated on the final plans reviewed and approved by the Planning Commission on August 2, 2018, except as modified through conditions imposed by the Planning Commission during the hearing.
2. Prior to construction, a building permit shall be secured for any new construction or modifications to structures authorized by this permit. Final building plans shall be consistent with the plans approved by the Planning Commission. All construction and site improvements shall be completed according to the approved plans
3. At time of submittal for building permit review, the Conditions of Approval must be printed in full on the cover sheet of the construction plans.
4. At time of submittal for building permit review, Public Works Standard Detail SMP STRM shall be printed in full and incorporated as a sheet into the construction plans. All construction shall be done in accordance with the Public Works Standard Detail BMP STRM.
5. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or exterior appearance of the structure shall require Planning Commission approval.
6. Prior to issuance of building permit, all Planning fees associated with permit #18-0168 shall be paid in full.
7. Prior to issuance of a building permit, the applicant must provide documentation of plan approval by the following entities: Santa Cruz County Sanitation Department, Soquel Creek Water District, and Central Fire Protection District.
8. Prior to issuance of building permits, a drainage plan, grading, sediment and erosion control plan, shall be submitted to the City and approved by Public Works. The plans shall be in compliance with the requirements specified in Capitola Municipal Code Chapter 13.16 Storm Water Pollution Prevention and Protection.
9. Prior to issuance of building permits, the applicant shall submit a stormwater management plan to the satisfaction of the Director of Public Works which implements all applicable Post Construction Requirements (PCRs) and Public Works Standard Details, including all standards relating to low impact development (LID).
10. Prior to any land disturbance, a pre-site inspection must be conducted by the grading official to verify compliance with the approved erosion and sediment control plan.

11. Prior to any work in the City road right of way, an encroachment permit shall be acquired by the contractor performing the work. No material or equipment storage may be placed in the road right-of-way.
12. During construction, any construction activity shall be subject to a construction noise curfew, except when otherwise specified in the building permit issued by the City. Construction noise shall be prohibited between the hours of nine p.m. and seven-thirty a.m. on weekdays. Construction noise shall be prohibited on weekends with the exception of Saturday work between nine a.m. and four p.m. or emergency work approved by the building official. §9.12.010B
13. Prior to a project final, all cracked or broken driveway approaches, curb, gutter, or sidewalk shall be replaced per the Public Works Standard Details and to the satisfaction of the Public Works Department. All replaced driveway approaches, curb, gutter or sidewalk shall meet current Accessibility Standards.
14. Prior to issuance of a Certificate of Occupancy, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Community Development Director. Upon evidence of non-compliance with conditions of approval or applicable municipal code provisions, the applicant shall remedy the non-compliance to the satisfaction of the Community Development Director or shall file an application for a permit amendment for Planning Commission consideration. Failure to remedy a non-compliance in a timely manner may result in permit revocation.
15. This permit shall expire 24 months from the date of issuance. The applicant shall have an approved building permit and construction underway before this date to prevent permit expiration. Applications for extension may be submitted by the applicant prior to expiration pursuant to Municipal Code section 17.81.160.
16. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
17. Upon receipt of certificate of occupancy, garbage and recycling containers shall be placed out of public view on non-collection days.

## **FINDINGS**

### **A. The application, subject to the conditions imposed, secures the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.**

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the project. The proposed replacement of 370 square feet of third story deck with living space, with the conditions imposed, secures the purpose of the Zoning Ordinance, General Plan, and Local Coastal Plan. The project would comply with all development standards of the Central Village Zoning District.

### **B. The application will maintain the character and integrity of the neighborhood.**

Community Development Staff, the Architectural and Site Review Committee, and the Planning Commission have all reviewed the application for the conversion of 370 square feet of third story deck to living space. The new living space will blend in seamlessly with

the existing structure while maintaining the character and integrity of the Riverview Avenue neighborhood.

**C. This project is categorically exempt under Section 15301(e) of the California Environmental Quality Act and is subject to Section 753.5 of Title 14 of the California Code of Regulations.**

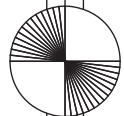
Section 15301(e) of the CEQA Guidelines exempts small additions to existing structures. The project involves the conversion of 370 square feet of third story deck to living space, which increases the floor area of the structure by 32 square feet, on an existing single-family residence. Staff has not identified any possible environmental impacts associated with the project.

**ATTACHMENTS:**

1. 324 Riverview Avenue - Full Plan Set - Letter
2. 324 Riverview Avenue - Nonconforming Calculation

Prepared By: Matt Orbach  
Assistant Planner

# VESCI RESIDENCE



| GENERAL INFORMATION: |               |
|----------------------|---------------|
| SITE AREA:           | 576 SQ. FT.   |
| ZONE:                | R-1           |
| BUILDINGS:           |               |
| EXISTING:            | 264 SQ. FT.   |
| 2ND FLOOR LIVING:    | 576 SQ. FT.   |
| SUBTOTAL:            | 840 SQ. FT.   |
| ADDITIONAL:          | 1,128 SQ. FT. |
| TOTAL:               | 1,968 SQ. FT. |
| REARWARDS:           |               |
| 1ST FLOOR LIVING:    | 384 SQ. FT.   |
| 2ND FLOOR LIVING:    | 480 SQ. FT.   |
| SUBTOTAL:            | 1,368 SQ. FT. |
| ADDITIONAL:          | 144 SQ. FT.   |
| TOTAL:               | 1,512 SQ. FT. |
| TOTAL:               |               |
|                      | 1,512 SQ. FT. |

**CODE ANALYSIS:**  
 THE DESIGNER HAS REVIEWED THE PLANS AND FOUND THEM TO BE IN COMPLIANCE WITH THE CALIFORNIA BUILDING CODES (CBC) AND THE CALIFORNIA FIRE MARSHAL'S BUREAU (CFM) BUILDING CONSTRUCTION TYPE: V-3A  
 FIRE RATING: NON-FRAMEWORKED

THE DESIGNER MUST BE NOTICED OF ANY DISCREPANCIES IN THE DOCUMENTS AND/OR ORDERS FROM THESE DOCUMENTS. THE DESIGNER HAS REVIEWED THE PLANS AND FOUND THEM TO BE IN COMPLIANCE WITH THE CALIFORNIA BUILDING CODES (CBC) AND THE CALIFORNIA FIRE MARSHAL'S BUREAU (CFM) BUILDING CONSTRUCTION TYPE: V-3A  
 FIRE RATING: NON-FRAMEWORKED

**PROJECT DESCRIPTION:**  
 - HOME/REMODEL/RENOVATION  
 - ADD HARD FLOOR LIVING AND DECK

| LEGEND OF SHEETS |                                  |
|------------------|----------------------------------|
| PAGE             | TITLE                            |
| 1                | COVER SHEET, PROJECT INFO        |
| 2                | SITE PLAN                        |
| 3                | EXISTING FLOOR PLAN              |
| 4                | PROPOSED FLOOR PLAN              |
| 5                | ROOF PLAN, SECTIONS & ELEVATIONS |
| 6                | DECK PLAN                        |
| 7                | SCREENS                          |
| 8                |                                  |
| 9                |                                  |
| 10               |                                  |
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OWNER: DANIEL & KATHY VESCI  
 2732 OLD TOWN CT  
 OROVILLE, CA 95929  
 (916) 439-5937

VESCI RESIDENCE  
 324 RIVERVIEW AVE.  
 CAPITOLA, CA 95010  
 APN 035-172-21

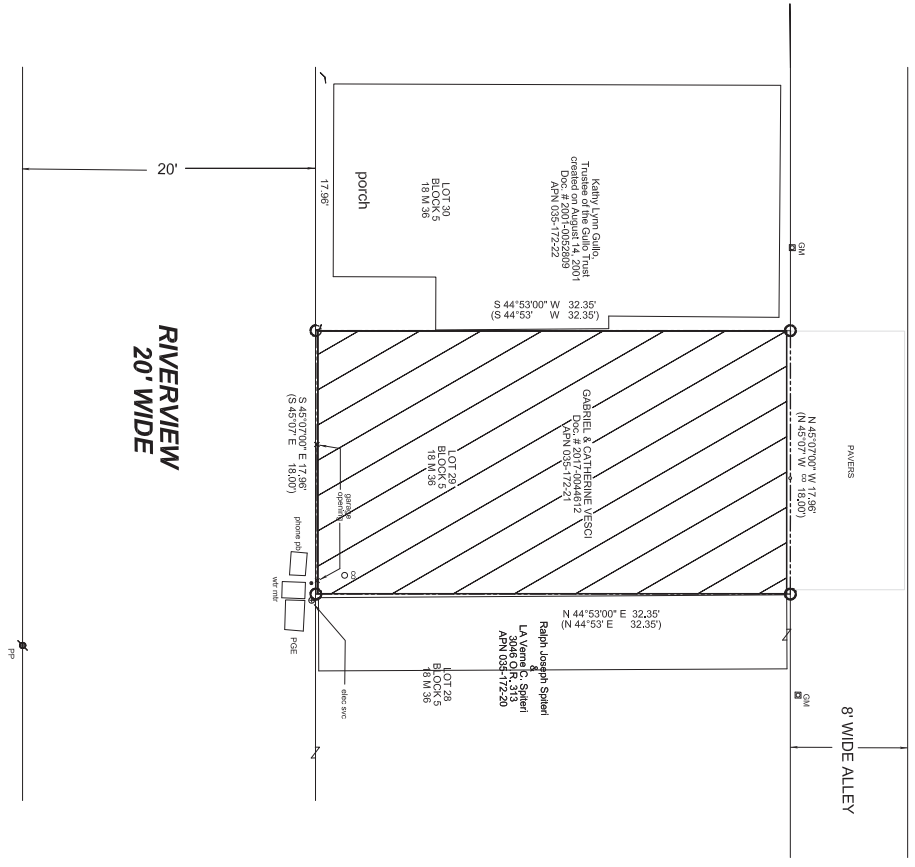
**DENNIS NORTON**  
 HOME DESIGN AND PROJECT PLANNING  
 712 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
 PHONE: 831 476 2616 FAX: 831 476 2616  
 WEBSITE: www.dennishortondesign.com

COVER SHEET  
 LEGEND OF SHEETS

DRAWN: CGJ  
 CHECKED: CGJ  
 JOB NO: 324 RIV  
 DATE: 05/15/18

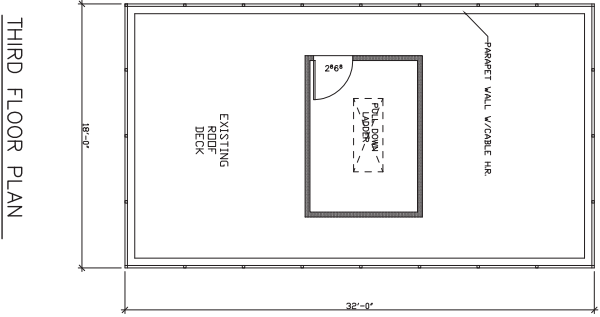
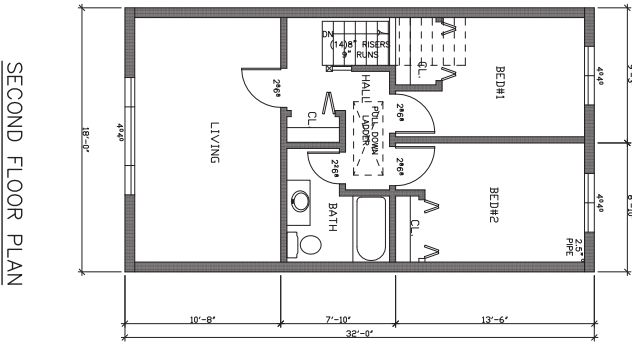
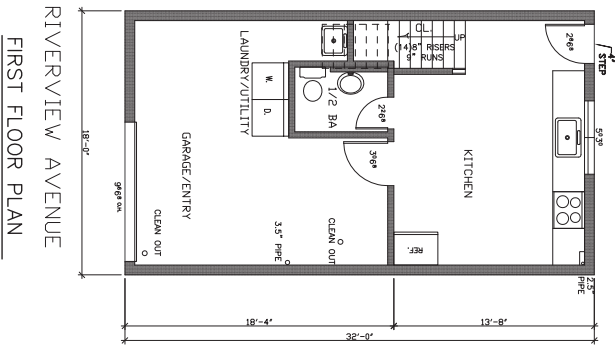
SHEET 1  
 OF 4 SHEETS





**SITE PLAN**  
SCALE: 1/4"=1'-0"

|                              |                  |                    |                     |                |                            |  |  |   |            |
|------------------------------|------------------|--------------------|---------------------|----------------|----------------------------|--|--|---|------------|
| SHEET<br>2<br>OF 4<br>SHEETS | DATE<br>04/10/18 | JOB NO.<br>324 RIV | SCALE<br>1/4"=1'-0" | DESIGNER<br>GG | PROJECT<br>VESCI RESIDENCE | 712 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010<br>PHONE: 831 476 2616 FAX: 831 476 2616<br>WEBSITE: www.dennisonortondesign.com | 324 RIVERVIEW AVE.<br>CAPITOLA, CA 95010<br>APN 035-172-21 | OWNER<br>VESCI RESIDENCE<br>712 C CAPITOLA AVENUE<br>CAPITOLA, CA 95010<br>PHONE: 831 476 2616<br>FAX: 831 476 2616<br>WEBSITE: www.dennisonortondesign.com | REVISIONS: |
|                              |                  |                    |                     |                |                            |  |  |   | BR         |



EXISTING S.F.:  
 UPPER FLOOR - 484 S.F.  
 TOTAL S.F. = 512 S.F.  
 TOTAL S.F. = 512 S.F.

**FLOOR PLAN**



| REVISIONS | BY | DATE |
|-----------|----|------|
|           |    |      |
|           |    |      |
|           |    |      |
|           |    |      |

OWNER  
 VESCI RESIDENCE  
 324 RIVERVIEW AVE.  
 CAPITOLA, CA 95010  
 APN 035-172-21

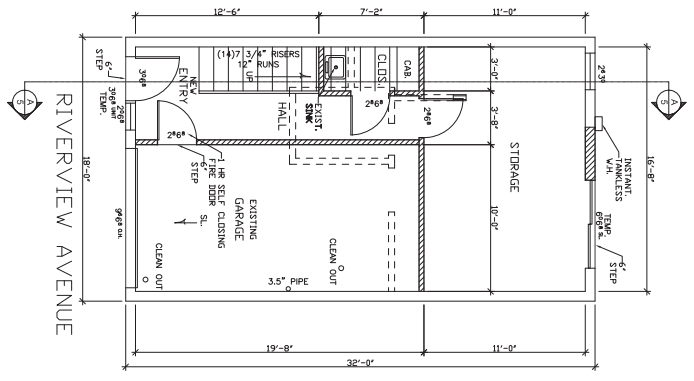
**DENNIS NORTON**  
 HOME DESIGN AND PROJECT PLANNING

712 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
 PHONE: (831) 476-2616 FAX: (831) 476-2616  
 WEBSITE: www.dennisonortondesign.com

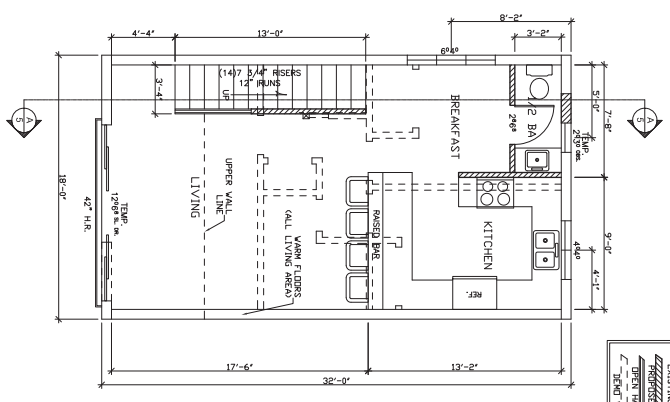
**EXISTING FLOORPLAN**

DATE: 05/15/18  
 JOB NO: 324 RIV  
 SCALE: 1/4" = 1'-0"

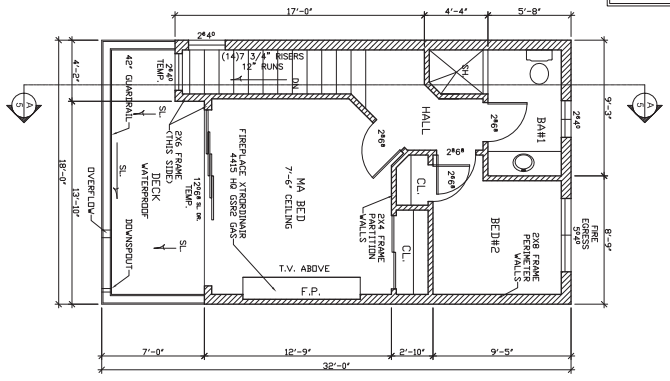
SHEET 3 OF 4 SHEETS



FIRST FLOOR PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN



FLOOR PLAN

PROPOSED S.F.:  
 1ST FLOOR = 448 S.F.  
 2ND FLOOR = 448 S.F.  
 3RD FLOOR = 448 S.F.  
 GARAGE = 219 S.F.  
 TOTAL = 1563 S.F.



PROPOSED FLOORPLAN

**DENNIS NORTON**  
 HOME DESIGN AND PROJECT PLANNING  
 712 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
 PHONE: 831 476 2616 FAX: 831 476 2616  
 WEBSITE: www.dennisonprojectplanning.com

VESCI RESIDENCE  
 324 RIVERVIEW AVE.  
 CAPITOLA, CA 95010  
 APN 035-172-21

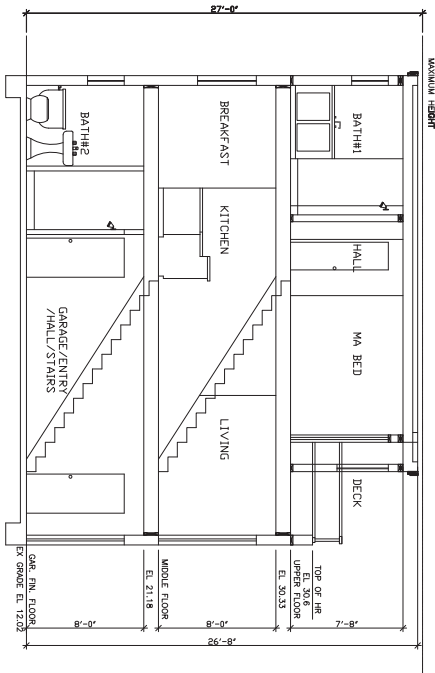
OWNER  
 GREGORY VESCI  
 2792 OLD TOWN CT  
 OROVILLE, CA 95966  
 (916) 439-5193

| REVISIONS: | DATE     | BY |
|------------|----------|----|
|            | 07/10/18 | GG |

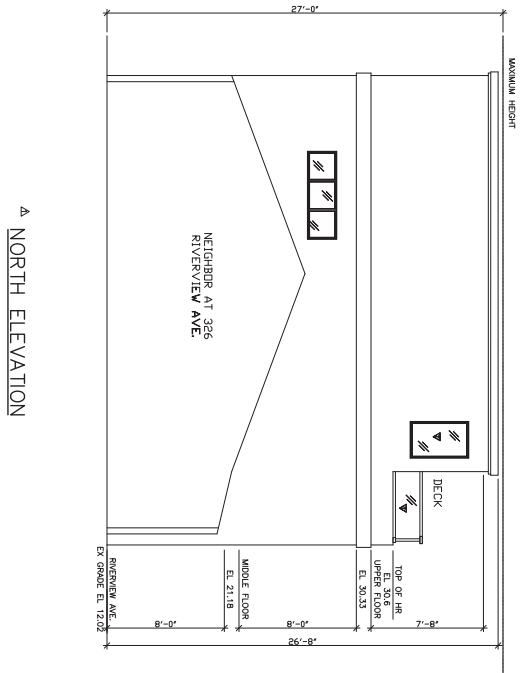
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| SCALE   | 1/4"=1'-0" |
| DRAWN   | GG         |

4  
 SHEETS

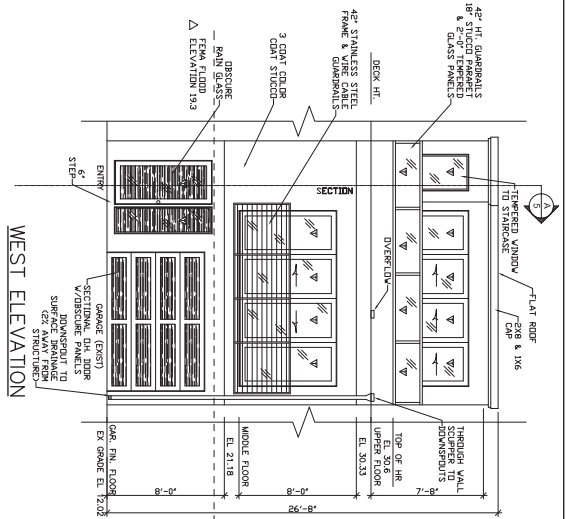




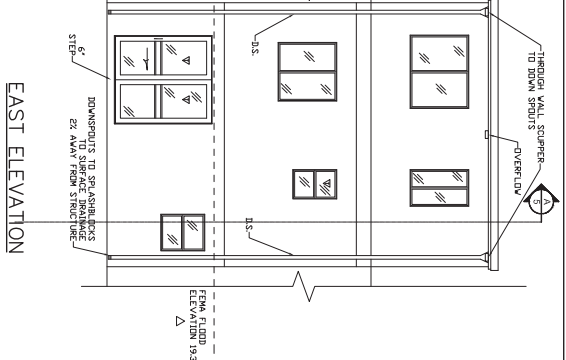
SECTION "A"



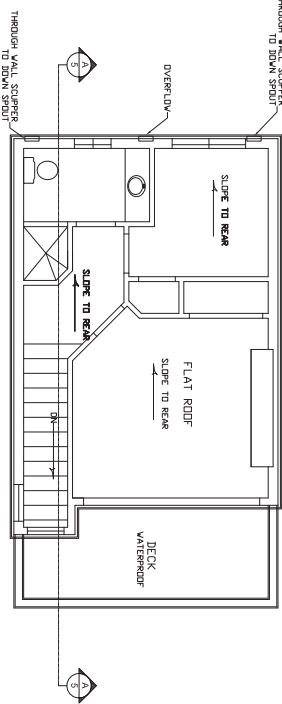
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



ROOF PLAN



**4415 HO GSR2 Gas Fireplace**

The 4415 HO gas fireplace brings you the very best in home heating and style with its sleek, linear appearance and impressively high heat output. With a long row of dancing flames and built-in dark, iron-finish gas fireplace is not only an excellent heater but a work of art. The 4415 HO gas fireplace is designed to fit into a variety of styles through the stainless glass liner and wood-grain finish. Whether the fire is on or off, this sophisticated gas fireplace can be enjoyed with realistic ember and stone fire-glass. The 4415 HO gas fireplace heats up to 2,100 square feet but can heat additional rooms in your home with the optional Power Heat Duct Kit.

The gorgeous flame and high heat output of the 4415 are backed by an extremely high standard. From the heavy steel thickness of the fireplace body to the durable, welded frame surrounding the ceramic glass, you are only getting the best gas fireplace available. The 4415 HO gas fireplace is built to last and is designed to meet the highest standard over the glass to increase the safety of this unit for you and your family without detracting from the beautiful fire view.

ROOF PLAN



ROOF PLAN, SECTION & ELEVATIONS

**DENNIS NORTON**  
HOME DESIGN AND PROJECT PLANNING

712 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
PHONE: (831) 476-2616 FAX: (831) 476-2616  
WEBSITE: www.dennisonortondesign.com

VESCI RESIDENCE  
324 RIVERVIEW AVE.  
CAPITOLA, CA 95010  
APN 035-172-21

DATE: 05/15/18  
JOB NO: 324\_RIV  
SCALE: 1/4"=1'-0"

| REVISIONS | DATE     | BY |
|-----------|----------|----|
| 1         | 05/21/18 | DN |
| 2         | 05/27/18 | DN |

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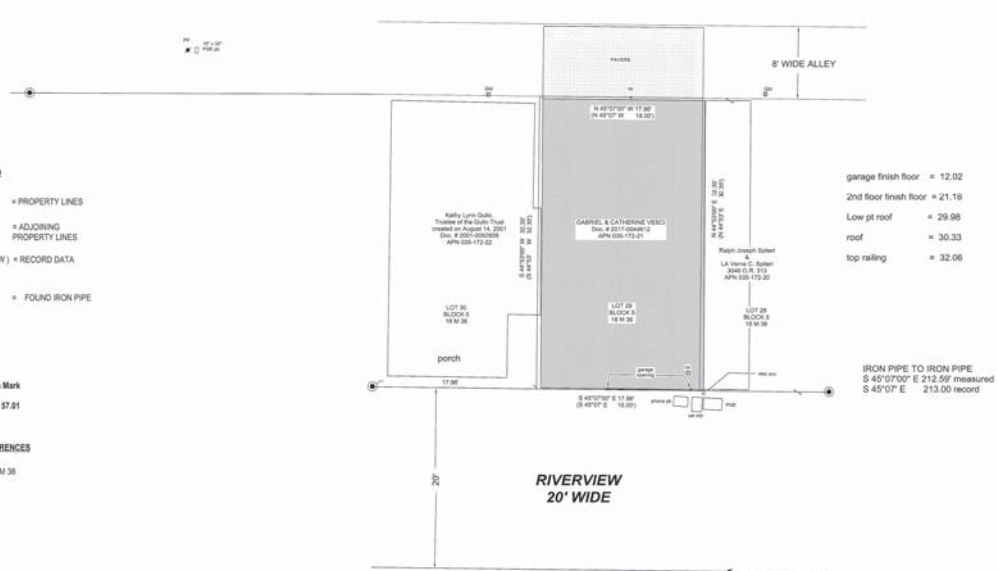
OWNER

**DENNIS NORTON**  
 HOME DESIGN AND PROJECT PLANNING  
 7711 CLAYTON AVENUE, CLAYTON, CALIFORNIA 94520  
 (925) 771-1111 FAX (925) 771-1112  
 WWW.DENNISNORTON.COM

324 RIVERVIEW  
 STREET PROFILE

|       |           |
|-------|-----------|
| DATE  | 5/16/2013 |
| SHEET | 7         |
| OF    | 9/27      |





- LEGEND**
- = PROPERTY LINES
  - - - = ADJOINING PROPERTY LINES
  - (N XXX'XXX" W) = RECORD DATA
  - ⊙ = FOUND IRON PIPE

NOTE: Bench Mark  
#902  
Elev = 57.01

REFERENCES  
13 M 36

- garage finish floor = 12.02
- 2nd floor finish floor = 21.16
- Low pt roof = 29.96
- roof = 30.33
- top railing = 32.06

IRON PIPE TO IRON PIPE  
S 45°07'00" E 212.59' measured  
S 45°07' E 213.00' record

**RIVERVIEW  
20' WIDE**



**PAUL JENSEN  
PROFESSIONAL LAND SURVEYOR  
SANTA CRUZ, CALIFORNIA**

SCALE 1" = 5' February, 2018

**SITE MAP  
of the Lands of  
GABRIEL & CATHERINE VESCI  
324 Riverview  
Capitola, California  
A.P.N. 035-172-21**

**NOTE**  
THIS IS NOT A BOUNDARY SURVEY. THE PROPERTY LINES SHOWN ARE DRAWN FROM RECORD DATA AND MAY BE FOUND TO BE DIFFERENT PENDING THE RESULTS OF A FULL BOUNDARY SURVEY.

**CONSTRUCTION COST BREAKDOWN PER Section 17.72.070**

*324 Riverview Avenue*

**Existing Building Costs:**

|                              |                        |                  |
|------------------------------|------------------------|------------------|
| Existing residence:          | 932 square feet        |                  |
|                              | @ \$200.00/square foot | \$186,400        |
| Existing garage:             | 278 square feet        |                  |
|                              | @ \$90/square foot     | \$25,020         |
| Existing deck:               | 488 square feet        |                  |
|                              | @ \$25.00/square foot  | \$12,200         |
| <b>Total Existing Value:</b> |                        | <b>\$223,620</b> |

**80% of Total Existing Value \$178,896**

**New Construction Costs:**

|                        |                        |          |
|------------------------|------------------------|----------|
| New conditioned space: | 370 square feet        |          |
|                        | @ \$200.00/square foot | \$74,000 |
| New garage:            | 0                      |          |
|                        | @ \$90.00/square foot  | n/a      |
| New deck/porch:        | 0 square feet          |          |
|                        | @ \$25.00/square foot  | n/a      |

**Remodel Costs: (50% of "new construction" costs)**

|                            |                        |           |
|----------------------------|------------------------|-----------|
| Remodel conditioned space: | 1,048 square feet      |           |
|                            | @ \$100.00/square foot | \$104,800 |
| Remodel garage:            | 0                      |           |
|                            | @ \$45.00/square foot  | n/a       |
| Remodel deck:              | 0                      |           |
|                            | @ \$12.50/square foot  | n/a       |

**Total Construction/Remodel Cost: \$178,800 (79.9%)**

Attachment: 324 Riverview Avenue - Nonconforming Calculation (324 Riverview Avenue)



## STAFF REPORT

TO: PLANNING COMMISSION  
 FROM: COMMUNITY DEVELOPMENT  
 DATE: AUGUST 2, 2018  
 SUBJECT: **1816 Wharf Road #18-0281 APN: 035-111-17**

Coastal Development Permit and Variance to decrease setback to riparian corridor for a pin-pile retaining wall located within the A-R/R-1/ESHA (Automatic Review, Single-Family Residential) zoning district. This project is in the Coastal Zone and requires a Coastal Development Permit which is appealable to the California Coastal Commission after all possible appeals are exhausted through the City. Environmental Determination: Categorical Exemption  
 Property Owner: Joanne Kisling  
 Representative: Joanne Kisling, Filed: 06.19.2018

### **APPLICANT PROPOSAL**

The applicant is requesting a coastal development permit for a pin-pile retaining wall behind the home at 1816 Wharf Road facing the Soquel Creek. The property is located in the AR/R-1/ESHA (Automatic- Review/Single-Family Residential/Environmentally Sensitive Habitat Area) zoning district. The applicant is seeking a variance to place the retaining wall one foot within the required 35-foot riparian corridor setback.

### **BACKGROUND**

On July 5, 2018, the City of Capitola received an application for a pin pile retaining wall for a creek side single-family house at 1816 Wharf Road. There is an existing helical tied back steel I-beam wall providing retaining between the home and the creek. Recent winter activity has caused soil downslope from the base of the wall to mobilize and expose part of the concrete grade beam at the base of the existing wall. The proposed slope stabilization project was based on the geotechnical recommendations prepared September 19, 2017. The homeowner has received a FEMA loan due to the instability of the slope and home being threatened.

### **DISCUSSION**

The geotechnical slope stabilization system is a pin pile retaining wall which would be embedded 10 or more feet into the Purisima sandstone and retain approximately 20 feet of terrace soils. This would mean the piles would be a minimum of 30 feet deep.

The property is 53 feet wide. The proposed wall will be 52 feet wide and consist of 2.5 diameter reinforced concrete piers (i.e., pin piles), spaced 5 feet on center. The pins will be located immediately downslope of the existing wall and extend 32 feet down vertically into the slope. It is anticipated that at some point in the future the soil on the downslope side of the soil pins may

slide away, exposing approximately 15 feet of the pin piles and existing retaining wall. To protect the soil on the upslope from sliding, a 5-foot deep reinforced concrete wall will be constructed between the piles.

Drainage plans and erosion control measures have been conditioned and implemented, including a condition that all drainage from the house be directed away from the slope and toward Wharf Road. In addition, there is to be no work in Soquel Creek, nor any debris allowed in the creek.

A Coastal Development Permit (CDP) is required for:

*“Any repair or maintenance to facilities or structures or work located in an environmentally sensitive habitat area as defined by the Coastal Act, any sand area, within fifty feet of the edge of a coastal bluff or environmentally sensitive habitat area, or within twenty feet of coastal waters or streams that include:*

*(A) The placement or removal, whether temporary or permanent, of riprap, rocks, sand or other beach material or any other forms of solid materials,*

*(B) The presence, whether temporary or permanent, of mechanized equipment, or construction materials.*

The proposed slope stabilization system is located in the environmentally sensitive habitat area, therefore a CDP is required. Within the City’s Coastal Land Use Plan (LUP), shoreline armoring devices are permitted for existing structures. The structures shall be designed to mitigate adverse impacts on local shoreline sand supply, public access, marine habitats, or paleontological resources. The applicant chose the pin-pile wall to protect riparian habitat within the Environmentally Sensitive Habitat district along the Soquel Creek Shoreline. The less expensive option was for a shotcrete wall that would not have supported vegetation for habitat.

#### Variance

Pursuant to Capitola Municipal Code 17.95.030 a minimum thirty-five foot setback from the outer edge of riparian corridor shall be required for all new development within the Environmentally Sensitive Habitat zoning district. The applicant is seeking a variance to place the retaining wall one foot within the required 35-foot riparian corridor setback.

Pursuant to §17.66.090, the Planning Commission, on the basis of the evidence submitted at the hearing, may grant a variance permit when it finds:

A. That because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings, the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification;

B. That the grant of a variance permit would not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which subject property is situated.

Special circumstances exist regarding the topography of the property at 1816 Wharf Road. The property extends from Wharf Road down to the Soquel River. The western 70 feet of the property located along Wharf Road is relatively flat and contains the single-family home. Beyond this area, the topography is extremely steep dropping approximately 80 feet in elevation down to the Soquel River. A retaining wall is necessary due to the steepness of the lot. The original retaining wall is

located just beyond the 35-foot setback. The new wall must be placed just inside the setback to work effectively with the existing wall.

The grant of a variance permit would not constitute a grant of special privilege for the property at 1816 Wharf Road because multiple properties along the Soquel Creek have existing retaining walls protecting the existing homes. Properties with retaining walls include 1810 and 1840 Wharf Road, although neither wall is located within the required riparian corridor setback.

#### Environmental Review

Section 15301 of the CEQA Guidelines exempts minor alterations to existing facilities. Specifically, 15301(d) exempts "Restoration or rehabilitation of deteriorated or damaged structures, facilities, or mechanical equipment to meet current standards of public health and safety." No adverse environmental impacts were discovered during review of the proposed project.

#### **RECOMMENDATION**

Staff recommends that the Planning Commission **approve** application #18-0287 based on the following Conditions and Findings for Approval:

#### **CONDITIONS**

1. The project approval consists of a coastal development permit for a slope stabilization system at 1816 Wharf Road. The stabilization system will consist of a pin pile retaining wall along the top of the slope. The piles will be embedded 10 or more feet into the Purisima sandstone and retain approximately 20 feet of terrace soils. The proposed project is approved as indicated on the final plans reviewed and approved by the Planning Commission on August 2, 2018, except as modified through conditions imposed by the Planning Commission during the hearing.
2. Prior to construction, a building permit shall be secured for any new construction or modifications to structures authorized by this permit. Final building plans shall be consistent with the plans approved by the Planning Commission. All construction and site improvements shall be completed according to the approved plans
3. At time of submittal for building permit review, the Conditions of Approval must be printed in full on the cover sheet of the construction plans.
4. At time of submittal for building permit review, Public Works Standard Detail SMP STRM shall be printed in full and incorporated as a sheet into the construction plans. All construction shall be done in accordance with the Public Works Standard Detail BMP STRM.
5. Prior to making any changes to approved plans, modifications must be specifically requested and submitted in writing to the Community Development Department. Any significant changes to the size or exterior appearance of the structure shall require Planning Commission approval.
6. Prior to issuance of building permit, all Planning fees associated with permit #18-0287 shall be paid in full.



7. Prior to issuance of building permits, a drainage plan, grading, sediment and erosion control plan, shall be submitted to the City and approved by Public Works. The plans shall be in compliance with the requirements specified in Capitola Municipal Code Chapter 13.16 Storm Water Pollution Prevention and Protection.
8. There shall be no work in Soquel Creek, nor any debris allowed in the creek. If any work is necessary within the creek, contact California Department of Fish and Game for approvals.
9. Prior to issuance of building permits, the applicant shall submit a stormwater management plan to the satisfaction of the Director of Public Works which implements all applicable Post Construction Requirements (PCRs) and Public Works Standard Details, including all standards relating to low impact development (LID).
10. Prior to any land disturbance, a pre-site inspection must be conducted by the grading official to verify compliance with the approved erosion and sediment control plan.
11. Prior to any work in the City road right of way, an encroachment permit shall be acquired by the contractor performing the work. No material or equipment storage may be placed in the road right-of-way.
12. During construction, any construction activity shall be subject to a construction noise curfew, except when otherwise specified in the building permit issued by the City. Construction noise shall be prohibited between the hours of nine p.m. and seven-thirty a.m. on weekdays. Construction noise shall be prohibited on weekends with the exception of Saturday work between nine a.m. and four p.m. or emergency work approved by the building official.  
§9.12.010B
13. Prior to a project final, all cracked or broken driveway approaches, curb, gutter, or sidewalk shall be replaced per the Public Works Standard Details and to the satisfaction of the Public Works Department. All replaced driveway approaches, curb, gutter or sidewalk shall meet current Accessibility Standards.
14. Prior Planning Staff sign off of the completed project, compliance with all conditions of approval shall be demonstrated to the satisfaction of the Community Development Director. Upon evidence of non-compliance with conditions of approval or applicable municipal code provisions, the applicant shall remedy the non-compliance to the satisfaction of the Community Development Director or shall file an application for a permit amendment for Planning Commission consideration. Failure to remedy a non-compliance in a timely manner may result in permit revocation.
15. This permit shall expire 24 months from the date of issuance. The applicant shall have an approved building permit and construction underway before this date to prevent permit expiration. Applications for extension may be submitted by the applicant prior to expiration pursuant to Municipal Code section 17.81.160.
16. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.

## **FINDINGS**

**A. The application, subject to the conditions imposed, secure the purposes of the Zoning Ordinance, General Plan, and Local Coastal Plan.**

Planning Department Staff and the Planning Commission have reviewed the project. The coastal development permit for a slope stabilization reinforced pin pile wall conforms to the requirements of the Local Coastal Program and conditions of approval have been included to carry out the objectives of the Zoning Ordinance, General Plan and Local Coastal Plan.

**B. This project is categorically exempt under Section 15304 of the California Environmental Quality Act and is not subject to Section 753.5 of Title 14 of the California Code of Regulations.**

Section 15301 of the CEQA Guidelines exempts minor alterations to existing facilities. Specifically, 15301(d) exempts "Restoration or rehabilitation of deteriorated or damaged structures, facilities, or mechanical equipment to meet current standards of public health and safety." No adverse environmental impacts were discovered during review of the proposed project.

**C. Special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, exist on the site and the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification;**

The special circumstances applicable to the property is that the subject property has a very steep grade on the rear of the lot extending down to the Soquel Creek and an expanded setback requirement for the riparian corridor.

**D. The grant of a variance would not constitute a grant of a special privilege inconsistent with the limitation upon other properties in the vicinity and zone in which subject property is situated.**

Multiple properties along Wharf Road have retaining walls to stabilize the existing structure on the site.

**COASTAL FINDINGS**

***D. Findings Required. A coastal permit shall be granted only upon adoption of specific written factual findings supporting the conclusion that the proposed development conforms to the certified Local Coastal Program, including, but not limited to:***

- The proposed development conforms to the City's certified Local Coastal Plan (LCP). The specific, factual findings, as per CMC Section 17.46.090 (D) are as follows:

***(D) (2) Require Project-Specific Findings. In determining any requirement for public access, including the type of access and character of use, the city shall evaluate and document in written findings the factors identified in subsections (D) (2) (a) through (e), to the extent applicable. The findings shall explain the basis for the conclusions and decisions of the city and shall be supported by substantial evidence in the record. If an access dedication is required as a condition of***

*approval, the findings shall explain how the adverse effects which have been identified will be alleviated or mitigated by the dedication. As used in this section, "cumulative effect" means the effect of the individual project in combination with the effects of past projects, other current projects, and probable future projects, including development allowed under applicable planning and zoning.*

***(D) (2) (a) Project Effects on Demand for Access and Recreation. Identification of existing and open public access and coastal recreation areas and facilities in the regional and local vicinity of the development. Analysis of the project's effects upon existing public access and recreation opportunities. Analysis of the project's cumulative effects upon the use and capacity of the identified access and recreation opportunities, including public tidelands and beach resources, and upon the capacity of major coastal roads from subdivision, intensification or cumulative build-out. Projection for the anticipated demand and need for increased coastal access and recreation opportunities for the public. Analysis of the contribution of the project's cumulative effects to any such projected increase. Description of the physical characteristics of the site and its proximity to the sea, tideland viewing points, upland recreation areas, and trail linkages to tidelands or recreation areas. Analysis of the importance and potential of the site, because of its location or other characteristics, for creating, preserving or enhancing public access to tidelands or public recreation opportunities;***

- The proposed project is located at 1816 Wharf Road. The rear property line is located along the Soquel Creek. The project will not directly affect public access and coastal recreation areas as it involves a single family home located along the frontage of Wharf Road. The home will not have an effect on public trails or beach access.

***(D) (2) (b) Shoreline Processes. Description of the existing shoreline conditions, including beach profile, accessibility and usability of the beach, history of erosion or accretion, character and sources of sand, wave and sand movement, presence of shoreline protective structures, location of the line of mean high tide during the season when the beach is at its narrowest (generally during the late winter) and the proximity of that line to existing structures, and any other factors which substantially characterize or affect the shoreline processes at the site. Identification of anticipated changes to shoreline processes at the site. Identification of anticipated changes to shoreline processes and beach profile unrelated to the proposed development. Description and analysis of any reasonably likely changes, attributable to the primary and cumulative effects of the project, to: wave and sand movement affecting beaches in the vicinity of the project; the profile of the beach; the character, extent, accessibility and usability of the beach; and any other factors which characterize or affect beaches in the vicinity. Analysis of the effect of any identified changes of the project, alone or in combination with other anticipated changes, will have upon the ability of the public to use public tidelands and shoreline recreation areas;***

- The proposed project is located along Wharf Road. No portion of the project is located along the shoreline or beach.

***(D) (2) (c) Historic Public Use. Evidence of use of the site by members of the general public for a continuous five-year period (such use may be seasonal). Evidence of the type and character of use made by the public (vertical, lateral,***

**blufftop, etc., and for passive and/or active recreational use, etc.). Identification of any agency (or person) who has maintained and/or improved the area subject to historic public use and the nature of the maintenance performed and improvements made. Identification of the record owner of the area historically used by the public and any attempts by the owner to prohibit public use of the area, including the success or failure of those attempts. Description of the potential for adverse impact on public use of the area from the proposed development (including but not limited to, creation of physical or psychological impediments to public use);**

- There is not historic public use on the property.

**(D) (2) (d) Physical Obstructions. Description of any physical aspects of the development which block or impede the ability of the public to get to or along the tidelands, public recreation areas, or other public coastal resources or to see the shoreline;**

- The proposed project is located on private property on Wharf Road. The project will not block or impede the ability of the public to get to or along the tidelands, public recreation areas, or views to the shoreline.

**(D) (2) (e) Other Adverse Impacts on Access and Recreation. Description of the development's physical proximity and relationship to the shoreline and any public recreation area. Analysis of the extent of which buildings, walls, signs, streets or other aspects of the development, individually or cumulatively, are likely to diminish the public's use of tidelands or lands committed to public recreation. Description of any alteration of the aesthetic, visual or recreational value of public use areas, and of any diminution of the quality or amount of recreational use of public lands which may be attributable to the individual or cumulative effects of the development.**

- The proposed project is located on private property that will not impact access and recreation. The project does not diminish the public's use of tidelands or lands committed to public recreation nor alter the aesthetic, visual or recreational value of public use areas.

**(D) (3) (a – c) Required Findings for Public Access Exceptions. Any determination that one of the exceptions of subsection (F) (2) applies to a development shall be supported by written findings of fact, analysis and conclusions which address all of the following:**

**a. The type of access potentially applicable to the site involved (vertical, lateral, bluff top, etc.) and its location in relation to the fragile coastal resource to be protected, the agricultural use, the public safety concern, or the military facility which is the basis for the exception, as applicable;**

**b. Unavailability of any mitigating measures to manage the type, character, intensity, hours, season or location of such use so that agricultural resources, fragile coastal resources, public safety, or military security, as applicable, are protected;**

**c. Ability of the public, through another reasonable means, to reach the same area of public tidelands as would be made accessible by an access way on the subject land.**

- The project is not requesting a Public Access Exception, therefore these findings do not apply

**(D) (4) (a – f) Findings for Management Plan Conditions. Written findings in support of a condition requiring a management plan for regulating the time and manner or character of public access use must address the following factors, as applicable:**

**a. Identification and protection of specific habitat values including the reasons supporting the conclusions that such values must be protected by limiting the hours, seasons, or character of public use;**

- The project has received a variance to be located 1 foot within the minimum setback from the edge of the riparian corridor.

**b. Topographic constraints of the development site;**

- The project is located on a steep slope on the rear of the lot.

**c. Recreational needs of the public;**

- Public recreation is not impacted by the project.

**d. Rights of privacy of the landowner which could not be mitigated by setting the project back from the access way or otherwise conditioning the development;**

**e. The requirements of the possible accepting agency, if an offer of dedication is the mechanism for securing public access;**

**f. Feasibility of adequate setbacks, fencing, landscaping, and other methods as part of a management plan to regulate public use.**

**(D) (5) Project complies with public access requirements, including submittal of appropriate legal documents to ensure the right of public access whenever, and as, required by the certified land use plan and Section 17.46.010 (coastal access requirements);**

- No legal documents to ensure public access rights are required for the proposed project

**(D) (6) Project complies with visitor-serving and recreational use policies;**

**SEC. 30222**

**The use of private lands suitable for visitor-serving commercial recreational**

***facilities designed to enhance public opportunities for coastal recreation shall have priority over private residential, general industrial, or general commercial development, but not over agriculture or coastal-dependent industry.***

- The project involves a single family home on a residential lot of record.

**SEC. 30223**

***Upland areas necessary to support coastal recreational uses shall be reserved for such uses, where feasible.***

- The project involves a single family home on a residential lot of record.

***c) Visitor-serving facilities that cannot be feasibly located in existing developed areas shall be located in existing isolated developments or at selected points of attraction for visitors.***

- The project involves a single family home on a residential lot of record.

***(D) (7) Project complies with applicable standards and requirements for provision of public and private parking, pedestrian access, alternate means of transportation and/or traffic improvements;***

- The project involves a slope stabilization system for an existing residential use. No new use or change in use is proposed.

***(D) (8) Review of project design, site plan, signing, lighting, landscaping, etc., by the city's architectural and site review committee, and compliance with adopted design guidelines and standards, and review committee recommendations;***

- The project complies with the design guidelines and standards established by the Municipal Code.

***(D) (9) Project complies with LCP policies regarding protection of public landmarks, protection or provision of public views; and shall not block or detract from public views to and along Capitola's shoreline;***

- The project will not result negatively impact public landmarks and/or public views. The project will not block or detract from public views to and along Capitola's shoreline.

***(D) (10) Demonstrated availability and adequacy of water and sewer services;***

- The project is located on a legal lot of record with available water and sewer services.

***(D) (11) Provisions of minimum water flow rates and fire response times;***

- The project is located within a mile of the Capitola fire department. Water is available at the location

***(D) (12) Project complies with water and energy conservation standards;***

- The project is for a slope stabilization project. The GHG emissions for the project

are projected at less than significant impact.

***(D) (13) Provision of park dedication, school impact, and other fees as may be required;***

- The project will be required to pay appropriate fees prior to building permit issuance.

***(D) (14) Project complies with coastal housing policies, and applicable ordinances including condominium conversion and mobile home ordinances;***

- The project does not involve a condo conversion or mobile homes.

***(D) (15) Project complies with natural resource, habitat, and archaeological protection policies;***

- Conditions of approval have been included to ensure compliance with established policies.

***(D) (16) Project complies with Monarch butterfly habitat protection policies;***

- The project is outside of any identified sensitive habitats, specifically areas where Monarch Butterflies have been encountered, identified and documented.

***(D) (17) Project provides drainage and erosion and control measures to protect marine, stream, and wetland water quality from urban runoff and erosion;***

- Conditions of approval have been included to ensure compliance with applicable erosion control measures.

***(D) (18) Geologic/engineering reports have been prepared by qualified professional for projects in seismic areas, geologically unstable areas, or coastal bluffs, and project complies with hazard protection policies including provision of appropriate setbacks and mitigation measures;***

- Conditions of approval have been included to ensure the project applicant shall comply with all applicable requirements of the most recent version of the California Building Standards Code.

***(D) (19) All other geological, flood and fire hazards are accounted for and mitigated in the project design;***

- Conditions of approval have been included to ensure the project complies with geological, flood, and fire hazards and are accounted for and will be mitigated in the project design.

***(D) (20) Project complies with shoreline structure policies;***

- The proposed project is not located along a shoreline.

***(D) (21) The uses proposed are consistent with the permitted or conditional uses of the zoning district in which the project is located;***



- This use is an allowed use consistent with the Single Family/Automatic Review zoning district.

***(D) (22) Conformance to requirements of all other city ordinances, zoning requirements, and project review procedures;***

- The project conforms to the requirements of all city ordinances, zoning requirements and project development review and development procedures.

***(D) (23) Project complies with the Capitola parking permit program as follows:***

- The project site is not located within the area of the Capitola parking permit program.

**ATTACHMENTS:**

1. 1816 Wharf Road Plans
2. 1816 Wharf Road Wall Options and Recommendations 07.25 2018
3. 1816 Wharf Road Geotechnical Recommendations 06.29.2018 - Letter.pdf

Prepared By: Sascha Landry





Project No. SC11243.1  
25 July 2018

MS. JOANNE KISLING  
1816 Wharf Road  
Capitola, CA 95010

Subject: Wall Options & Recommendation Summary

Reference: Retaining Wall Extension  
1816 Wharf Road  
Capitola, California

Dear Ms. Kisling:

Haro, Kasunich & Associates (HKA) has prepared this letter to present the three options that were discussed with yourself and the City of Capitola to stabilize the slope below your house. The three options are: (1) pin pile wall along top of slope; (2) shotcrete tie back compression wall; and (3) soil nail and shotcrete wall.

Option one, the pin pile wall, was ultimately chosen for design due to the wall being the least visually and biologically impactful. Summary details for the three options are presented below.

### **Pin Pile Wall Along Top of Slope**

- A pin pile wall may be built to stabilize the slope. Refer to our 29 June 2018 letter report for specific criteria and recommendations for the wall. Also refer to Jakaby Engineer's plan set (dated 07-05-18) for construction details.
- The wall, as currently designed, will consist of 2.5 foot diameter reinforced concrete piers (i.e., pin piles) spaced 5.0 feet on center. The pins will be located immediately downslope of the existing wall and extend 32.0 feet down vertically into the slope.
- It should be assumed that the soil on the downslope side of the soil pins may slide away and the upper approximately 15 feet of the soil pin piles and existing tied back retaining wall along the slope may become exposed at some point in the future. The soil pins would then act as a retaining wall preventing the soil on the upslope side from sliding via soil arching. However, the soil between the pins would be vulnerable to erosion processes. To protect against erosion, if the pins are ever exposed, wood lagging or shotcrete facing between the pin piles is recommended. Even if erosional processes occur, the soil pin pile wall will still be stable so long as maintenance is implemented in a timely manner.
- We recommend proactively constructing a concrete wall between the pins in the initial design, essentially constructing a buried reinforced concrete wall between the pin piles. The proactive buried section will help mitigate some of the anticipated future maintenance. Jakaby's plans currently show a 5.0 foot buried

Ms. Kisling  
 Project No. SC11243.1  
 1816 Wharf Road  
 25 July 2018  
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wall between the pin piles.

- Vegetation will be undisturbed and continue to grow below the soil pin pile wall on the slope leading down to the Soquel Creek.

### **Shotcrete Tie Back Compression Wall**

- A shotcrete tie back compression wall may be built to stabilize the slope. It would extend from the base of the existing wall down to the sandstone (Purisima Formation).
- In short, the wall would consist of three rows of tie backs and a 2'x2' concrete grade beam at the base. Tie backs would need to be a minimum of 45 feet in length and have a minimum capacity of 30 kips. Tie backs can be either grouted or helical.
- The face of the slope would be covered with reinforced shotcrete extending from the base of the existing wall down to the Purisima contact.
- Vegetation would not grow on the slope due to the shotcrete. However, planter boxes could be constructed in the shotcrete allowing for pocket landscaping on the wall.

### **Soil Nail and Shotcrete Wall**

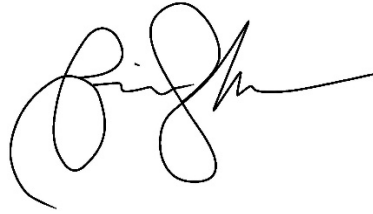
- A shotcrete soil nail wall may be built to stabilize the slope. Similar to the shotcrete tie back wall, it would extend from the base of the existing wall down to the sandstone (Purisima Formation).
- Soil nails should be:
  - 25 feet long minimum
  - Spaced 6 feet on center minimum
  - Installed in 4 rows between the existing wall and the top of the Purisima
  - 4 inches diameter grouted minimum
  - Designed for a minimum 1,000psf pullout strength
  - Inclined at a 10 to 30 degree angle from horizontal
  - Designed with zero force at the face of the wall
- The face of the slope would be covered with reinforced shotcrete extending from the base of the existing wall down to the Purisima contact.
- Vegetation would not grow on the slope due to the shotcrete. However, planter boxes could be constructed in the shotcrete allowing for pocket landscaping on the wall.
- The finished face of the wall would look the exact same as the shotcrete tie back compression wall.

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25 July 2018  
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This letter should serve as a design summary. Contact use for additional criteria, recommendations, or questions concerning each design option.

Respectfully Submitted,

**HARO, KASUNICH AND ASSOCIATES, INC.**

A handwritten signature in black ink, appearing to read 'Brian Shedden', with a long horizontal flourish extending to the right.

Brian Shedden, P.E.  
C.E. 84817

BRS

Copies: 1 via email (joanne@pointcommunications.com, bd@jakabyse.com, kherlihy@ci.capitola.ca.us)

# HARO, KASUNICH AND ASSOCIATES, INC.

CONSULTING GEOTECHNICAL & COASTAL ENGINEERS

Project No. SC11243.1  
29 June 2018

MS. JOANNE KISLING  
1816 Wharf Road  
Capitola, CA 95010

Subject: Geotechnical Recommendations for Pin Pile Wall

Reference: Pin Pile Wall  
1816 Wharf Road  
Capitola, California

Dear Ms. Kisling:

Haro, Kasunich & Associates (HKA) has prepared this letter to present recommendations for a pin pile wall to supplement the failing existing retaining wall at 1816 Wharf Road, Capitola, California. This letter report supersedes letters from HKA dated 19 September 2017, 6 March 2018, and 15 May 2018. In preparation of this letter HKA reviewed the following documents;

- Geotechnical Investigation (GI) for Residential Remodel and Hillside Stabilization at 1810 Wharf Road, dated 4 April 2017, prepared by HKA, Project No. SC11163.
- Geotechnical Investigation (GI) – Design Phase Proposed Retaining Wall and Remodel of Existing Family Residence for 1820 Wharf Road, dated July 11, 2002, prepared by Tharp & Associates Inc., Project No. 02-50.
- Retaining Wall Plans, dated March 29, 2007, prepared by Bowman & Williams, Job No. 22841.
- Topographic Map, dated July 14, 2017, prepared by Bowman & Williams, Job No. 26954.

Soil properties and strengths were developed from HKA's GI Report for 1810 Wharf Road, Tharp's GI Report for 1820 Wharf Road, and engineering judgment. The topographic map recently field surveyed by Bowman & Williams were used as inputs for our bluff stability analysis. HKA also performed a cross section survey to extend the limits of the Bowman & Williams topographic map in the area of the recent slide.

Based on our file review, recent analysis, and communications with the City of Capitola, a soil pin pile wall should be constructed to secure the slope and single-family residence against land sliding on the hillside induced from seismic events and/or wet winter

116 EAST LAKE AVENUE • WATSONVILLE, CALIFORNIA 95076 • (831) 722-4175 • FAX (831) 722-3202

Attachment: 1816 Wharf Road Geotechnical Recommendations 06.29.2018 - Letter.pdf (1816 Wharf Road)



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conditions. The pin pile wall system would retain the upper 15 feet of the slope. It should be assumed that the soil on the downslope side of the soil pins may slide away and the upper approximately 15 feet of the soil pin piles and existing tied back retaining wall along the slope may become exposed at some point in the future. The soil pins would then act as a retaining wall preventing the soil on the upslope side from sliding via soil arching. However, the soil between soil pins would be vulnerable to erosion processes. To protect against erosion, if the pins are ever exposed, wood lagging or shotcrete facing between the pin piles is recommended. Even if erosional processes occur the soil pin pile wall will still be stable so long as maintenance is implemented in a timely manner.

We recommend proactively constructing a concrete wall between the pins in the initial design, essentially constructing a buried reinforced concrete wall between the pin piles. It is recommended that the top 5 feet below the existing tied back retaining wall of the pin pile wall be protected from future erosion by including concrete between the pins. Again, it can be assumed that the pin piles will be exposed down to a depth of approximately 15 feet as measured from the top of the existing tied back retaining wall. Future shotcrete and/or wood lagging will need to be structurally connected to the exposed pin piles at that time. The proactive 5 foot buried section will help mitigate some of this future maintenance.

The new pin pile wall may be structurally connected to the existing tied back wall or stand alone as a separate wall at the discretion of your structural engineer. Both wall systems should have an adequate back drainage system. Proper surface drainage systems should direct water away from the top of the wall and no water should be allowed to pond adjacent to the wall and seep into the soil directly behind the wall. The proposed pin pile wall should not cause or create additional erosion or material entering the Soquel Creek if constructed in a good workman ship manner.

### **Project and Site Description**

The project site is on a bluff top parcel in a residential neighborhood along Wharf Road in the City of Capitola. The house sits on a drilled pier foundation and the top ~5 feet of the slope leading down to Soquel Creek is supported by an existing helical tied back steel I-beam wall with wood lagging. There is a concrete grade beam at the base of the wall with vertical helical piers. The recent winter activity has caused soil downslope from the base of the wall to mobilize and expose part of the concrete grade beam.

HKA understands that the scope of the project will consist of constructing a soil pin pile wall to stabilize the slope and residence against land sliding. It is understood that Brock Dickie of Jakaby Engineering will be the structural engineer on the project.

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Recommendations in this letter include soil pin pile criteria, buried concrete wall criteria, and a slope stability analysis along the northeast slope that runs into Soquel Creek. Also included are general recommendations for grading and site drainage.

### **Bluff Stability Analysis**

Failures of slopes occur when stress acting on the soil mass is greater than its internal strength (shear strength). A slope is considered stable when the strength of its soil mass is greater than the stress field acting within it. Various methods of analyzing stability of slopes yield a factor of safety. A factor of safety is determined by dividing the resisting forces within the slope soils by the driving forces within the slope (stress field). A factor of safety (FS) greater than or equal to 1.0 is considered to be in equilibrium. A FS less than 1.0 is a potentially un-stable slope condition. HKA considers the potential for instability of a slope or hillside with a FS against sliding greater than or equal to 1.20 under seismic loading conditions and 1.50 under static loading conditions to be low.

### **Quantitative Analysis**

The analysis was completed with the aid of GSTABL7 software. A model for Section A (refer to Figure 2 to 3 and 9 to 12 in the Appendix) was defined with the input parameters consisting of slope geometry, soil properties, and loading conditions. The existing condition assumed that the soil failed from the top of soil layer Tp2 (sandstone, as discussed below) up the location of the proposed pin pile wall at a 2H:1V gradient. The proposed condition assumed the same geometry but with the addition of a 30 foot pin pile (measured from the top of the existing wall). No helical tie backs were input into the model as it is unknown if the existing wall will be structurally connected to the pin piles at this time. For example, if the pin piles are located landward (towards the house) of the existing wall then the helical tie backs may have little to no structural effect on the slope during a sliding event. Each model was evaluated under static and seismic loading. The analysis calculates the factor of safety against sliding for the failure surface.

The recently prepared topographic map by Bowman & Williams and HKA's cross section survey were used for slope geometry. Soil properties were selected by reviewing soils at 1810 Wharf Road, 1820 Wharf Road, and by using engineering judgment.

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**Table 1: Soil Strengths Used For Slope Stability Analysis - Section A**

| Soil Type<br>(Description, #)          | Cohesion<br>(psf) | Friction Angle<br>(deg) | Unit Weight<br>(pcf) |
|--|-------------------|-------------------------|----------------------|
| QcT <sub>F1</sub><br>(Coastal Terrace) | 199               | 33                      | 117                  |
| QcT <sub>2</sub><br>(Coastal Terrace)  | 252               | 49                      | 124                  |
| QcT <sub>3</sub><br>(Coastal Terrace)  | 100               | 37                      | 120                  |
| T <sub>P1</sub><br>(Sandstone)         | 505               | 27                      | 101                  |
| T <sub>P2</sub><br>(Sandstone)         | 1000              | 45                      | 101                  |

The probabilistic peak ground acceleration (PGA = 0.581) was obtained from Caltrans ARS Online (v2.3.09). The current version of the California Building Code contains reference maps of peak ground acceleration based on site latitude and longitude (PGA = 0.502). Engineering judgement and the two methods above were used to select a project PGA = 0.581. The CGS *Special Publication 117 Guidelines For Analyzing and Mitigating Seismic Hazards in California 2008* was used for calculating a site specific pseudostatic seismic coefficient ( $K_h$ ) from the selected PGA.

$$K_h = 0.349 \text{ g}$$

Trial failure surfaces for this analysis consisted of rotational type circular failures. GSTABL7 program uses the Simplified Bishop Method of Slices or the Janbu Method to determine normal and resistive forces in each slice. The forces in each slice are then summed up for total force acting on the mass. The computer program assumes many failure surfaces using initiation and termination points on the ground surface selected by the user. These chosen points represent the toe and scarp of each potential landslide in relation to the assumed failure surfaces. The critical trial failure surface from the seismic analysis condition was selected as the projected failure surface in the development of design parameters.

#### Geometric Assumptions

For our analysis, failure surfaces were primarily focused within the upper 3 soil types (terrace deposits), which comprised approximately the upper 20 feet bgs. Soil 4 and 5 is the sandstone bedrock (Purisima Formation), which is denser, older, and is more resistance to slope failures. Soil 4 was assumed to be an approximately 10 foot thick layer of weathered Purisima. The trial failure surfaces used in the analysis were selected using engineering judgment as well as the software's ability to generate many random surfaces.

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### Slope Stability Conclusions

The computed factors of safety (FS) against sliding for the circular trial failure surfaces within the soils overlying the Purisima Formation (terrace deposit) on the northeast facing hillside are less than 1.50 under static loading conditions. When including a seismic surcharge, the trial failure surfaces in the terrace deposit have FS against sliding less than 1.20. Modern engineering practice requires the FS to be equal to or greater than 1.50 under static conditions and 1.20 under seismic conditions. Based on the results of the slope stability analysis, steep slope gradients, slope height, and history of instability on the hillside the slope is considered unstable during design seismic events. Based on observations made by HKA during this past winter rain season the hillside is also subject to shallow slump slides during heavy rain events.

Specific results for the FS against sliding for the trial failure surfaces under static and seismic loading cases are as follows. These results are for the existing condition with no tiebacks or existing wall but with the slope failed at a 2H:1V gradient, as discussed above.

$$FS_{\text{Static}} = 1.26$$

$$FS_{\text{Seismic}} = 0.73$$

Remediation models were developed and analyzed that assumed a soil pin pile wall was embedded into the hillside to provide additional stability against sliding during seismic events and under wet winter conditions. The soil pin pile wall is a series of closely spaced drilled shafts filled with reinforced concrete. The soil arches between soil pins and is contained on the upslope side of the installed locations. **Soil pins do not provide stability against sliding for soil on the downslope side of the system.** It is assumed the soil down slope from the soil pins will eventually mobilize at some point in the future. A generic soil pin pile was inserted into the slope stability model and a resisting force was assigned to it. Trial failure surfaces were regenerated and FS was calculated. This process was repeated incrementally increasing the resisting force assigned to the soil pin pile which increased the FS against sliding (as discussed above). The selected resisting soil pin pile force was determined to be 7 kips per unit width of pin pile. This increased the FS against sliding to a minimum of 1.5 under static conditions and 1.20 under seismic conditions. The software does not determine a required embedment depth or nominal pile capacity.

Specific results for the FS against sliding for the trial failure surfaces under static and seismic loading cases are as follows. These results are for the proposed condition a pin pile added to the model.

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$$FS_{\text{Static}} = 1.83$$

$$FS_{\text{Seismic}} = 1.22$$

Graphical results of this analysis are attached with this letter in the appendix as Figures 9 through 12.

It should be assumed that the soil on the downslope side of the soil pins will slide and the upper 15 feet of the soil pin piles and existing tied back retaining wall along the slope may become exposed at some point in the future. The soil pins would then act as a retaining wall containing soil upslope from it through arching. However, the soil between soil pins would be vulnerable to erosion processes. To protect against erosion at that time, wood lagging or shotcrete facing is recommended. Even if erosional processes occur the soil pin pile wall will still be stable.

#### Limitations of Analysis

It must be cautioned that slope stability analysis is an inexact science; and the mathematical models of the slopes and soils contain many simplifying assumptions, not the least of which is homogeneity. Density, moisture content and shear strength may vary within a soil type. There may be localized areas of low strength or perched ground water within a soil. Slope stability analyses and the generated factors of safety should be used as indicating trend lines. A slope with a safety factor less than one will not necessarily fail, but the probability of slope movement will be greater than a slope with a higher safety factor. Conversely, a slope with a safety factor greater than one may fail, but the probability of stability is higher than a slope with a lower safety factor.

#### Conclusion and Recommendations

Based on the results of our investigation, the proposed project appears compatible with site conditions, from a geotechnical engineering standpoint, provided our recommendations are closely followed during the design and construction phases of the project.

Primary geotechnical concerns at the site include strong seismic shaking, hillside instability during seismic events, and adequate control of surface runoff.

The project site is located within a seismically active area and strong seismic shaking is expected to occur over the lifetime of the project. Structures should be designed and constructed in accordance with the most current CBC (2016) and the recommendations of this report to minimize reaction to seismic shaking.



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The results of our geotechnical investigation indicate a soil pin pile wall with a buried concrete wall should be constructed to secure the slope and single-family residence against land sliding on the hillside induced from seismic events and/or wet winter conditions.

The following recommendations should be used as guidelines for preparing project plans and specifications, and assume that **Haro, Kasunich & Associates (HKA)** will be commissioned to review project pin pile plans before construction and to observe, test and advise during earthwork and pin pile construction. This additional opportunity to examine the site will allow us to compare subsurface conditions exposed during construction with those inferred from this investigation. Unusual or unforeseen soil conditions may require supplemental evaluation by HKA.

#### **Site Grading**

1. HKA should be notified **at least four (4) working days** prior to any site clearing or grading, so that the work in the field can be coordinated with the grading contractor and arrangements for testing and observation services can be made. The recommendations of this report are based on the assumption that the HKA will have the required testing and observation services completed during grading and construction. It is the owner's responsibility to make the necessary arrangements for these required services.
2. Where referenced in this report, Percent Relative Compaction and Optimum Moisture Content shall be based on ASTM Test Designation D1557.
3. Areas to be graded should be cleared of all obstructions including loose fill, trees not designated to remain, and other unsuitable material, (i.e. cobbles greater than 6 inches in diameter). Existing depressions or voids created during site clearing should be backfilled with engineered fill.
4. Cleared areas should then be stripped of organic-laden topsoil. Stripping depth is typically from 2 to 6 inches. Actual depth of stripping should be determined in the field by HKA. Strippings should be wasted off-site or stockpiled for use in landscaped areas if desired.
5. Areas to receive engineered fill should be scarified to a depth of 8 inches, moisture conditioned and compacted to 90 percent relative compaction at moisture content of 2 to 4 percent above optimum.

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6. Engineered fill should be placed in thin lifts not to exceed 8 inches in loose thickness, moisture conditioned and compacted to at least 90 percent relative compaction. The upper 12 inches of subgrades should be scarified, moisture conditioned to or dried back as needed to 2 to 4 percent above optimum moisture content, and compacted to 90 percent relative compaction. Aggregate base below any concrete should be compacted to at least 95 percent relative compaction.
7. The majority of the on-site soils are suitable for re-use as engineered fill. Materials for engineered fill should be granular, essentially free of organic materials, and contain no rocks or clods greater than 6 inches in diameter, with no more than 15 percent larger than 4 inches and have a PI of 18 or less. Import material must be approved by HKA prior to placement as engineered fill.
8. If grading is performed during or shortly after the rainy season, the grading contractor may encounter compaction difficulty, such as pumping or bringing free water to the surface. If compaction cannot be achieved after adjusting the soil moisture content, it may be necessary to over excavate the subgrade soil and replace with angular crushed rock and stabilize the bottom with stabilization fabric. We estimate the depth of over excavation would be approximately 24 inches under these adverse conditions. The need for ground stabilization measures to complete grading effectively should be determined in the field at the time of grading based on exposed soil conditions. No significant grading is anticipated for this project, however minor grading may be needed landward of the existing wall depending on construction methods.

#### **Cut and Fill Slopes**

9. Temporary excavations should be properly shored and braced during construction to prevent sloughing and caving. The contractor should be aware of all CAL OSHA and local safety requirements and codes dealing with excavations and trenches.
10. Cut slope heights for the retaining wall are anticipated to be order of 5 to 10 feet tall. Designers should assume the cut slope to be comprised of medium dense to dense sand with silt/gravel (terrace deposits) and possible perched groundwater.
11. It should be anticipated that perched ground water may actively be seeping from the face of the cut slope. The thickness of the seepage layer will depend upon the time of year the excavation is made. Designers and contractors should plan accordingly.



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12. Temporary cut slopes should be inclined at a slope gradient of 1:1 (H:V) or flatter where no seepage is observed from face of cut slope and 2:1 (H:V) or flatter where seepage is observed. Depending on the amount of seepage from the face of the cut slope shoring may be required. Temporary cut slopes excavated for the project are considered those that are to remain from 24 hours up to the start of the rain season.
13. The contractor may elect to use shoring to support vertical cut slopes. For design of lateral earth support systems used for temporary shoring or permanent retaining walls a lateral earth pressure equivalent to a fluid weighing (EFW) 50 pcf should be used under drained conditions (i.e. gravel drain). If the shoring is to be designed without a drain or "undrained condition" use 95 pcf.
14. Following grading, exposed soil should be planted as soon as possible with erosion-resistant vegetation. Follow the recommendations presented in Biotic Resources Group's 28 June 2018 letter.
15. After the earthwork operations have been completed and HKA has made the required observations of the work, no further earthwork operations shall be performed without the direct observation of HKA.

#### **Soil Pin Pile System**

16. To secure the slope and single-family residence against land sliding on the hillside induced from seismic events and or wet winter conditions a row of soil pin piles is recommended. A soil pin pile wall consists of a single line of drilled, cast-in-place piers forming an effectively continuous retaining structure through the principle of soil arching. Soil arching allows restraint of the active earth forces tending to promote movement of the soil material between the piers.
17. The soil pin pile wall will be initially constructed as a buried structure. As the ongoing recession of the slope forward of the pins continues, the soil between the soil pin piers will be become exposed. The exposed soils will be subject to the effects of long term weathering and seasonal saturation. If left unprotected, the exposed soils will deteriorate and/or erode over time thereby eliminating the soil arching between the piers. To protect the exposed soils and maintain the integrity of the soil arching system, it will be necessary to apply a structural shotcrete section or wood lagging between the soil pins as the soil is exposed. We recommend proactively constructing a concrete wall between the pins in the initial design, essentially constructing a buried reinforced concrete wall between the pin

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piles. It is recommended that the top 5 feet below the existing tied back retaining wall of the pin pile wall be protected from future erosion by including concrete between the pins. It can be assumed that the pin piles will be exposed down to a depth of approximately 15 feet as measured from the top of the existing tied back retaining wall. Future shotcrete and/or wood lagging will need to be structurally connected to the exposed pin piles at that time. The proactive 5 foot buried section will help mitigate some of this future maintenance. Additionally, we recommend construction of end walls that extend 2 piers inland (towards road/house) to mitigate against future flanking events. The end wall located at the adjacent 1810 Wharf Road may not be necessary if the pin piles are located next to their pin pile wall system.

18. A monitoring and maintenance program is an integral component of the design of soil pin pile walls. To maintain the integrity of the retaining wall system, it is necessary to conduct regular inspections of the slope face below the piles for evidence of exposure of the soil pin pile piers; and placement as necessary of reinforced shotcrete or wood lagging between and structurally attached to the piles on each side of the exposed soil bays. We recommend soil pin pile walls be inspected after long duration winter storms, severe seismic shaking, and at least once every 2 years by a licensed engineer or an engineering geologist to monitor the status of the retaining wall system and recommend maintenance when needed.
19. The ideal location for the row of piles is along the outboard side (riverside) of the existing tied back retaining wall. This would allow shorter and smaller diameter piers and for less interference with the existing tie backs from the existing retaining wall. The piles can be located on the inboard (landward) side of the existing wall as well.
20. Soil pin piles located on the outboard side of the existing wall should be a minimum of 30 inches in diameter and spaced 5 horizontal feet apart (on center spacing). Soil pin piles located on the inboard side of the existing wall should be a minimum of 36 inches in diameter and spaced 6 horizontal feet apart (on center spacing) to allow for construction of the piers between the existing helical tie backs. Depth of the piers should be a minimum of 30 feet deep measured from the top of the existing tied back retaining wall to the end of the pile. Piles can start at the base of the existing wall, per the discretion of your structural engineer. This would allow shorter piles that still extend 30 feet down from the top of the existing tied back wall.

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21. Casing of the drilled shafts for the pin piles may be required to prevent sloughing of the overburden soils.
22. To prevent any collapse of soil between the piers during drilling, piles should be drilled and constructed in a staggered manner so no two piles next to each other are built at the same time.
23. The soil pin pile wall should be designed to resist the following stress fields; an active lateral earth pressure of 50 pcf equivalent fluid weight (EFW) for a level backslope, uniform seismic surcharge of 10H psf/ft, and surcharge from house. Refer to the attached surcharge pressure diagram for surcharge loads from the house. The lateral earth pressures should be assumed to act against 2 pier diameters.
24. The existing tied back retaining wall may be structurally incorporated into the pin pile wall at the discretion of your structural engineer. Where walls are restrained from moving at the top, design for a uniform rectangular distribution equivalent to 35H per foot for a level backslope, where H is the height of the wall.
25. The active pressure and seismic surcharge should be applied to the upper 18 feet of the pier, as measured from the top of the existing tied back retaining wall.
26. To resist the lateral stress field described above use a passive resistance of 200 pcf EFW from 2 to 5 feet below the active stress field and 400 pcf EFW from 5 feet and deeper below the active stress field. The upper 2 feet below the active stress field should be neglected in calculations of passive resistance. Passive resistance acts against 2.0 pier diameters.
27. All pier excavations should be thoroughly cleaned prior to placing reinforcing steel and concrete. A representative of HKA should observe pier drilling operations and placement of drainage materials behind the retaining wall. Pier drilling sequence and method of pier drilling is to be determined by the project contractor.

#### **Buried Reinforced Concrete Retaining Wall**

28. A buried concrete wall between the pin piles should be constructed to mitigate future erosion. The recommendations presented in the "Soil Pin Pile System" section of this report are applicable to this Buried Reinforced Concrete Retaining Wall section also. The buried concrete wall should be structurally connected to the pin piles and should be embedded a minimum 5 feet deep. For design of fully drained buried retaining walls, the following design criteria may be used.

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29. The buried concrete retaining wall should be designed for an active earth pressure or 35 pcf (EFW). The pin piles should be independently designed with the criteria under the section "Soil Pin Pile System."
30. In addition, the buried wall should be designed for any adjacent live or dead loads that exert a force on the wall (i.e. residential foundation load). Refer to the attached Surcharge Pressure Diagram.
31. To account for seismic loading, a horizontal line load surcharge equal to  $10H^2$  pounds per linear foot of wall may be assumed to act at  $0.6H$  above the base of the wall (where  $H$  is the height of the concrete retaining wall founded on pin piles).
32. Prior to placing reinforcing steel and concrete, all excavations should be thoroughly cleaned. The excavations must be observed by the geotechnical engineer or his representative prior to placing reinforcing steel and concrete.

#### **Retaining Wall Drainage**

33. The above criteria assume that the walls are fully drained to prevent hydrostatic pressure behind the walls. Drainage materials behind the wall should consist of Class 1, Type A permeable material complying with Section 68 of Caltrans Standard Specifications, latest edition, or approved equivalent. The drainage material should be at least 12 inches thick and extend to the base of the existing wall. The existing drainage system may be altered to connect to the new wall's drainage system. Alternatively, vertical MIRADRAIN (or approved equivalent product) panels with a horizontal manifold along the base of the wall may be used.
34. Wall backdrains should be capped at the surface with clayey material to prevent infiltration of surface runoff into the backdrains. A layer of filter fabric (Mirafi 140N or equivalent) should separate the subdrain material from the overlying soil cap, or approved equivalent.
35. A 4 inch diameter perforated rigid drain pipe should be placed (holes down) about 4 inches above the bottom of the buried concrete wall and be tied to a suitable solid rigid drain outlet, or approved equivalent. The outlet(s) must be located at least 30 feet downslope of the toe of the new wall in a location and manner that will not cause erosion. It may be connected to the existing drainage outlet system.

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### **Surface Drainage**

36. We recommend that full gutters be used along all roof eaves to collect storm runoff water and channel it through closed rigid conduits to a suitable discharge point away from the perimeter foundations of the house or steep slopes.
37. Surface drainage should include provisions for positive gradients so that surface runoff is not permitted to pond adjacent to foundations, on pavements, or behind the retaining wall. Surface drainage should be directed away from the retaining wall and concentrations of surface water runoff should be handled by providing necessary structures, solid pipes, catch basins, v-ditches, etc.
38. Irrigation activities at the site should be done in a controlled and reasonable manner. Planter areas should not be sited adjacent to walls; otherwise, measures should be implemented to contain irrigation water and prevent it from seeping into walls and under foundations.
39. The migration of water or spread of extensive root systems behind retaining walls, and below foundations, slabs, or pavements may cause undesirable differential movements and subsequent damage to these structures. Landscaping should be planned accordingly.
40. The slope downhill of the wall that is affected by construction should be protected with erosion resistant vegetation and adequate erosion and sediment control BMPs as soon as construction is complete. The goal is to prevent any future erosion that may undermine the new wall.

### **Plan Review, Construction Observation and Testing**

41. We recommend that our office review the project plans prior to submittal to public agencies, to expedite project review. The recommendations presented in this report require our review of final plans and specifications prior to construction and upon our observation and, where necessary, testing of the earthwork and foundation excavations. Observation of grading and foundation excavations allows us to compare subsurface conditions exposed during construction with those inferred from this investigation.

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If you have any questions concerning the data or conclusions presented in this report, please call our office.



Respectfully Submitted,

**HARO, KASUNICH AND ASSOCIATES, INC.**

Brian Shedden, P.E.  
C.E. 84817

BRS

Copies: 3 to addressee

1 via email (joanne@pointcommunications.com, bd@jakabyse.com)



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### LIMITATIONS AND UNIFORMITY OF CONDITIONS

1. The recommendations of this report are based upon the assumption that the soil conditions do not deviate from those disclosed in the borings. If any variations or undesirable conditions are encountered during construction, or if the proposed construction will differ from that planned at the time, our firm should be notified so that supplemental recommendations can be given.
2. This report is issued with the understanding that it is the responsibility of the owner, or his representative, to ensure that the information and recommendations contained herein are called to the attention of the Architects and Engineers for the project and incorporated into the plans, and that the necessary steps are taken to ensure that the Contractors and Subcontractors carry out such recommendations in the field. The conclusions and recommendations contained herein are professional opinions derived in accordance with current standards of professional practice. No other warranty expressed or implied is made.
3. The findings of this report are valid as of the present date. However, changes in the conditions of a property can occur with the passage of time, whether they be due to natural processes or to the works of man, on this or adjacent properties. In addition, changes in applicable or appropriate standards occur whether they result from legislation or the broadening of knowledge. Accordingly, the findings of this report may be invalidated, wholly or partially, by changes outside our control. Therefore, this report should not be relied upon after a period of three years without being reviewed by a geotechnical engineer.

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## **APPENDIX A**

**Site Vicinity Map**

**Boring Site Plan**

**Geotechnical Cross Section A**

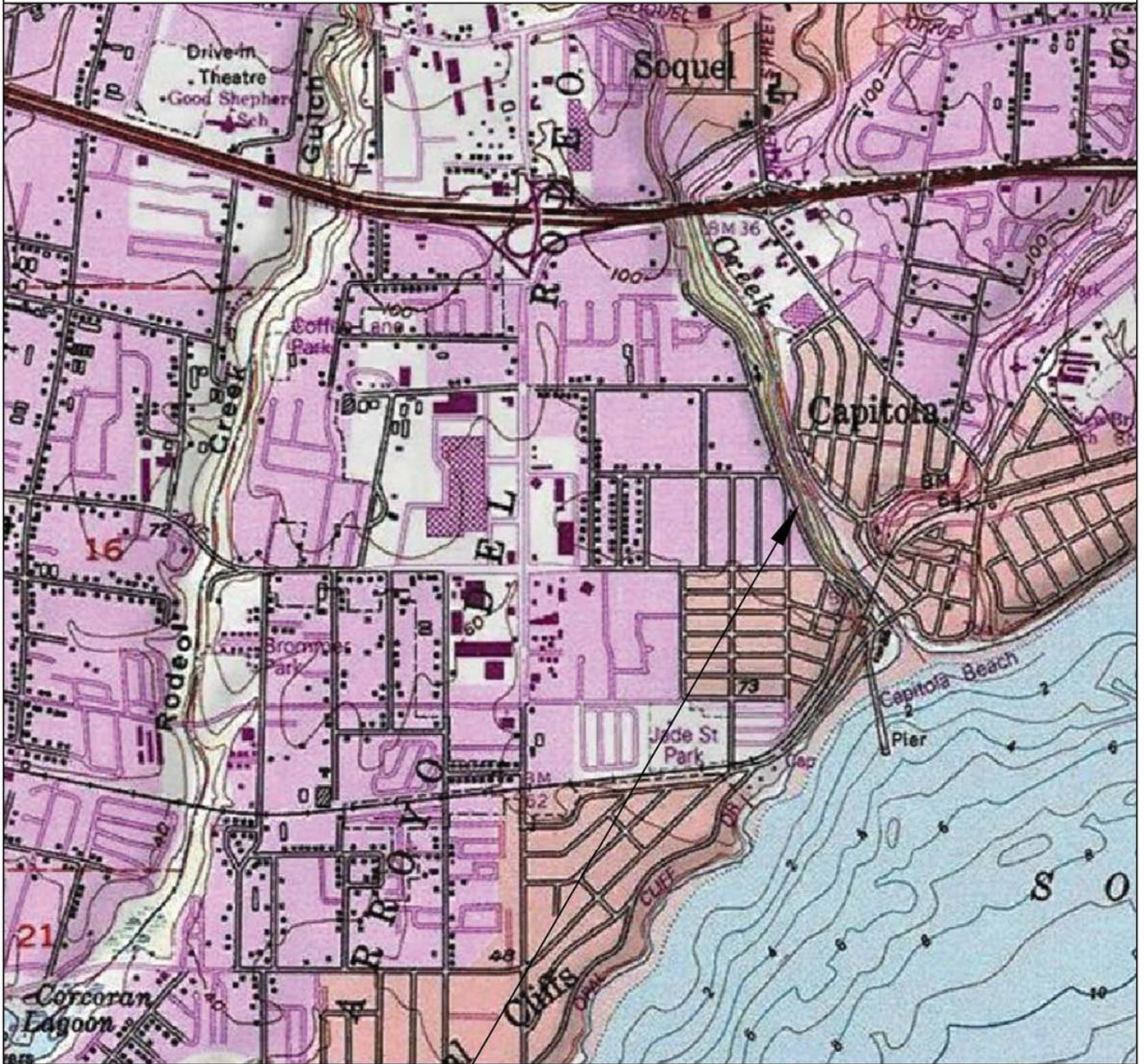
**Surcharge Pressure Diagram**

**Key to Logs**

**Logs of Test Borings**

**Slope Stability Results**





SITE LOCATION

FROM:  
USGS 20 ft. contour interval



SITE VICINITY MAP  
1816 WHARF ROAD  
CAPITOLA, CALIFORNIA  
JOANNE KISLING

SCALE: NTS  
DRAWN BY: BRS  
DATE: JUNE 2018  
REVISED:  
JOB NO. SC11243.1

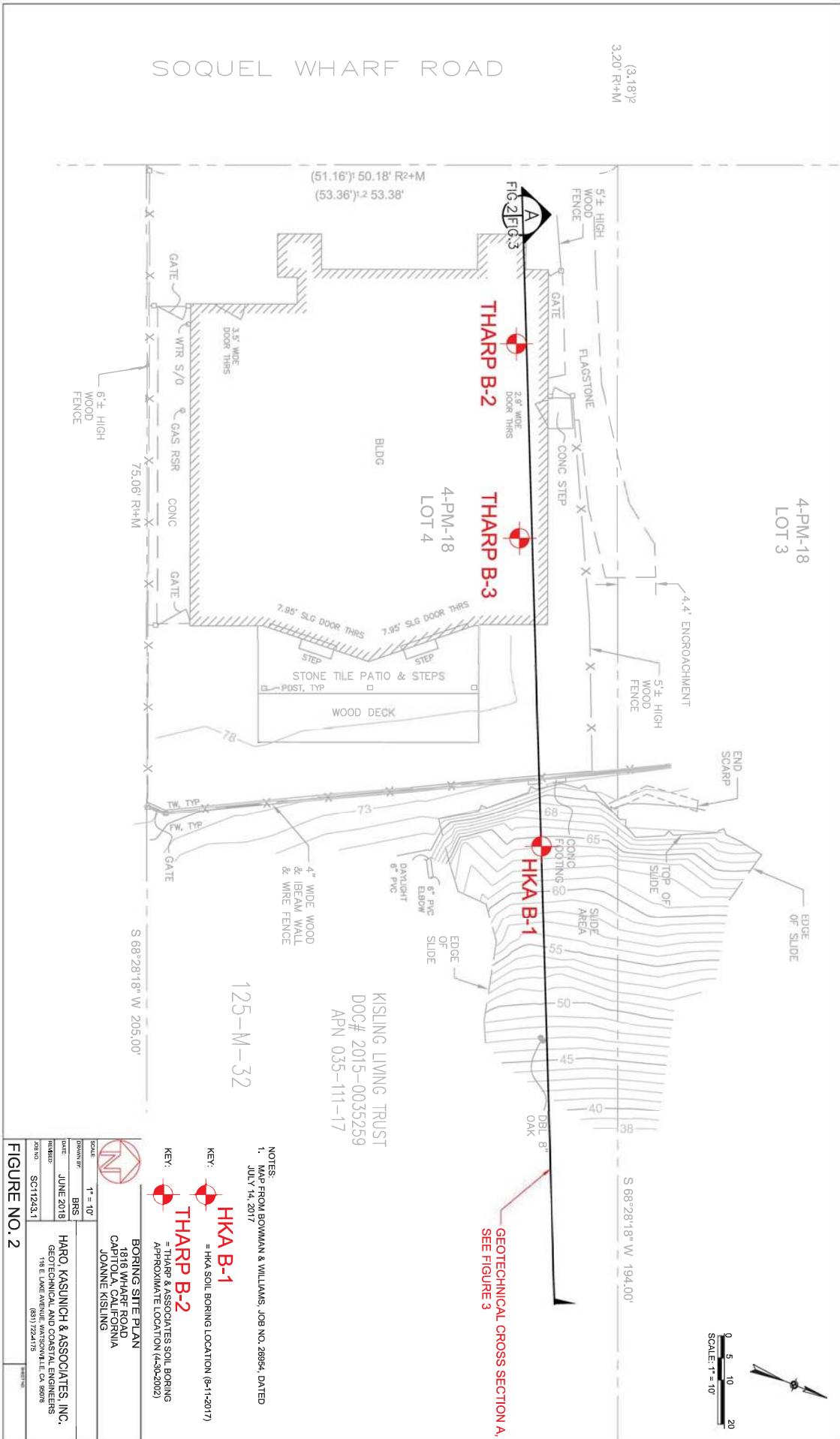
HARO, KASUNICH & ASSOCIATES, INC.  
GEOTECHNICAL AND COASTAL ENGINEERS  
116 E. LAKE AVENUE, WATSONVILLE, CA 95076  
(831) 722-4175

FIGURE NO. 1

SHEET NO.

Attachment: 1816 Wharf Road Geotechnical Recommendations 06.29.2018 - Letter.pdf (1816 Wharf Road)





NOTES:  
1. MAP FROM BOWMAN & WILLIAMS, JOB NO. 28954, DATED JULY 14, 2017

KEY:  
 = HKA SOIL BORING LOCATION (6-1-2017)  
**HKA B-1**  
 = THARP & ASSOCIATES SOIL BORING APPROXIMATE LOCATION (4-30-2002)  
**THARP B-2**

KEY:  
 = THARP & ASSOCIATES SOIL BORING APPROXIMATE LOCATION (4-30-2002)  
**THARP B-2**

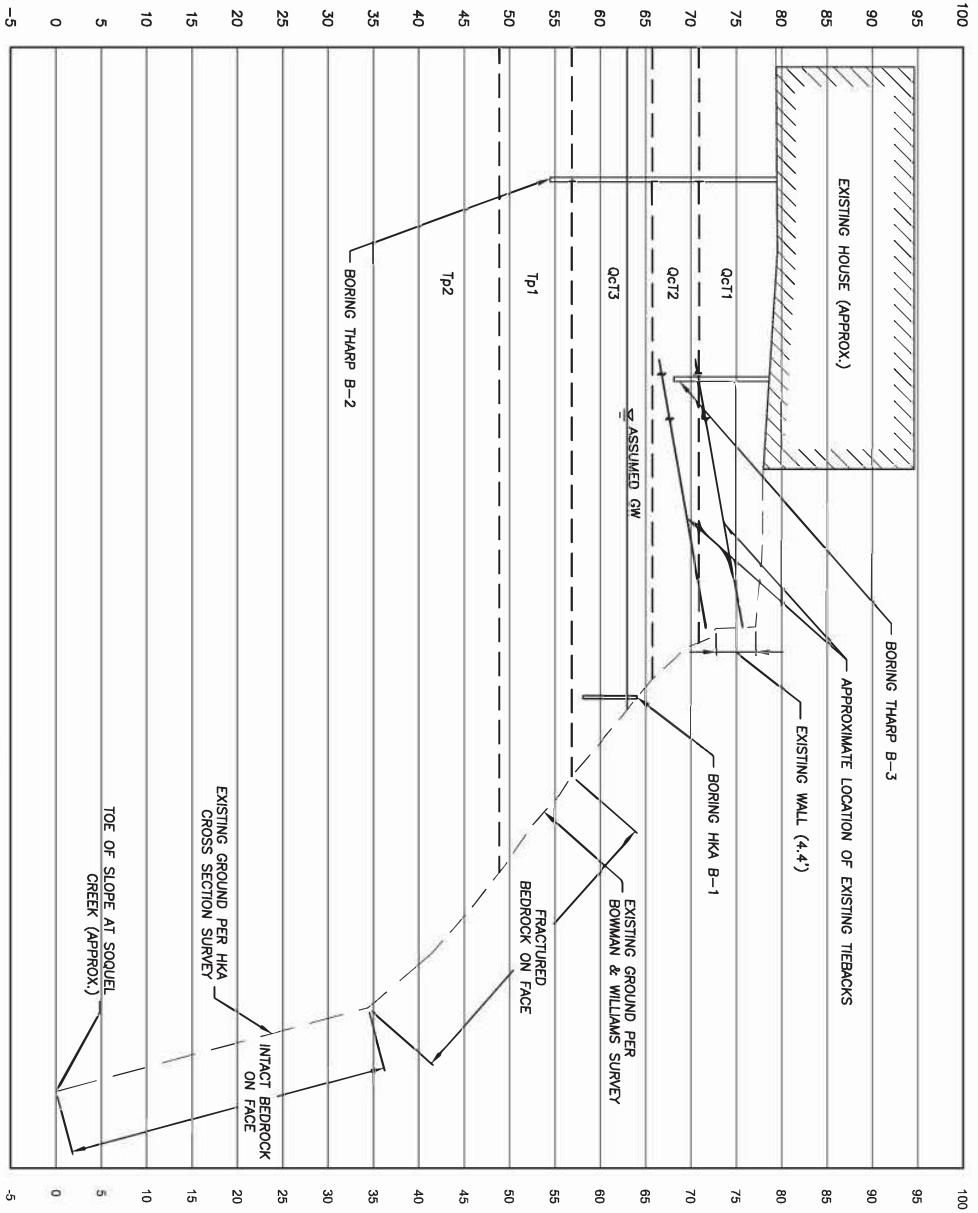
BOHRING SITE PLAN  
1816 WHARF ROAD  
CAPITOLA, CALIFORNIA  
JOANNE KISLING

HARO, KASUNICH & ASSOCIATES, INC.  
1816 WHARF ROAD  
CAPITOLA, CALIFORNIA  
JOANNE KISLING  
181 E. LAKE AVENUE, WATSONVILLE, CA 95096  
(831) 724-4175

SCALE: 1" = 10'

DRAWN BY: BRS  
DATE: JUNE 2018  
JOB NO: SCT11243.1

FIGURE NO. 2

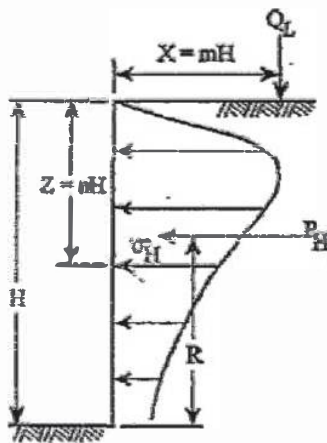
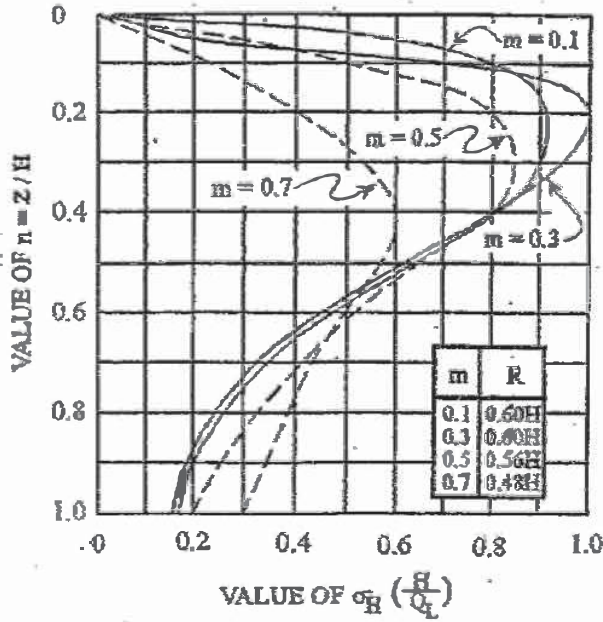


**TYPICAL SECTION**  
SCALE: 1" = 20'  
FIG. 2-10.3

|   |  |
|---|--|
| <b>GEOTECHNICAL CROSS SECTION A</b>                       |  |
| 1816 WHARF ROAD<br>CAPITOLA, CALIFORNIA<br>JOANNE KISLING |  |
| SCALE: AS SHOWN   | DRAWN BY: BRS  |
| DATE: JUNE 2018   | REVISIONS:   |
| JOB NO. SC11243.1   | HARO, KASUNICH & ASSOCIATES, INC.<br>GEOTECHNICAL AND COASTAL ENGINEERS<br>116 E. LAKE AVENUE, WATSONVILLE, CA 95076<br>(931) 722-4175 |
| <b>FIGURE NO. 3</b>                                       | SHEET NO.:   |

NOTES:  
1. ELEVATION BASED ON BOWMAN & WILLIAMS TOPOGRAPHIC SURVEY, DATED JULY 14, 2017.

**LINE LOAD**



FOR  $m \leq 0.4$ :

$$\sigma_H \left( \frac{H}{Q_L} \right) = \frac{0.20n}{(0.16+n^2)^2}$$

$$P_H = 0.55 Q_L$$

FOR  $m > 0.4$ :

$$\sigma_H \left( \frac{H}{Q_L} \right) = \frac{1.28m^2n}{(m^2+n^2)^2}$$

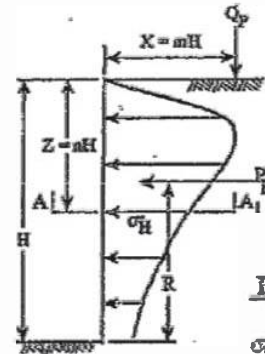
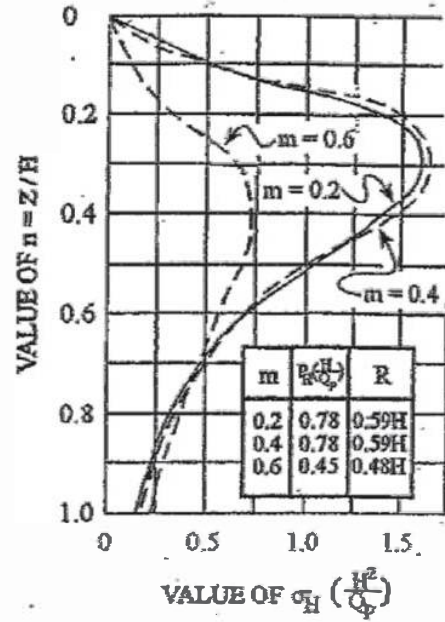
$$\text{RESULTANT } P_H = \frac{0.64 Q_L}{(m^2+1)}$$

**PRESSURES FROM LINE LOAD  $Q_L$**

(BOISSINESQ EQUATION MODIFIED BY EXPERIMENT)

REFERENCE: Design Manual  
NAVFAC DM-7.02  
Figure 11  
Page 7.2-74

**POINT LOAD**



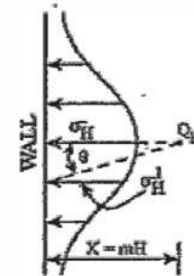
FOR  $m \leq 0.4$ :

$$\sigma_H \left( \frac{H^2}{Q_P} \right) = \frac{0.28n^2}{(0.16+n^2)}$$

FOR  $m > 0.4$ :

$$\sigma_H \left( \frac{H^2}{Q_P} \right) = \frac{1.77m^2n^2}{(m^2+n^2)^3}$$

$$\sigma_H^1 = \sigma_H \cos^2(1.1 \theta)$$



SECTION A-A<sub>1</sub>

**PRESSURES FROM POINT LOAD  $Q_P$**

(BOISSINESQ EQUATION MODIFIED BY EXPERIMENT)

Attachment: 1816 Wharf Road Geotechnical Recommendations 06.29.2018 - Letter.pdf (1816 Wharf Road)

SURCHARGE PRESSURE DIAGRAM  
1816 WHARF ROAD  
CAPITOLA, CALIFORNIA  
JOANNE KISLING

FROM:  
NAVFAC 7.2, FIGURE 11, PAGE 7.2-74

SCALE: NTS  
DRAWN BY: BRS  
DATE: JUNE 2018  
REVISED:  
JOB NO. SC11243.1

HARO, KASUNICH & ASSOCIATES, INC.  
GEOTECHNICAL AND COASTAL ENGINEERS  
116 E. LAKE AVENUE, WATSONVILLE, CA 95076  
(831) 722-4175

FIGURE NO. 4

SHEET NO.

| PRIMARY DIVISIONS   |  |                                    | GROUP SYMBOL  | SECONDARY DIVISIONS  |
|---|--|------------------------------------|---|--|
| <b>COARSE GRAINED SOILS</b><br>MORE THAN HALF OF MATERIAL IS LARGER THAN NO. 200 SIEVE SIZE | <b>GRAVELS</b><br>MORE THAN HALF OF COARSE FRACTION IS LARGER THAN NO. 4 SIEVE | CLEAN GRAVELS (LESS THAN 5% FINES) | GW  | Well graded gravels, gravel-sand mixtures, little or no fines.     |
|   |  |                                    | GP  | Poorly graded gravels or gravel-sand mixtures, little or no fines. |
|   |  | GRAVEL WITH FINES                  | GM  | Silty gravels, gravel-sand-silt mixtures, non-plastic fines.       |
|   |  |                                    | GC  | Clayey gravels, gravel-sand-clay mixtures, plastic fines.          |
|   | <b>SANDS</b><br>MORE THAN HALF OF COARSE FRACTION IS SMALLER THAN NO. 4 SIEVE  | CLEAN SANDS (LESS THAN 5% FINES)   | SW  | Well graded sands, gravelly sands, little or no fines              |
|   |  |                                    | SP  | Poorly graded sands or gravelly sands, little or no fines          |
|   |  | SANDS WITH FINES                   | SM  | Silty sands, sand-silt mixtures, non-plastic fines.                |
|   |  |                                    | SC  | Clayey sands, sand-clay mixtures, plastic fines.                   |
| <b>FINE GRAINED SOILS</b><br>MORE THAN HALF OF MATERIAL IS SMALLER THAN NO. 200 SIEVE SIZE  | <b>SILTS AND CLAYS</b><br>LIQUID LIMIT IS LESS THAN 50%                        | ML                                 | Inorganic silts and very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity. |  |
|   |  | CL                                 | Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays.                  |  |
|   |  | OL                                 | Organic silts and organic silty clays of low plasticity.  |  |
|   | <b>SILTS AND CLAYS</b><br>LIQUID LIMIT IS GREATER THAN 50%                     | MH                                 | Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts.                                |  |
|   |  | CH                                 | Inorganic clays of high plasticity, fat clays.  |  |
|   |  | OH                                 | Organic clays of medium to high plasticity, organic silts.  |  |
| <b>HIGHLY ORGANIC SOILS</b>   |  |                                    | Pt  | Peat and other highly organic soils.                               |

**GRAIN SIZES**

U.S. STANDARD SERIES SIEVE: 200, 40, 10, 4  
 CLEAR SQUARE SIEVE OPENINGS: 3/4", 3", 12"

| SILTS AND CLAYS | SAND |        |        | GRAVEL |        | COBBLES | BOULDERS |
|-----------------|------|--------|--------|--------|--------|---------|----------|
|                 | FINE | MEDIUM | COARSE | FINE   | COARSE |         |          |

| RELATIVE DENSITY  |                 | CONSISTENCY     |                  |                 | SAMPLING METHOD           |        |  | H.O.                    |  |
|-------------------|-----------------|-----------------|------------------|-----------------|---------------------------|--------|--|-------------------------|--|
| SANDS AND GRAVELS | BLOWS PER FOOT* | SILTS AND CLAYS | STRENGTH (TSF)** | BLOWS PER FOOT* | STANDARD PENETRATION TEST | T      |  | Final                   |  |
| VERY LOOSE        | 0 - 4           | VERY SOFT       | 0 - 1/4          | 0 - 2           | MODIFIED CALIFORNIA       | L or M |  | Initial                 |  |
| LOOSE             | 4 - 10          | SOFT            | 1/4 - 1/2        | 2 - 4           | PITCHER BARREL            | P      |  | Water level designation |  |
| MEDIUM DENSE      | 10 - 30         | FIRM            | 1/2 - 1          | 4 - 8           | SHELBY TUBE               | S      |  |                         |  |
| DENSE             | 30 - 50         | STIFF           | 1 - 2            | 8 - 16          | BULK                      | B      |  |                         |  |
| VERY DENSE        | OVER 50         | VERY STIFF      | 2 - 4            | 16 - 32         |                           |        |  |                         |  |
|                   |                 | HARD            | OVER 4           | OVER 32         |                           |        |  |                         |  |

\*Number of blows of 140 lb hammer falling 30 inches to drive a 2" O.D. (1 1/2" I.D.) split spoon sampler (ASTM D-1586)  
 \*\*Unconfined compressive strength in tons/ft<sup>2</sup> as determined by laboratory testing or approximated by the Standard Penetration Test (ASTM D-1586), pocket penetrometer, torvane, or visual observation.

KEY TO LOGS  
 1816 WHARF ROAD  
 CAPITOLA, CALIFORNIA  
 JOANNE KISLING

SCALE: NTS  
 DRAWN BY: BRS  
 DATE: JUNE 2018  
 REVISED:  
 JOB NO. SC11243.1

HARO, KASUNICH & ASSOCIATES, INC.  
 GEOTECHNICAL AND COASTAL ENGINEERS  
 116 E. LAKE AVENUE, WATSONVILLE, CA 95076  
 (831) 722-4175

FIGURE NO. 5

SHEET NO.

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1816 Wharf Road

PROJECT NO. SC11243

LOGGED BY BRS DATE DRILLED August 11, 2017 BORING DIAMETER 4" BORING NO. B-1

SuperLog CivilTech Software, USA www.civiltech.com File: C:\Superlog\HAROKASUNICH\SC11243 1816 Wharf Road.log Date: 8/31/2017

| Depth, ft. | Sample No. and type | Symbol | SOIL DESCRIPTION   | Unified Soil Classification | Blows/foot<br>350 ft - lbs. | Qu - t.s.f.<br>Penetrometer | Dry Density<br>p.c.f. | Moisture<br>% dry wt. | MISC. LAB RESULTS |
|------------|---------------------|--------|--|-----------------------------|-----------------------------|-----------------------------|-----------------------|-----------------------|-------------------|
| 0          |                     |        | Tan brown SAND with rounded Gravels, fine to medium grain, moist, very loose (1.5' slide mass) | SW                          |                             |                             |                       |                       |                   |
| 2          |                     |        | (Gravels up to 3" in diameter)   |                             |                             |                             |                       |                       |                   |
| 4          |                     |        | Coarser grained SAND with Gravel, orange, brown, medium dense                                  | SW-GW                       |                             |                             |                       |                       |                   |
| 5.5        |                     |        | Tan clean SAND, medium grain, moist, medium dense<br>Lighter tan @ 5.5'                        | SP                          |                             |                             |                       |                       |                   |
| 6          |                     |        | Auger refusal @ 6'<br>Boring terminated at 6.0 No Groundwater                                  |                             |                             |                             |                       |                       |                   |

HARO, KASUNICH AND ASSOCIATES, INC.

BY: dk

FIGURE NO. 6

Attachment: 1816 Wharf Road Geotechnical Recommendations 06.29.2018 - Letter.pdf (1816 Wharf Road)





LOG OF EXPLORATORY BORING

Sheet 1 of 1

Project Number: 02-50  
 Project: 1820 Wharf Road, Capitola  
 Santa Cruz County, California  
 Date Started: 4/30/02  
 Date Compl: 4/30/02

Boring No: B-3  
 Boring Loc: See Location Plan  
 Drill Type: Solid Stem Auger  
 Grd Elev:

| Depth in Feet | Soil Type | Sample Type                         |                                     | SOIL DESCRIPTION   | SPT(N) Blows/Foot | Moisture Content, % | Dry Density, pcf | Expansion Index | Soluble Sulfate, % | Direct Shear |       | Other Tests |
|---------------|-----------|-------------------------------------|-------------------------------------|--|-------------------|---------------------|------------------|-----------------|--------------------|--------------|-------|-------------|
|               |           | Undisturbed                         | Bulk                                |  |                   |                     |                  |                 |                    | $\phi^\circ$ | C psf |             |
|               | ML        |                                     |                                     | Brown SILT with Some Sand. Slightly Moist, Medium Plasticity. Sand: Fine Grained.  |                   |                     |                  |                 |                    |              |       |             |
|               | ML        | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Material Consistent. Moist, Stiff.   | 13                | 4.0                 | 95.8             | 52              | 0.012              | 18           | 340   | consol      |
| 5             | MH        | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Grey Brown SILT with Some Clay and Trace Sand. Moist, High Plasticity, Stiff.  | 12                | 8.7                 | 113.6            |                 | 0.0051             |              |       |             |
| 10            | SW        | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Light Brown SAND with Some Clay and Some Fine Gravel. Moist, Slightly Plastic, Medium Dense. Micaceous. Sand: Well Graded. | 36                |                     |                  |                 |                    |              |       |             |
| 15            |           |                                     |                                     | Bottom of the Boring at 10.5+ Feet<br>Groundwater Not Encountered<br>Boring Backfilled with the Cuttings                   |                   |                     |                  |                 |                    |              |       |             |
| 20            |           |                                     |                                     |  |                   |                     |                  |                 |                    |              |       |             |
| 25            |           |                                     |                                     |  |                   |                     |                  |                 |                    |              |       |             |
| 30            |           |                                     |                                     |  |                   |                     |                  |                 |                    |              |       |             |
| 35            |           |                                     |                                     |  |                   |                     |                  |                 |                    |              |       |             |
| 40            |           |                                     |                                     |  |                   |                     |                  |                 |                    |              |       |             |

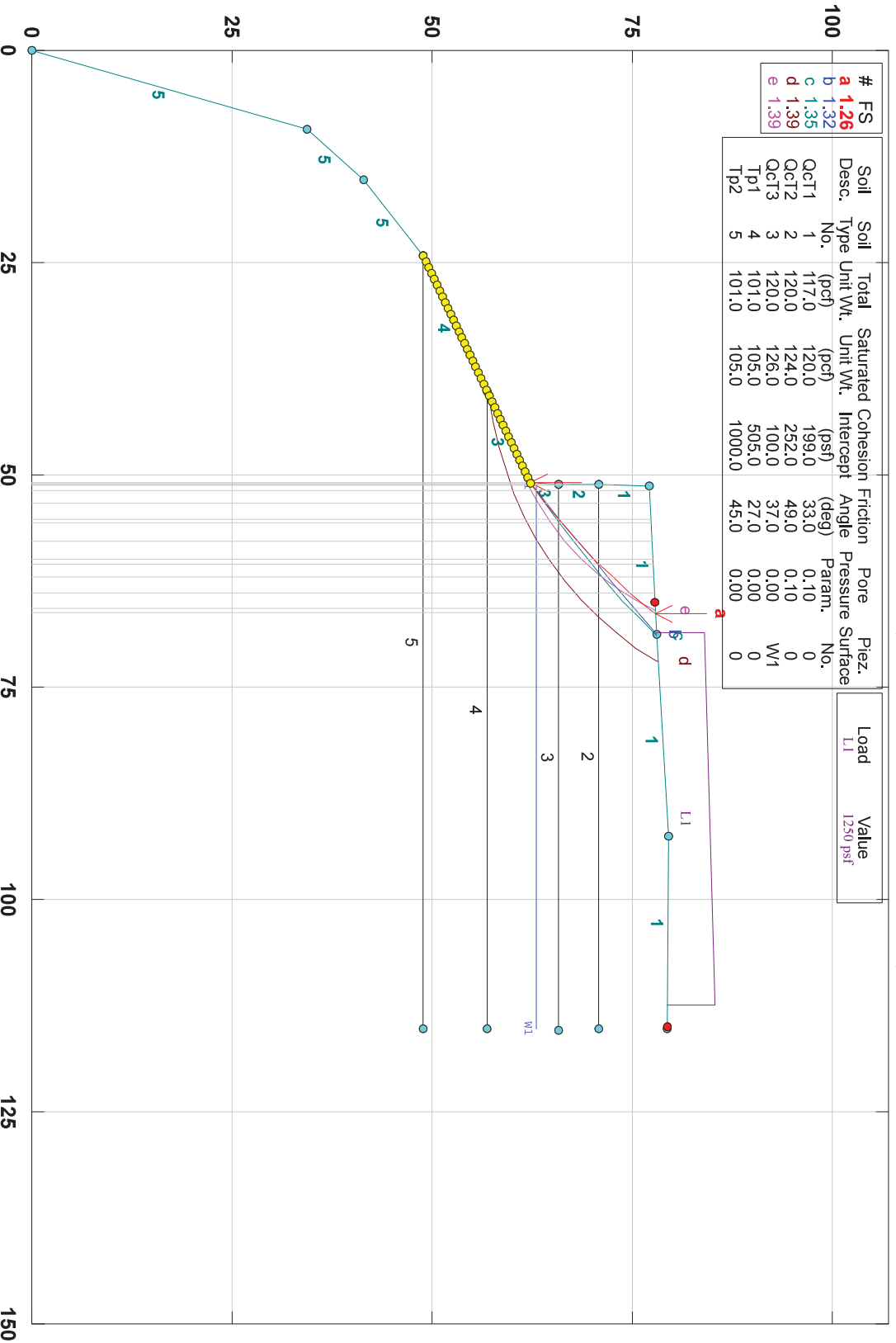
Tharp & Associates, Inc.

Fig. 8

Attachment: 1816 Wharf Road Geotechnical Recommendations 06.29.2018 - Letter.pdf (1816 Wharf Road)

SC11243.1 - 1816 WHARF RD - STATIC XSA - EXISTING NO WALL WITH 2:1 FAILURE

c:\users\hkaldropbox\hka\11243 wharf road, 1816\reports\slope stability\sectiona proposed pinpile wall.pl2 Run By: Brian Sheddin 6/27/2018 04:51PM

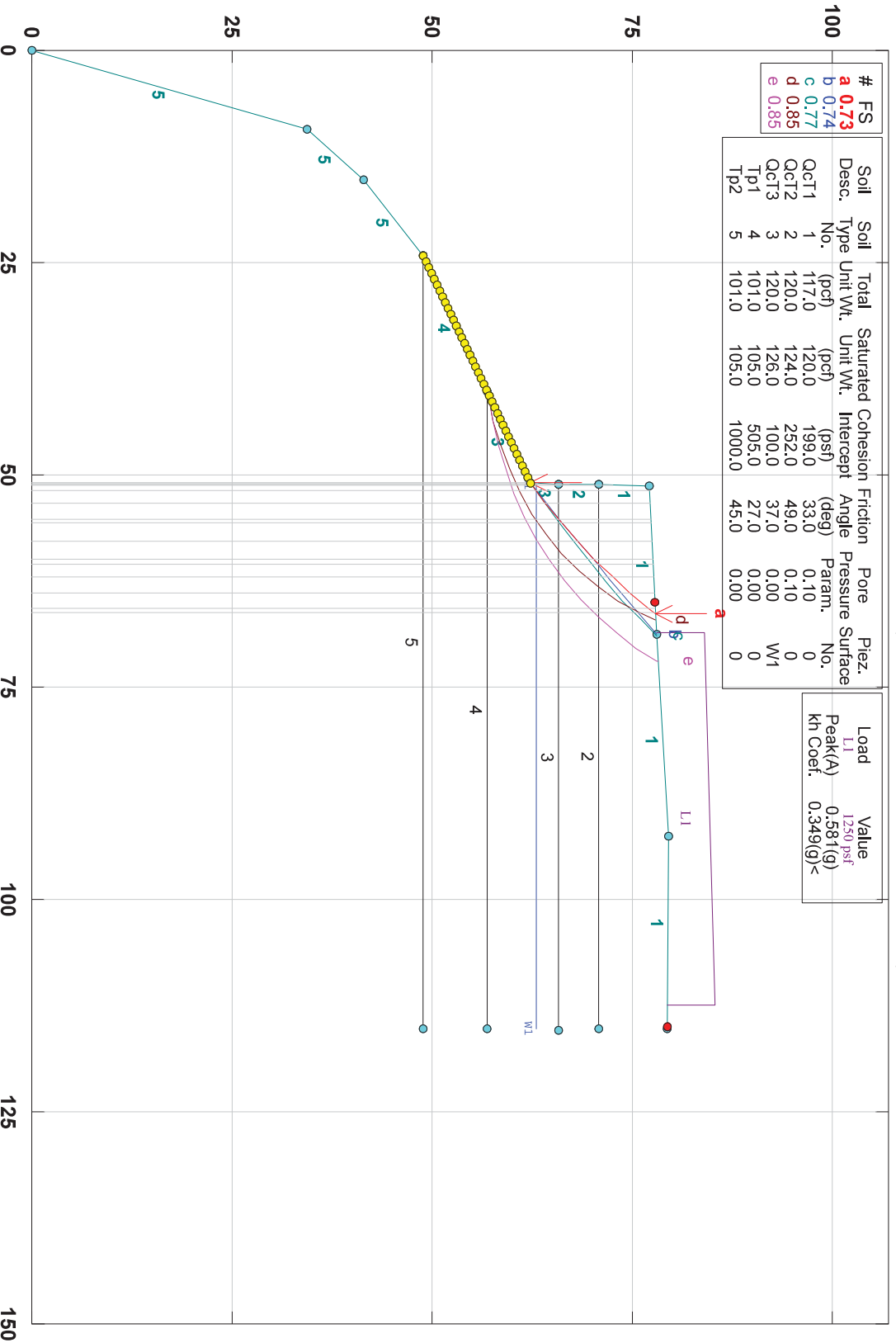


GSTABL7 v.2 FSmín=1.26  
Safety Factors Are Calculated By The Modified Bishop Method



**SC11243.1 - 1816 WHARF RD - SEISMIC XSA - EXISTING NO WALL WITH 2:1 FAILURE**

c:\users\khkadri\dropbox\khka\11243 wharf road, 1816\reports\slope stability\sectiona proposed pinpile wall.pl2 Run By: Brian Sheddin 6/27/2018 04:52PM



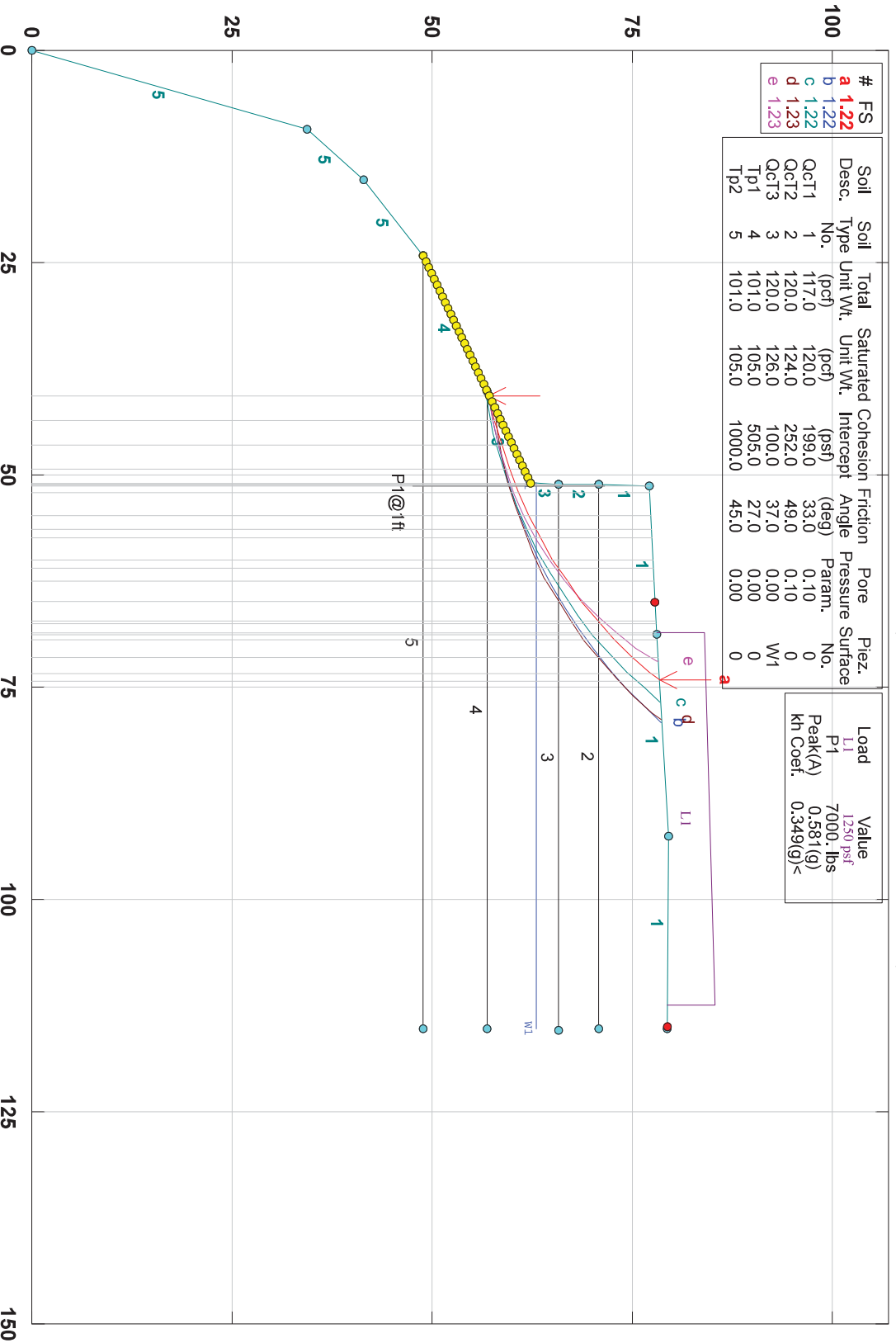
GSTABL7 v.2 FSmIn=0.73  
Safety Factors Are Calculated By The Modified Bishop Method





SC11243.1 - 1816 WHARF RD - SEISMIC XSA - PROPOSED - PIN PILE WALL 7K@1'0C

c:\users\hkaldropbox\hka\11243 wharf road, 1816\reports\slope stability\section a proposed pinpile wall.pl2 Run By: Brian Shedd 6/27/2018 04:48PM



GSTABL7 v.2 FSmín=1.22  
Safety Factors Are Calculated By The Modified Bishop Method

